

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
NOVEMBER 24, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

(I) CALL TO ORDER

(II) OPEN FORUM

(III) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(IV) CONSENT AGENDA

- (2) Approval of Minutes for the November 10, 2020 Planning and Zoning Commission meeting.

(3) **P2020-048 (DAVID GONZALES)**

Consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Replat for Lots 4-7, Block A, Dalton Goliad Addition being a 5.683-acre parcel of land identified as Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the N. SH-205 Overlay (N. SH-205 OV) District, generally located on the west side of SH-205 north of the intersection of SH-205 and FM-552, and take any action necessary.

(4) **SP2020-030 (DAVID GONZALES)**

Discuss and consider a request by Jason Linscott of Texas Health Hospital Rockwall for the approval of an Amended Site Plan for the central utility plant associated with an existing hospital (*i.e. Presbyterian Hospital of Rockwall*) that is situated on a 17.562-acre parcel of land identified as Lot 23, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3150 Horizon Road, and take any action necessary.

(V) ACTION ITEMS

(5) **MIS2020-015 (DAVID GONZALES)**

Discuss and consider a request by Gary Gordon for the approval of a Special Exception to allow a front yard fence on a 0.687-acre parcel of land identified as Lot 1, Block A, Barz Acre Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 222 W. Quail Run Road, and take any action necessary.

(6) **MIS2020-017 (RYAN MILLER)**

Discuss and consider a request by Jim Ziegler of PegasusAblon on behalf of Rockwall Rental Properties, LLP for the approval of a Miscellaneous Request for a variance to the underground utility requirements stipulated by the Municipal Code of Ordinances and the Unified Development Code (UDC) for a 1.064-acre parcel of land identified as Lot 11, Block A, The Rockwall-Harbor Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located between 2125 & 2600 Lakefront Trail, and take any action necessary.

(VI) DISCUSSION ITEMS

(7) **Z2020-041 (RYAN MILLER)**

Hold a public hearing to discuss and consider approval of a Text Amendment to Subsection 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] for the purpose of amending the requirements for land use and development within the Lake Ray Hubbard Takeline, and take any action necessary.

(8) **Z2020-048 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

- (9) **Z2020-049 (HENRY LEE)**
Hold a public hearing to discuss and consider a request Sam Hernandez for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary.
- (10) **Z2020-050 (HENRY LEE)**
Hold a public hearing to discuss and consider a request Perry Bowen on behalf of Kyle Bryan for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.
- (11) **Z2020-051 (HENRY LEE)**
Hold a public hearing to discuss and consider a request Travis Redden for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary.
- (12) **Z2020-052 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by Thomas Jones of Tomden Engineering, LLP on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary.
- (13) **Z2020-053 (RYAN MILLER)**
Hold a public hearing to discuss and consider a request by David Meinhardt of Meinhardt & Associates, PLLC on behalf of Ed Burke of Channell Commercial Corporation for the approval of a Zoning Change from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and take any action necessary.
- (14) **Z2020-054 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of a Specific Use Permit from an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary.
- (15) **P2020-047 (DAVID GONZALES)**
Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDT Rockwall 2017, LLC for the approval of a Preliminary Plat for Phase 3 of the Saddle Star Subdivision consisting of 33 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.
- (16) **P2020-049 (DAVID GONZALES)**
Discuss and consider a request by Danielle Porten of REP Investments, LLC for the approval of a Preliminary Plat for Lots 1-6, Block A, Blackland Industrial Park Addition being a 10.27-acre tract of land identified as Tract 3-04 of the A. M. Wilson Survey, Abstract No. 223, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 3500 Blackland Road, and take any action necessary.
- (17) **SP2020-031 (DAVID GONZALES)**
Discuss and consider a request by Darrel Kotzur, PE of KSA Engineers on behalf of the owner Mary Courtin of Courtin Dental for the approval of a Site Plan for a daycare facility and a medial office on a 1.743-acre tract of land identified as a portion of Lot 9, Block A, Flagstone Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 54 (PD-54) for Commercial (C) District land uses, situated at the southeast corner of the intersection of E. Ralph Hall Parkway and Mims Road, and take any action necessary.
- (18) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2020-044: Preliminary Plat for the Saddle Star North Subdivision (**APPROVED**)

- P2020-046: Preliminary Plat for Phase 2 of the Gideon Grove Subdivision (**APPROVED**)
- Z2020-043: SUP for Mini-Warehouse at 1245 SH-276 (**APPROVED; 1st READING**)
- Z2020-044: SUP for Residential Infill in an Established Subdivision at 102 Thistle Place (**APPROVED; 1st READING**)
- Z2020-045: Zoning Change for Nelson Lake Estates (**DENIED**)

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on November 20, 2020 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
NOVEMBER 10, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 I. CALL TO ORDER
3

4 Chairman Eric Chodun called the meeting to order at 6:00 PM. Commissioners present were John Womble, Derek Deckard, Sedric
5 Thomas, Jean Conway, Mark Moeller, and Vice-Chairman Jerry Welch. Staff members present were Planning and Zoning Manager David
6 Gonzales, Planner Henry Lee, Planning and Zoning Coordinator Angelica Gamez, City Engineer Amy Williams and Civil Engineers Sarah
7 Johnston and Jeremy White. Absent from the meeting was Planning and Zoning Director Ryan Miller.
8

9 II. OPEN FORUM
10

11 Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There
12 being no one coming forward, Chairman Chodun closed the open forum.
13

14 III. CONSENT AGENDA
15

16 1. Approval of Minutes for the October 27, 2020 Planning and Zoning Commission meeting.
17

18 2. **P2020-044 (DAVID GONZALES)**

19 Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDGT/Rockwall/2016, LLC for the approval of a
20 Preliminary Plat for the Saddle Star North Subdivision consisting of 92 single-family residential lots on a 44.56-acre tract of land identified as
21 Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 80 (PD-80)
22 for Single-Family 8.4 (SF-8.4) District land uses, generally located at the northwest corner of the intersection of FM-552 and John King
23 Boulevard, and take any action necessary.
24

25 3. **P2020-046 (DAVID GONZALES)**

26 Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of the Gideon Grove Addition, LTD for the approval of a
27 Preliminary Plat for Phase 2 of the Gideon Grove Subdivision consisting of 84 single-family residential lots on a 30.36-acre tract of land identified
28 as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development
29 District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, generally located at the northwest corner of the intersection of E. Quail Run
30 Road and John King Boulevard, and take any action necessary.
31

32 **Vice-Chairman Jerry Welch made a motion to approve the consent agenda. Commissioner Sedric Thomas seconded the motion which
33 passed by a vote of 7-0.**
34

35 IV. PUBLIC HEARING ITEMS
36

37 4. **Z2020-043 (RYAN MILLER)**

38 Hold a public hearing to discuss and consider a request by Maxwell Fisher, AICP of Master Plan on behalf of Wolverine Self-Storage
39 Investments-Rockwall EDP, LLC for the approval of an amendment to an existing Specific Use Permit for the purpose of increasing the number
40 of storage units permitted by Ordinance No. 14-25 to account for the number of storage units constructed on a 2.857-acre parcel of land
41 identified as Lot 4, Block A, Platinum Storage Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as
42 1245 SH-276, and take any action necessary.
43

44 Planning and Zoning Manager David Gonzalez provided a brief summary in regards to the request. The applicant, Maxwell Fisher, came
45 in two weeks ago to explain the purpose of the Specific Use Permit request and indicated that the property was for sale. When they
46 found that the property was for sale, they encountered a few discrepancies with what was approved with the Specific Use Permit and
47 what was actually constructed. Now, the owner is here to request the approval of a Specific Use Permit that is going to correct these
48 discrepancies to allow for the number of units constructed. During that time, the Commission asked Staff to provide additional
49 information such as Meeting Minutes, staff reports, ordinances, and things of that nature. Mr. Gonzales that staff provided the
50 Commission with a detailed report or the approval process, to the site plan process and to the engineering process. All of the instances
51 where we have those approved plans show 579-units for this facility. The applicant has provided a letter of explanation for some of
52 these items that are different to what's shown in the Specific Use Permit. The number of units that was approved by the SUP was 579-
53 units and the actual number of units that were constructed were 778-units. Staff reviewed the building plans and counted 872-units that
54 were identified. The unit density as allowed by the SUP were 203-units per acre and the actual density for what was constructed was 272-
55 units. The UDC requires 3 parking spaces as well as 1-per-100 units that are built. Mr. Gonzales went ahead and explained a few other
56 discrepancies with the SUP. The applicant is requesting the approval of 794-units to allow the maximum of 778-units. The maximum
57 density that would then be approved would 278-units per acre. Staff sent out 23 notices to property owners and occupants within 1500-
58 feet of the property. Prior to this meeting, staff had received 1 in favor of the request. All homeowner associations within 1500-feet of the
59 subject property were notified as well. Staff noted that the only detail not changing was going to be the outside of the building as that
60 was to remain the same. Mr. Gonzales advised the Commission that the applicant and staff were present and available to answer
61 questions.
62

63 Commissioner Womble asked if they increased the number of units from the past work session.
64

65 Commissioner Deckard asked if any of the applicants from the original development team were present or if the people present were a
66 secondary unit.

67
68 Chairman Chodun asked the applicants to come forward.

69
70 Bill Dahlstrom
71 2323 Ross Avenue, Suite 600
72 Dallas, TX 75201
73

74 The applicant came forward and provided a brief summary in regards to the request. He clarified that the new owner of the storage
75 facility was not the original applicant from the past SUP.
76

77 Benjamin Carr
78 7715 McGill Heights Rd.
79 Charlotte, NC 28277
80

81 Mr. Carr came forward and spoke in regards to the ownership of the project. He added that they have owned the property for the last four
82 years but never accepted them so they never got far in the process to notice the discrepancies. Mr. Carr explained that whether or not
83 their request gets approved that they have a bank loan tied to this property. He stated that when the property was acquired in January
84 2017, there were over 870-units on the property and they bought it at 10% occupancy. He believes that they have a facility that is serving
85 the community at its maximum ability today with the number of units. If they were to have to reduce the unit count then it would mean
86 evicting tenants.
87

88 Commissioner Deckard asked if the original developing ownership had zero interest currently in this project at the moment. Mr. Carr
89 answered that one individual from that entity has a small LP invested in the project. Commissioner Deckard also had a question in
90 regards to the number of units in the building as well as questioning the justification for the indoor storage facility. He stated that it sets
91 a precedence when approving this item.
92

93 Mr. Carr explained that they relied heavily on the CO and they feel it would not set a precedence due to City Staff saying that they will
94 change their process when reviewing plans.
95

96 Commissioner Moeller asked if this was the first multi-storage facility in Rockwall. He added that what bothered him was what Mr. Fisher
97 mentioned at the work session that he had done about 50 of these facilities and knows that these facilities are built for 800-1000 units.
98 He explained that Mr. Fisher was aware of the capacity of the building but was still presenting only 579 units. He also asked Mr. Carr if
99 this was brand new construction when they acquired the building. Mr. Carr replied that it was at about 7-8% and the building itself had
100 been opened for about 30 days.
101

102 Chairman Chodun asked if the potential buyer alerted the seller of the discrepancy in the units.
103

104 Commissioner Thomas asked if there was an increase in the number of units when it first came in. He then asked Mr. Carr if there was
105 any conversation with the developer of the original plans.
106

107 Vice-Chairman Welch added that his problem goes back to what was approved and built and with setting the precedence with this
108 request.
109

110 Chairman Chodun advised the Commission that he wonders if they would vote differently had the request been brought up a different
111 way without having built it.
112

113 Commissioner Conway asked what would happen if they do not recommend approval.
114

115 Mr. Dahlstrom added that 570 units would not work with this type of business and finances would be affected.
116

117 Vice-Chairman Welch asked if they do not settle then what happens next. He also asked what the occupancy was at the moment.
118

119 Commissioner Moeller explained that there was deception involved that bothers him but he also does not like the fact that tenants would
120 need to be kicked out.
121

122 Mr. Dahlstrom asked that the Commission focus mainly on the land use instead of setting a precedence.
123

124 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time.
125

126 Steve Curtis
127 2130 FM 1141
128 Rockwall, TX 75087
129

130 Mr. Curtis came before the commission and expressed his opposition in regards to the request.
131

132 Chairman Chodun asked if anyone else wished to speak; there being no one doing such, Chairman Chodun closed the public hearing
133 and asked if the applicant wished to come back up and address the comments.

134 Commissioner Thomas added that he feels like they should not be getting involved in any legal matters.

135
136
137 Chairman Chodun added that if this were to be denied then it would affect both the applicant and the community. He does not believe
138 there would be a density issue involved.

139
140 Vice-Chairman Welch made a motion to deny item Z2020-043 as discussed. Commissioner Thomas seconded the motion and the motion
141 to deny passed by a vote of 5-2 with Commissioner Moeller and Chairman Chodun dissenting.

142
143 Due to the Commission forwarding a recommendation for denial, Planning and Zoning Manager David Gonzales added that this would
144 require $\frac{3}{4}$ majority vote for approval at the next City Council meeting.

145
146 5. **Z2020-044 (HENRY LEE)**

147 Hold a public hearing to discuss and consider a request by Casey Cox of Costal Plains Estates for the approval of a Specific Use Permit (SUP)
148 for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.21-acre parcel of land identified as
149 Lot 24, Block A, Chandler's Landing, Phase 7, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for
150 single-family residential land uses, addressed as 102 Thistle Place, and take any action necessary.

151
152 Planner Henry Lee provided a brief summary in regards to the request. The proposed single-family home meets all of the density and
153 dimensional requirements within the Unified Development Code with the exception of the garage orientation. The applicant indicated
154 that the garage will be 1-foot in front of the front façade as opposed to the 20-feet behind the front façade as indicated in the Unified
155 Development Code. This orientation is not uncharacteristic for the neighborhood and the home directly to the south also has a garage in
156 front of the front façade. Should this request be approved by the Planning and Zoning Commission and City Council then the
157 requirement would be waived. On October 17, 2020, staff mailed out 159 notices to property owners and occupants within 500-feet. All
158 homeowners associations within 1500-feet of the subject property were notified as well. Mr. Lee explained that this case is a
159 discretionary decision for City Council pending a recommendation from the Planning and Zoning Commission.

160
161 Chairman Chodun asked the applicant to come forward.

162
163 Casey Cox
164 102 Thistle Place
165 Rockwall, TX 75087

166
167 The applicant came forward and provided additional details in regards to the request.

168
169 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time. There being no one
170 doing such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

171
172 Commissioner Moeller made a motion to approve item Z2020-044 with staff recommendations. Commissioner Womble seconded the
173 motion which passed by a vote of 7-0.

174
175
176 6. **Z2020-045 (RYAN MILLER)**

177 Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison
178 Investment, LP for the approval of a Zoning Change form a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a
179 Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M.
180 Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services
181 (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

182
183 Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. The applicant is requesting to use
184 this space in a Planned Development District. The Neighborhood Services (NS) component would be taken away and converted into a
185 Planned Development (PD) that would allow for Single-Family 10 (SF-10) District uses on the property. There are 265-units that are going
186 to be 60's and 70's throughout the development. Part of what was shown on the concept plan are 193 60's (60x120) and 72 70's (70x120)
187 which gives a density of 2.19. There is a concept plan in the PD site plan phase for an amenity center in the center of this development
188 along with trail systems. Part of the request is that the applicants are providing front entry garages to the development. Approximately,
189 65% of these homes will be the traditional swing or j-swing garages with 35% being flat front entry garages. The developer is requesting
190 to set the garages back 5-feet to compensate for the flat front entry. The applicant will have to come back and indicate where the right-of-
191 way dedication will be along FM 1141 due to the 42-feet that is required. He will also be required to perform an infrastructure study to
192 ensure there will be capacity from the Stoney Hollow lift station. A flood plain study will also be necessary to delineate the fully
193 developed 100-year flood plain. Mr. Gonzales advised the Commission that there would be a couple of variances associated with the
194 request. If the zoning change is approved then there would have to be a change to the Comprehensive Plan and Future Land Use Plan in
195 that the portion for Commercial Retail would be changed to a low density Residential area. Mr. Gonzalez advised that this was a
196 discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. Staff sent out 37
197 notices to property owners and occupants living within 500-feet of the subject property. All homeowners associations within 1500-feet of
198 the property were notified as well. Prior to this meeting, Staff received one email in opposition to this request. Mr. Gonzales then
199 advised the Commission that the applicant and Staff were present and available to answer questions.

201 Commissioner Womble asked for clarification on the reduction of the landscape buffer.

202
203 City Engineer Amy Williams wanted to clarify that the tract to the South was a City Park and not considered Agricultural or AG. She also
204 added that an infrastructure study was being conducted at the moment.

205
206 Chairman Chodun asked the applicant to come forward.

207
208 Adam Buczek
209 8214 Westchester, Suite 900
210 Dallas, TX 75225

211
212 Mr. Buczek came forward and provided a lengthy presentation in regards to the request.

213
214 Commissioner Thomas asked if there were any concerns in regards to the wideness of the street and if there were any plans to
215 expand FM 1141 out. He also asked how big the trail system was.

216
217 Commissioner Moeller asked City Engineer Amy Williams if North Country Lane was on the Master Thoroughfare Plan. Ms. Williams
218 answered that it was on the plan to be a 4-lane roadway.

219
220 Commissioner Conway expressed that she would like to see the developments not be so rectangular or straight through. She would
221 prefer streets that have a little bit more curve to them.

222
223 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward and do so at this time.

224
225 Jim Turner
226 1691 E. Old Quail Run Road
227 Rockwall, TX 75087

228
229 Mr. Turner came forward and expressed his opposition to the request.

230
231 Steve Curtis
232 2130 FM 1141
233 Rockwall, TX 75087

234
235 Mr. Curtis came forward and expressed his opposition in regards to the request.

236
237 Chairman Chodun asked if anyone else wished to speak to come forward at this time; there being no one doing such, Chairman Chodun
238 closed the public hearing and brought the item back to the Commission for discussion or action.

239
240 Chairman Chodun asked the applicant if he would like to come up to address the comments made.

241
242 Mr. Buczek came forward and addressed the comments.

243
244 Chairman Chodun asked if there were changes to the Future Land Use map and also asked for further explanation in regards to
245 Neighborhood Services.

246
247 Vice-Chairman Welch asked if they could break out the exception to the dimensional requirements with this request.

248
249 Commissioner Thomas asked if there were any plans for any road expansion on FM 1141.

250
251 Commissioner Moeller added that he would prefer to leave the zoning as is and keep more estate lots.

252
253 Commissioner Thomas made a motion to deny item Z2020-045. Commissioner Moeller seconded the motion which passed by a vote of 4-
254 3 with Commissioners Womble, Deckard, and Welch dissenting.

255
256 7. **Z2020-046 (HENRY LEE)**

257 Hold a public hearing to discuss and consider a request by Mike Whittle of Whittle & Johnson Custom Homes for the approval of a *Specific Use*
258 *Permit (SUP)* for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.15-acre parcel of
259 land identified as Lot 24, Block E, Chandler's Landing #16, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8
260 (PD-8) for single-family residential land uses, addressed as 295 Victory Lane, and take any action necessary.

261
262 Planner Henry Lee provided a brief summary in regards to the request. The proposed single-family home meets all the density and
263 dimensional requirements within the Unified Development Code with the exception of the garage orientation. The applicant is proposing
264 to place the garage 19-feet in front of the front façade of the home as opposed to 20-feet behind the front façade as is required. However,
265 this orientation is not uncharacteristic to the neighborhood. Should the Planning and Zoning Commission and City Council approve this
266 request, then this requirement would be waived. On October 20, 2020, staff mailed out 129 property owners and occupants living within
267 500-feet of the subject property. All Homeowners Associations within 1500-feet of the area were notified as well. Prior to the meeting,

268 staff did receive one email in opposition of the request. Mr. Lee advised the Commission that approval of this request is a discretionary
269 decision for City Council pending a recommendation from the Planning and Zoning Commission.

270
271 Chairman Chodun asked the applicant to come forward.

272
273 Dan Warlow
274 125 Deverson Drive
275 Rockwall, TX 75087

276
277 The applicant came forward and advised that he was available to answer questions.

278
279 Commissioner Moeller asked what the issue was concerning traffic.

280
281 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward and do so at this time. There
282 being no one doing such; Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or
283 action.

284
285 Commissioner Womble made a motion to approve item Z2020-046. Commissioner Deckard seconded the motion which passed by a vote
286 of 7-0.

287
288 8. **Z2020-047 (DAVID GONZALES)**

289 Hold a public hearing to discuss and consider a request by Mitchell Fielding of F2 Capital Partners, LLC on behalf of Alex Freeman for the
290 approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses
291 on a 26.012-acre tract of land identified as Tract 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas,
292 zoned Agricultural (AG) District, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action
293 necessary.
294

295
296 Chairman Chodun advised the Commission that Staff had received a request to withdraw from the applicant.

297
298 Commissioner Moeller made a motion to approve the request to withdraw item Z2020-047. Commissioner Thomas seconded the motion
299 which passed by a vote of 7-0.

300 V. ACTION ITEMS

301
302 9. **SP2020-027 (HENRY LEE)**

303 Discuss and consider a request by Cameron Slown of F. C. Cuny on behalf of the owner N & H Legacy for the approval of a Site Plan for a multi-
304 tenant retail building on a 2.22-acre tract of land identified as Lots 8 & 11, Block 1, Alliance Addition, Phase 2, City of Rockwall, Rockwall
305 County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, situated at the southeast corner of the
306 intersection of Andrews Drive and Horizon Road [FM-3097], and take any action necessary.
307

308
309 Planner Henry Lee provided a brief summary in regards to the request. In January of 2017, a site plan was approved for this location but
310 it expired and the applicant decided to resubmit this request. The applicant is proposing a 21,200 square foot multi-tenant one story
311 building constructed of stone, brick, and stucco. His request meets all the density requirements within the Unified Development Code
312 (UDC) but the proposed building does not meet the articulation requirements. Their compensatory measure for this is the use of 100%
313 masonry materials and incorporating 46% stone. All requests and exceptions are a discretionary decision for the Planning and Zoning
314 Commission and require a majority vote. On October 27, 2020, the Architectural Review Board (ARB) approved the proposed building
315 elevations except for them wanting an arched element on the western façade to be flattened which the applicant did correct. A condition
316 of approval is the submission of a treescape plan for review by staff before engineering plans may be submitted.

317
318 Chairman Chodun asked the applicant to come forward.

319
320 Jimmy Strohmeyer
321 2701 Sunset Ridge
322 Rockwall, TX 75032

323
324 Mr. Strohmeyer came forward and provided additional details in regards to his request.

325
326 Commissioner Thomas made a motion to approve item SP2020-027 with staff recommendations. Vice-Chairman Welch seconded the
327 motion which passed by a vote of 7-0.

328 VI. DISCUSSION ITEMS

329
330 10. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- 331
332
- 333 • P2020-036: Final Plat for Lots 1, 2, & 3, Block A, Harbor Hills Addition [APPROVED]
 - 334 • P2020-037: Preliminary Plat for Lots 1-9, Block A and Lot 1, Block X, Avery Farm Addition [APPROVED]
 - 335 • Z2020-039: Text Amendment to Article 05, District Development Standards, of the UDC [APPROVED; 1st READING]

- Z2020-040: Text Amendment to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan [APPROVED; 1st READING]
- MIS2020-011: Special Request for 247 Chris Drive [APPROVED]

Planning and Zoning Manager David Gonzales provided a brief update about the outcome of the above referenced cases at the City Council meeting.

VII. ADJOURNMENT

Chairman Chodun adjourned the meeting at 8:05 PM.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2020.

Eric Chodun, Chairman

Attest:

Angelica Gamez, Planning and Zoning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 24, 2020
APPLICANT: Juan J. Vasquez; *Vasquez Engineering, LLC*
CASE NUMBER: P2020-048; *Lots 4-7, Block A, Dalton Goliad Addition*

SUMMARY

Consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Replat for Lots 4-7, Block A, Dalton Goliad Addition being a 5.683-acre parcel of land identified as Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the N. SH-205 Overlay (N. SH-205 OV) District, generally located on the west side of SH-205 north of the intersection of SH-205 and FM-552, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a replat for a 5.683-acre parcel of land (*i.e. Lots 4-7, Block A, Dalton Goliad Addition*) in order to subdivide one (1) lot (*i.e. Lot 2, Block A, Dalton Goliad Addition*) into four (4) lots for purpose of conveying property. Staff should note that the site will not be developed and no permits will be issued without first having an approved site plan, civil engineering plans, and a replat of the property in accordance with the development procedures outlined in the Municipal Code of Ordinances and the Unified Development Code (UDC).
- On February 15, 2016, the City Council approved a preliminary plat [*Case No. P2016-004*] for the purpose of laying out regional detention, preliminary utility, and drainage plans for six (6) non-residential lots zoned General Retail (GR) District. On April 12, 2016, the Planning and Zoning Commission approved a site plan [*Case No. SP2016-005*] for the construction of an ~11,334 SF retail building (*i.e. Goliad Retail*), which is currently located on Lot 3. On May 10, 2016, the Planning and Zoning Commission approved a site plan [*Case No. SP2016-007*] for the construction of an ~18,663 SF grocery store (*i.e. Aldi Food Store*), which is currently located on Lot 1. On August 1, 2016, the City Council approved a final plat [*Case No. P2016-034*] allowing development of three (3) lots within the subdivision. On August 7, 2017, the City Council approved a Specific Use Permit (*SUP #S-171- Ordinance No. 17-39*) [*Case No. Z2017-029*] to allow for a restaurant greater than 2,000 SF with a drive-through (*i.e. Freddy's Frozen Custard*). On September 12, 2017, the Planning and Zoning Commission approved a site plan [*Case No. SP2017-024*] for the construction of a ~2,822 SF restaurant with a drive-through for the subject property. Additionally, on September 18, 2017, the City Council approved a variance to allow the restaurant to have a flat roof in lieu of a pitched roof as required by the North SH-205 Overlay (*N SH-205 OV*) District; however, the building was never constructed and the SUP and the site plan have since expired. The remaining lots are vacant.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lots 4-7, Block A, Dalton Goliad Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 72020-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹ CONVEYANCE PLAT
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address S. Hwy 205

Subdivision Dalton Goliad Addition Lot 2 Block A

General Location northwest corner of Dalton Road and S.H. 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning GR w/N SH 205 Overlay Current Use vacant/detention pond

Proposed Zoning Same Proposed Use commercial/retail uses

Acreage 5.683 Lots [Current] 1 Lots [Proposed] 4

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Rockwall 205-552, LLC

Contact Person Donald L. Silverman

Address 4622 Maple Ave.
Suite 200

City, State & Zip Dallas, TX 75219

Phone 214-393-3983

E-Mail jholman@voyagerinvestments.com

Applicant Vasquez Engineering, LLC

Contact Person Juan J. Vasquez

Address 1919 S. Shiloh Road
Suite 440

City, State & Zip Garland, TX 75042

Phone 972-278-2948

E-Mail jvasquez@vasquezengineering.com

NOTARY VERIFICATION [REQUIRED]

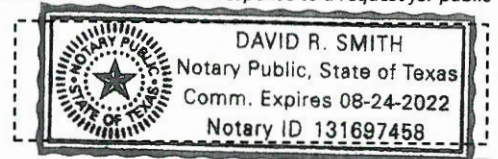
Before me, the undersigned authority, on this day personally appeared Juan J Vasquez [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 413.66, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of November, 20 20.

Juan J Vasquez
Owner's Signature

David R. Smith
Notary Public in and for the State of Texas



My Commission Expires 08/24/2022

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: P2020-048
PROJECT NAME: Lots 4-7, Block A, Dalton Goliad Addition
SITE ADDRESS/LOCATIONS: DALTON RD & N GOLIAD ST

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	11/17/2020	Approved w/ Comments

11/17/2020: P2020-048; Conveyance Plat for Lots 4-7, Block A, Dalton Goliad Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lots 4-7, Block A, Dalton Goliad Addition being a 5.683-acre parcel of land identified as Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the N. SH-205 Overlay (N. SH-205 OV) District, generally located on the west side of SH-205 north of the intersection of SH-205 and FM-552.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2020-048) in the lower right-hand corner of all pages of all revised plan submittals.

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and the General Commercial (GC) District Standards of Article 05 that are applicable to the subject property.

I.5 The final plat (i.e. conveyance plat) shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.6 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.

I.7 1. Add the following language on the front page of the plat:

A) This Final Plat is for conveyance purposes only and not for the development of the subject property.

B) A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted

conveyance plat, final plat, or replat is a violation of the city ordinance and State law.

I.8 Standard plat wording on page 2 under owners certification must be consistent with the current plat wording as indicated in the development application.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.10 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

I.11 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Commission meeting will be held on November 24, 2020.
- 2) City Council meeting will be held on December 7, 2020.

I.12 Although this item will be on the Consent Agenda, staff recommends that a representative be present for the meetings as scheduled above, but this is not required. The Planning and Zoning and City Council meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Approved w/ Comments

11/18/2020: The following items are for your information for the engineering design process.

General Items:

- i - Must meet City Standards of Design and Construction
- i - 4% Engineering Inspection Fees
- i - Impact Fees (Water, Wastewater & Roadway)
- i - Minimum easement width is 20'. No structures allowed in easements.
- i - Retaining walls 3' and over must be engineered.
- i - All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- i - Drainage from the site must follow the approved drainage area map. (See attached as-builts)
- i - dependent on future use runoff from dumpster and other source to go through oil/water separator before draining to the storm lines.

Water and Wastewater Items:

- i - 8" water will need to be extended across to the edge of the concrete on the north (as shown)
- i - Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).

Roadway Paving Items:

- i - Parking to be 20'x9'.
- i - Drive isles to be 24' wide.
- i - No deadend parking allowed. Must connect through if you have two way traffic.

Landscaping:

- i - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- i - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	11/16/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/17/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/17/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	11/20/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/16/2020	Approved

11/16/2020: No comments

D=90°32'33"
R=40.00'
L=63.21'
CB=N44°12'06"E
CD=56.84'

NOTE:
Lot 4 will require screening/buffering from the adjacent residential properties in accordance with the residential screening requirements of the Unified Development Code.

LOT 1, BLOCK A
ROCKWALL SCHOOL NORTH
ADDITION
CAB. C, SLD, 270
P.R.R.C.T.

ROCKWALL 205-552, LLC
INST. NO. 20150000019501
O.P.R.R.C.T.

LOT 6
104,638 SQ. FT.
OR 2.402 ACRES

LOT 2, BLOCK A
DALTON GOLIAD ADDITION
CAB. J, SLIDE 17

LOT 7
58,974 SQ. FT.
OR 1.354 ACRES

1/2" IRF W/
YELLOW
"BRITANN" CAP
CONTROLLING
MONUMENT
N 7040337.09
E 2592101.40

GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.



LOT 26, BLOCK C
HARLAN PARK -
PHASE TWO
CAB. C, SLD, 266
P.R.R.C.T.

LOT 27, BLOCK C
HARLAN PARK -
PHASE TWO
CAB. C, SLD, 266
P.R.R.C.T.

LOT 28, BLOCK C
HARLAN PARK -
PHASE TWO
CAB. C, SLD, 266
P.R.R.C.T.

LOT 29, BLOCK C
HARLAN PARK -
PHASE TWO
CAB. C, SLD, 266
P.R.R.C.T.

LOT 30, BLOCK C
HARLAN PARK - PHASE TWO
CAB. C, SLD, 266
P.R.R.C.T.

SANITARY SEWER
EASEMENT
CABINET J, SLIDE 17

N89°37'55"E 426.47'

15' SANITARY SEWER
EASEMENT
CABINET J, SLIDE 17

292.95' 10' LANDSCAPE BUFFER
CABINET J, SLIDE 17

24' FIRELANE, PUBLIC ACCESS,
DRAINAGE AND UTILITY EASEMENT
CABINET J, SLIDE 17

5' WATER EASEMENT
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DRAINAGE AND UTILITY EASEMENT
CABINET J, SLIDE 17

5' WATER EASEMENT
CABINET J, SLIDE 17

General Items:

- i - Must meet City Standards of Design and Construction
- i - 4% Engineering Inspection Fees
- i - Impact Fees (Water, Wastewater & Roadway)
- i - Minimum easement width is 20'. No structures allowed in easements.
- i - Retaining walls 3' and over must be engineered.
- i - All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- i - Drainage from the site must follow the approved drainage area map. (See attached as-builts)
- i - dependent on future use runoff from dumpster and other source to go through oil/water separator before draining to the storm lines.

Water and Wastewater Items:

- i - 8" water will need to be extended across to the edge of the concrete on the north (as shown)
- i - Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).

Roadway Paving Items:

- i - Parking to be 20'x9'.
- i - Drive isles to be 24' wide.
- i - No deadend parking allowed. Must connect through if you have two way traffic.

Landscaping:

- i - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- i - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

CASE NO. _____

JOB NO.: 15-1216

DATE: 10/21/2020

SCALE: 1" = 50'

DRAWN: J.B.W.

PEISER & I
www.1



1604 HART STREET
SOUTH LAKE, TEXAS 76092
817-481-1806 (O)

COMMERCIAL
RESIDENTIAL
BOUNDARIES
TOPOGRAPHY
MORTGAGE



1
OF
2

FIRM No. 100999-00

Member Since 1977

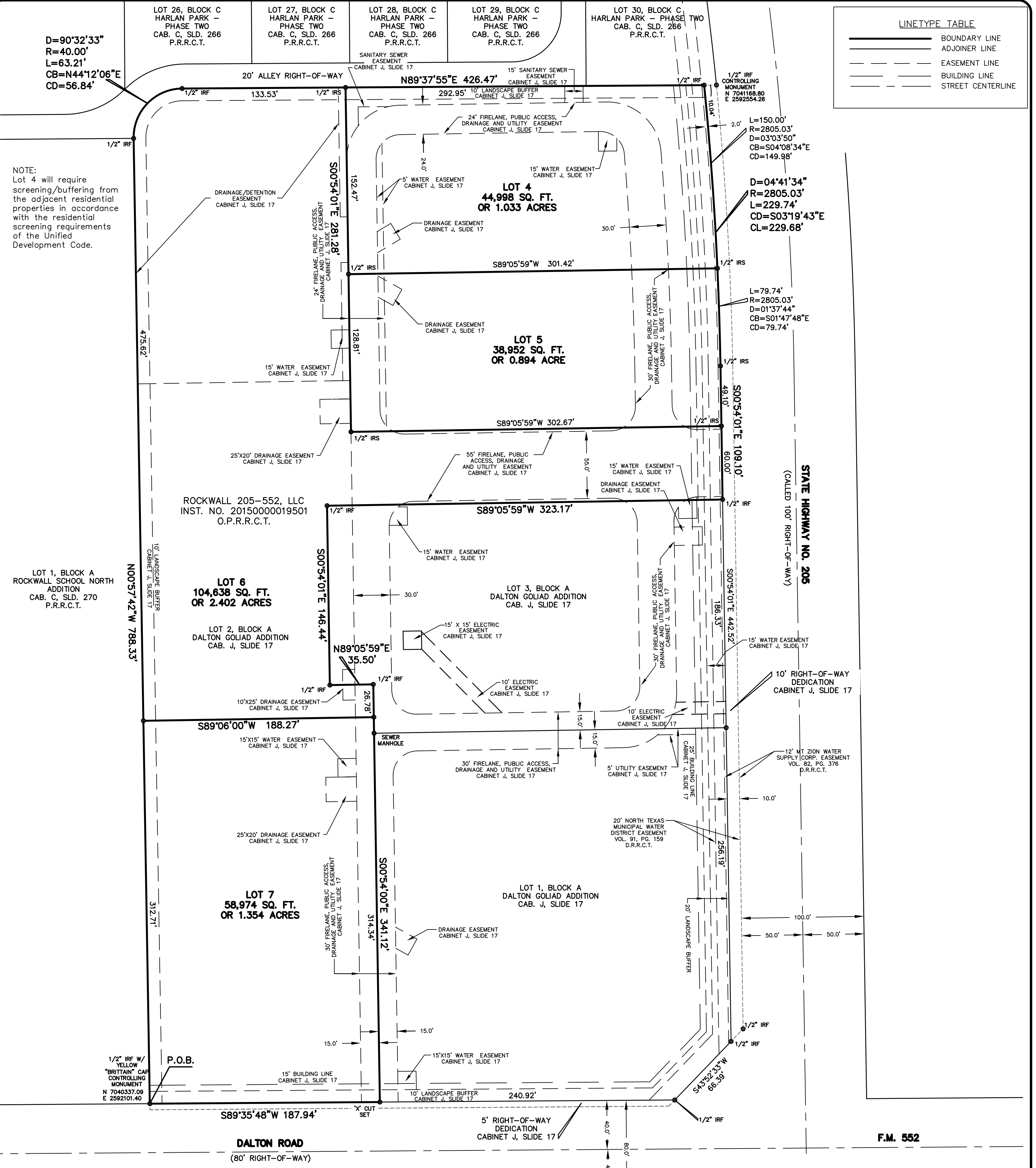
LOT 26, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 27, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 28, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 29, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.
 LOT 30, BLOCK C HARLAN PARK - PHASE TWO CAB. C, SLD. 266 P.R.R.C.T.

LINETYPE TABLE

	BOUNDARY LINE
	ADJOINER LINE
	EASEMENT LINE
	BUILDING LINE
	STREET CENTERLINE

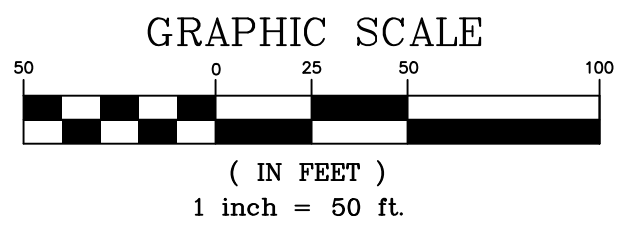
D=90°32'33"
 R=40.00'
 L=63.21'
 CB=N44°12'06"E
 CD=56.84'

NOTE:
 Lot 4 will require screening/buffering from the adjacent residential properties in accordance with the residential screening requirements of the Unified Development Code.



STATE HIGHWAY NO. 205
 (CALLED 100' RIGHT-OF-WAY)

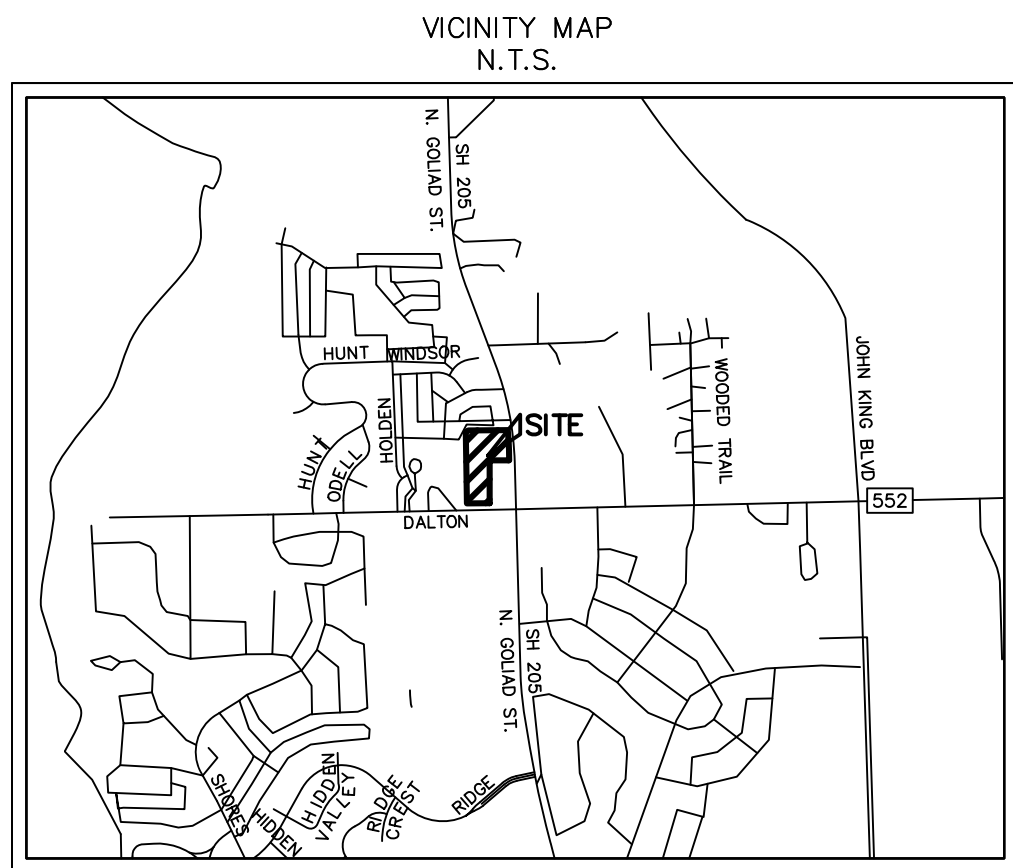
FINAL PLAT
 BEING A CONVEYANCE PLAT FOR
 DALTON GOLIAD ADDITION
 LOTS 4-7, BLOCK A
 BEING A REPLAT OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION
 T. R. BAILEY SURVEY, ABSTRACT NO. 30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



CASE NO. _____

JOB NO.: 15-1216	PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE
DATE: 10/21/2020		
SCALE: 1" = 50'	1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (0)	Member Since 1977
DRAWN: J.B.W.	tmankin@peisersurveying.com	FIRM No. 100999-00

SHEET 1 OF 2



- NOTES:
1. IRF – Iron Rod Found
 2. IRS – Iron Rod Set w/ "PEISER & MANKIN SURV" red plastic cap
 3. Notice: Selling a portion of this addition by metes and bounds is a violation of city subdivisions ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
 4. P.O.B. – Point of Beginning.
 5. O.P.R.D.C.T. – Official Public Records, Collin County, Texas.
 6. D.R.C.C.T. – Deed Records, Collin County, Texas.
 7. Bearings based on the Texas State Plano Coordinate System, North Central Zone 4202, NAD83, as derived by field observations utilizing the RTK Network Administrated by Western Hunk Systems.
 8. SLD. – SLIDE
 9. CAB. – CABINET
 10. This Final Plat is for conveyance only and not for the development of the subject property.
 11. A conveyance plat is a record of property approved by the City of Rockwall for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.

RECOMMENDED FOR FINAL APPROVAL

 Planning & Zoning Commission, Chairman Date

APPROVED:
 I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2020.

 Mayor, City of Rockwall City Secretary City Engineer

SURVEYOR'S CERTIFICATE

I, Timothy R. Mankin, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the City of Rockwall, Texas.

11/09/2020 PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

 Timothy R. Mankin Date
 Registered Professional Land Surveyor, No. 6122

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
 STATE OF TEXAS
 COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **DALTON GOLIAD ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **DALTON GOLIAD ADDITION** subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. All detention/drainage systems to be maintained, repaired, and replaced by property owner.
7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS MY HAND, this _____ day of _____, 2020

ROCKWALL 205-552, LLC

 By: DONALD L. SILVERMAN, MANAGER

STATE OF TEXAS:
 COUNTY OF DALLAS:
 BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared DONALD L. SILVERMAN, MANAGER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration thereof expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2020.

 NOTARY PUBLIC in and for the STATE OF TEXAS

ENGINEER: OWNER:
 VASQUEZ ENGINEERING, L.L.C. ROCKWALL 205-552, LLC
 1919 S. SHILOH ROAD 4622 MAPLE AVE.
 SUITE 440, LB 44 SUITE 200
 GARLAND, TEXAS 75042 DALLAS, TEXAS 75219
 972-278-2948 214-393-3983
 CONTACT: JUAN VASQUEZ, P.E.

OWNER'S CERTIFICATION
 WHEREAS ROCKWALL 205-552, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:
 BEING that certain tract of land situated in the T. R. BAILEY SURVEY, ABSTRACT NO. 30, in the City of Rockwall, Rockwall County, Texas, and being a portion of that certain tract of land conveyed to ROCKWALL 205-552, LLC in Warranty Deed recorded under Instrument Number 2015000019501, Deed Records, Rockwall County, Texas, and being all of Lot 2, Block A, Dalton Goliad Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet J, Slide 17, Plat Records, Rockwall County, Texas, and being more particularly described as follows;
 BEGINNING at a 1/2 inch iron rod with yellow "Brittain" cap found for the Southwest corner of said Rockwall 205 tract, same being the Southwest corner of said Lot 2, same being the Southeast corner of Lot 1, Block A, Rockwall School North Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 270, Plat Records, Rockwall County, Texas, same being in the North right-of-way line of Dalton Road (80 foot right-of-way);
 THENCE North 00 deg. 57 min. 42 sec. West, along the common line of said Lot 2 and said Rockwall School North Addition, a total distance of 788.33 feet to a 1/2 inch iron rod found for the most westerly Northwest corner of said Lot 2, same being the Northeast corner of said Rockwall School North Addition, same being in the South line of a 20 foot alley in Block C, Harlan Park – Phase Two, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Page 266, said Plat Records, same being the beginning of a curve to the right, having a radius of 40.00 feet, a central angle of 90 deg. 32 min. 33 sec., and a chord bearing and distance of North 44 deg. 12 min. 06 sec. East, 56.84 feet;
 THENCE along the common line of said Lot 2 and said Block C as follows:
 Along said curve to the right, an arc distance of 63.21 feet to a 1/2 inch iron rod found for angle point;
 North 89 deg. 37 min. 55 sec. East, a distance of 426.47 feet to a 1/2 inch iron rod found for the Northeast corner of said Lot 2, same being in the westerly right-of-way line of State Highway No. 205 (called 100' right-of-way), same being the beginning of a non-tangent curve to the right, having a radius of 2805.03 feet, a central angle of 04 deg. 41 min. 34 sec., and a chord bearing and distance of South 03 deg. 19 min. 43 sec. East, 229.68 feet;
 THENCE along the common line of said Lot 2 and said State Highway No. 205 as follows:
 Along said non-tangent curve to the right, an arc distance of 229.74 feet to a 1/2 inch iron rod set with "Peiser & Mankin SURV" red plastic cap for angle point;
 South 00 deg. 54 min. 01 sec. East, a distance of 109.10 feet to a 1/2 inch iron rod found for the most easterly Southeast corner of said Lot 2, same being the Northeast corner of Lot 3, Block A, said Dalton Goliad Addition;
 THENCE along the common line of said Lot 2 and said Lot 3 as follows:
 South 89 deg. 05 min. 59 sec. West, a distance of 323.17 feet to a 1/2 inch iron rod found for corner;
 South 00 deg. 54 min. 01 sec. East, a distance of 146.44 feet to a 1/2 inch iron rod found for corner;
 North 89 deg. 05 min. 59 sec. East, a distance of 35.50 feet to a 1/2 inch iron rod found for corner;
 South 00 deg. 54 min. 00 sec. West, passing a 1/2 inch iron rod found for the Southwest corner of said Lot 3, same being the Northwest corner of Lot 1, Block A, said Dalton Goliad Addition, and continuing along the common line of said Lot 2 and said Lot 1, a total distance of 341.12 feet to a 1/2 inch iron rod found for the Southeast corner of said Lot 2, same being the Southwest corner of said Lot 1, same being in the northerly right-of-way line of aforesaid Dalton Road;
 THENCE South 89 deg. 35 min. 48 sec. West, along the common line of said Lot 2 and said Dalton Road, a distance of 187.94 feet to the POINT OF BEGINNING and containing 247,562 square feet or 5.683 acres of computed land, more or less.

FINAL PLAT
 BEING A CONVEYANCE PLAT FOR
DALTON GOLIAD ADDITION
LOTS 4-7, BLOCK A
 BEING A REPLAT OF LOT 2, BLOCK A, DALTON GOLIAD ADDITION
 T. R. BAILEY SURVEY, ABSTRACT NO. 30
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE NO. _____		JOB NO.: 15-1216		PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com	SHEET
DATE: 10/09/2020		DATE: 10/09/2020			
SCALE: 1" = 50'		DRAWN: J.B.W.		 1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)	OF
				COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE	2
				 Member Since 1977	
				tmankin@peisersurveying.com FIRM No. 100999-00	



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: David Gonzales, *Planning and Zoning Manager*

DATE: November 24, 2020

SUBJECT: SP2020-030; *Amended Site Plan for Presbyterian Hospital CUP Building*

The applicant, Jason Linscott of Texas Health Hospital Rockwall, is requesting the approval of an amended site plan for the purpose of changing the CMU on the exterior building elevations of the previously approved site plans [*i.e. Case No.'s SP2019-051 & SP2020-024*] for the Central Utility Plant (CUP) building. The CUP is a separate facility from the main hospital building, and is located at the southeastern corner of the hospital campus adjacent to Tubbs Road & Summer Lee Drive.

A site plan [*i.e. Case No. SP2019-051*] for the expansion of Presbyterian Hospital was approved on January 4, 2020 by the Planning and Zoning Commission. At the time of approval, the applicant had indicated that the materials found on the existing hospital facility would be used on all of the proposed structures, which included the Central Utility Plant (CUP) building. At that time, staff, the Architectural Review Board (ARB), and the Planning and Zoning Commission stated they were concerned with the design of the building due to its proximity to the Fox Chase Subdivision, and the potential visual impact posed by the metal stairway and platform. After discussing these concerns with staff, the applicant proposed changes to the CUP building intended to alleviate any possible negative visual impacts. These changes included incorporating burnished block pedestals with decorative light fixtures, an architectural handrail, and storefront glass at the entrance. Additionally, the applicant indicated the use of additional landscaping around the facility to better soften the building's exterior and provide screening. On October 2, 2020, staff administratively approved an amended site plan [*i.e. Case No. SP2020-024*] request for additional changes to the Central Utility Plant (CUP) building proposed by the applicant. This redesign included removing the elevated patio from the CUP building and incorporating additional landscaping to the front of the building. Staff considered this to be an improvement to the CUP building based on the previous discussion with the Architectural Review Board (ARB) (*i.e. it brought the building closer to the commercial scale requested by the ARB*). A minor modification to the parking lot was also incorporated with this request. Staff should note that at the time of approval of this amended site plan, the building elevations generally remained unchanged with regard to the materials and appearance of the building from the original submittal. In reviewing the building permit [*i.e. BLD2020-1044*] on November 11, 2020, however, a change to the building materials for the Central Utility Plant (CUP) building was discovered by staff. The change involved the size of the CMU that was located on the pilasters. The approved elevations for the Presbyterian Hospital project indicated the CMU units as being larger (*i.e. 16" x 24"*) on the pilasters than the CMU being used on the remainder of the building (*i.e. 8" x 24"*). This change created a visually different look than what was originally approved. Based on this change the Architectural Review Board (ARB) will need to review the proposed building elevations and forward a recommendation to the Planning and Zoning Commission for the November 24, 2020 meeting. This change being relatively minor, staff has placed this item on the consent agenda pending a positive recommendation from the ARB; however, should the ARB request changes be made to the exterior of the building, the item will need to be removed from the consent agenda and acted upon at the December 7, 2020 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-030

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address **4460 Tubbs Rd. (formerly part of 3150 Horizon Rd.)**

Subdivision **4703 Presbyterian Hospital of Rockwall** Lot **23** Block **A**

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **PD-9** Current Use **F1**

Proposed Zoning **PD-9** Proposed Use **F1**

Acreage **23.0864** Lots [Current] **1** Lots [Proposed] **1**

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner **Texas Health Hospital Rockwall** Applicant

Contact Person **Jason Linscott** Contact Person _____

Address **3150 Horizon Road** Address _____

City, State & Zip **Rockwall, TX 75032** City, State & Zip _____

Phone **469-698-1000** Phone _____

E-Mail _____ E-Mail _____

NOTARY VERIFICATION [REQUIRED]

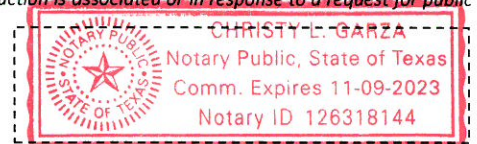
Before me, the undersigned authority, on this day personally appeared JASON LINSOTT [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 12 day of NOVEMBER, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 11 day of November, 20 20.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires 11/9/2023

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: SP2020-030
PROJECT NAME: Amended Site Plan for Presbyterian Hospital
SITE ADDRESS/LOCATIONS: 4460 TUBBS RD, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	11/20/2020	Approved w/ Comments
11/20/2020: Requires a recommendation of approval by the Architectural Review Board (ARB) and approval of the Planning and Zoning Commission.			
ENGINEERING	Sarah Johnston	11/18/2020	Approved
No Comments			
BUILDING	Rusty McDowell	11/16/2020	Approved
No Comments			
FIRE	Ariana Kistner	11/17/2020	Approved
No Comments			
GIS	Lance Singleton	11/17/2020	Approved w/ Comments
11/17/2020: Assigned address for the central utility plant will be 4460 TUBBS RD, ROCKWALL, 75032			
POLICE	Ed Fowler	11/17/2020	Approved w/ Comments
11/17/2020: The original recommendations for the site remain the same. EMF#902			
PARKS	Travis Sales	11/16/2020	Approved w/ Comments
11/16/2020: Ensure the landscape and treescape plan is followed as submitted.			



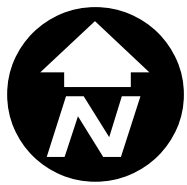
SP2020-030- AMENDED SITE PLAN FOR PRESBYTERIAN HOSPITAL
 AMENDED SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



CONSULTANTS

CIVIL
RAYMOND L. GOODSON JR., INC.
12001 N CENTRAL EXPY SUITE 300 DALLAS, TX 75243

LANDSCAPING
KENDALL LANDSCAPE ARCHITECTURE
8150 N CENTRAL EXPY #701, DALLAS, TX 75208

STRUCTURAL
LA FUESS PARTNERS
3333 LEE PKWY #300, DALLAS, TX 75219

MEP
SW ASSOCIATES CONSULTING ENGINEERS
1700 PACIFIC AVENUE, STE 2100 DALLAS, TX 75201

LOW VOLTAGE
SMITH SECKMAN REID, INC.
3100 MCKINNON STREET, SUITE 550 DALLAS, TX 75201

FOOD SERVICE
BOSMA DESIGN SOLUTIONS, INC.
2201 LONG PRAIRIE RD, FLOWER MOUND, TX 75022

MEDICAL EQUIPMENT
CALLISON RTKL, INC.
1717 PACIFIC AVE, DALLAS, TX 75201

OWNER
TEXAS HEALTH RESOURCES
9300 AMBERTON PKWY, SUITE 1000, DALLAS, TX 75243

CONTRACTOR
ROGERS-O'BRIEN CONSTRUCTION
1901 REGAL ROW, DALLAS, TX 75235

EXTERIOR ELEVATION GENERAL NOTES

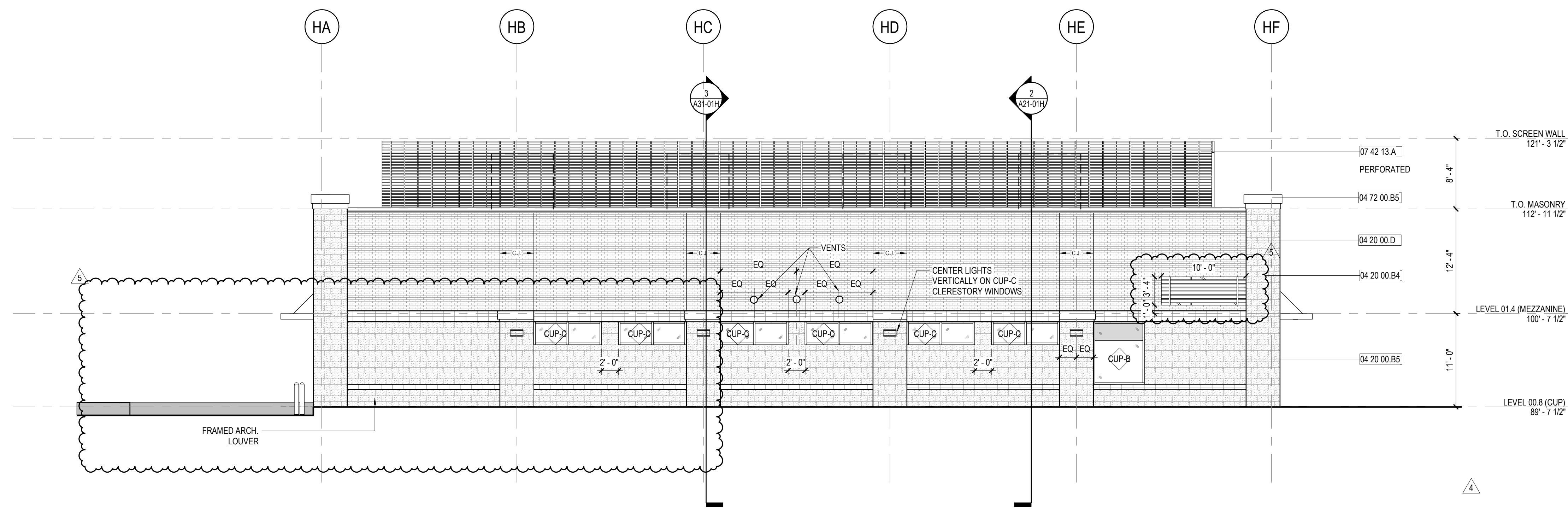
- MATERIAL SYMBOLS ON ELEVATIONS ARE TO DISPLAY THE EXTENT OF THE MATERIAL ONLY. THEY ARE NOT TO SCALE.
- PROVIDE BRICK EXPANSION JOINTS PER THE AMERICAN BRICK INSTITUTE'S RECOMMENDATIONS.

EXTERIOR ELEVATION LEGEND

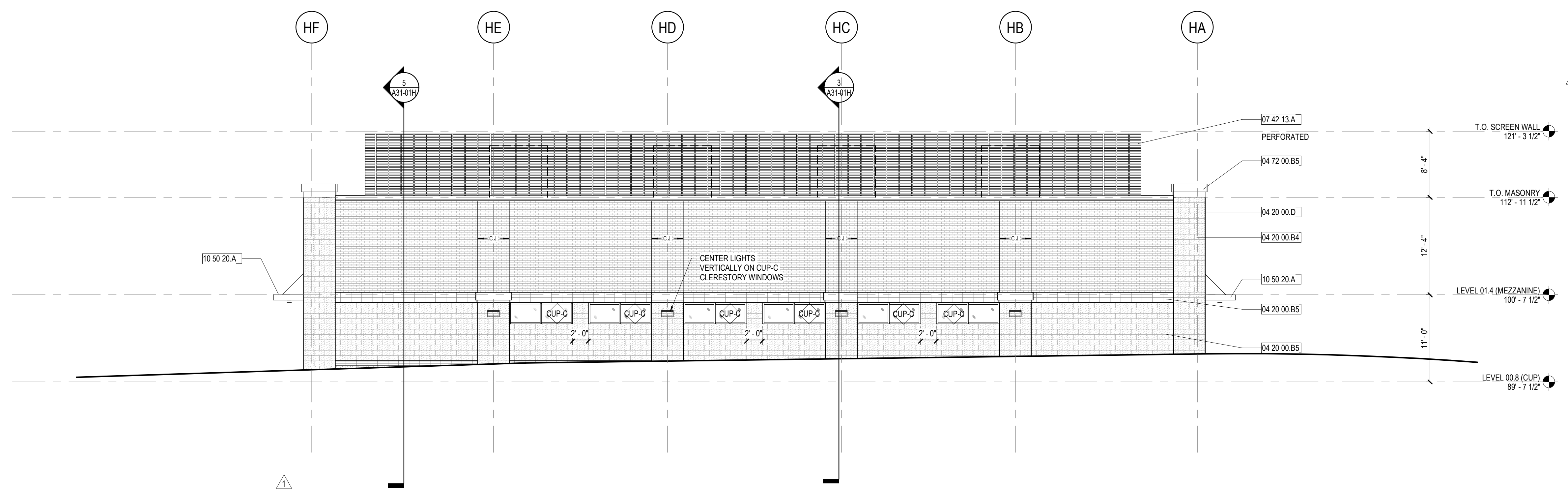
- EXTERIOR GLAZED OPENING TYPE. REFER TO GLAZING SCHEDULE.
- INTERIOR GLAZED OPENING TYPE. REFER TO GLAZING SCHEDULE.
- TEMPERED GLAZING FOR CODE.
- BUILDING EXPANSION JOINT. RE: XIA-XX
- MASONRY EXPANSION JOINT. MATCH BRICK COLOR

SPECIFICATION KEYNOTES

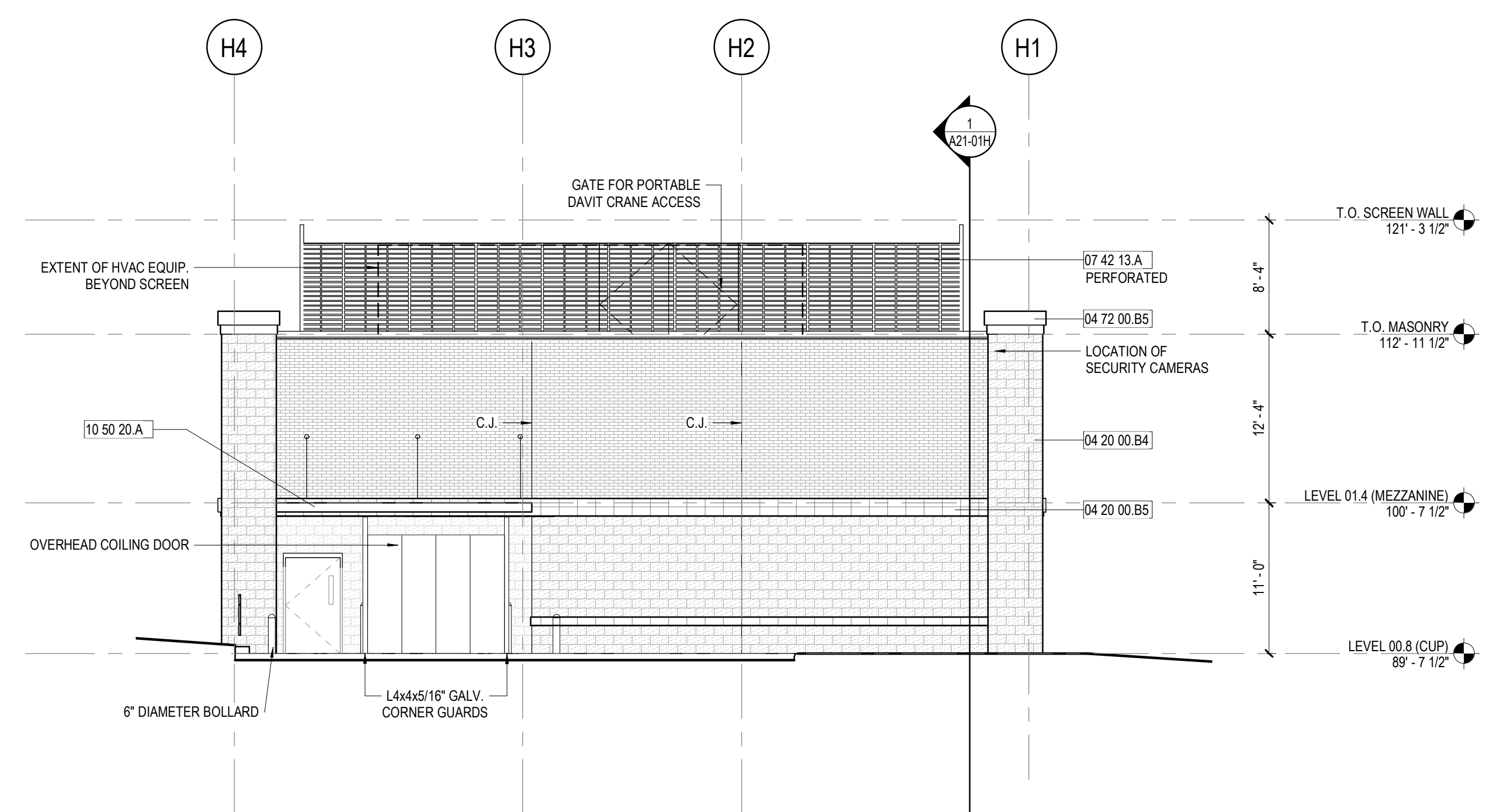
04 20 00 B4	8" CMU Veneer - Burnished CMU 8" X 16"
04 20 00 B5	4" CMU Veneer - Burnished CMU 8" X 16"
04 20 00 D	Face Brick
04 22 00 B5	Cast Stone Coping
07 42 13.A	Formed Metal Wall Panel
07 71 00.A	Coping Cap
10 50 20.A	Prefabricated Metal Canopies



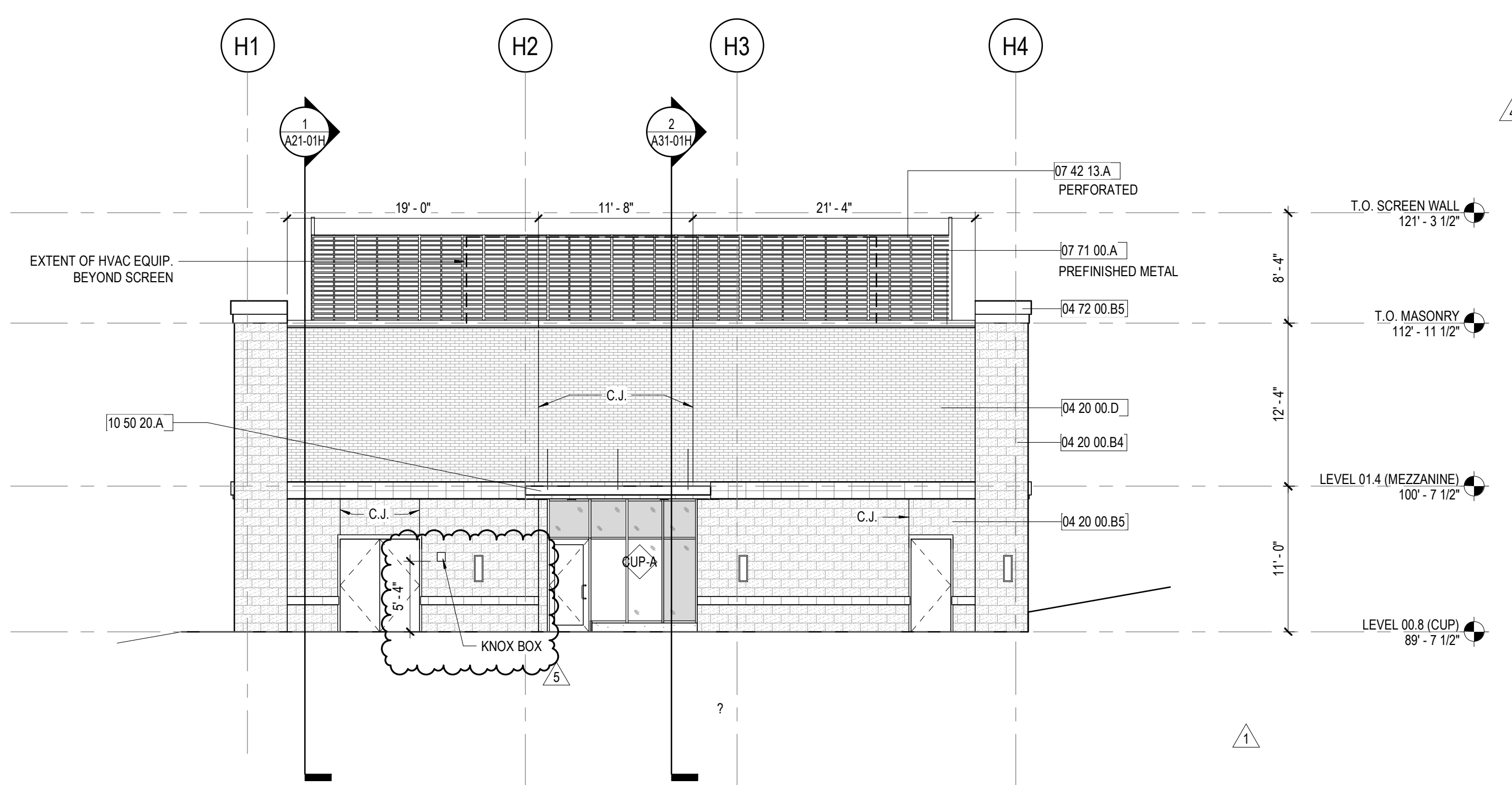
4 SOUTH ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"

DESIGN AMENDMENTS REQUESTED:

- Elimination of two louvers on the south elevation, no longer needed to serve mechanical systems.
- Addition of two windows on south elevation to match windows on north elevation.
- Relocation of mechanical louver from north elevation to south elevation.
- Change size of burnished CMU to standard modular masonry. Finish, grout, configuration and color to remain the same.

SP 2020 - 024

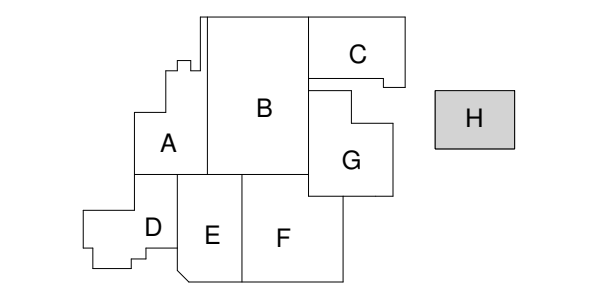
PROJECT



TEXAS HEALTH HOSPITAL ROCKWALL
3150 HORIZON RD.
ROCKWALL, TX 75032

PR 07 11/11/2020

KEYPLAN



ISSUE CHART

MARK	ISSUE	DATE
5	PR 06	11.XX.2020
4	PR 04	10.05.2020
3	PR 03	09.24.2020
2	PR 02	08.20.2020
1	ADDENDUM 01	04.02.2020

JOB NUMBER	147381.000
DRAWN	STB
CHECKED	DB
APPROVED	MDR

TITLE

EXTERIOR ELEVATIONS - CUP

SHEET NUMBER

A20-01H

**EXTERIOR ELEVATION
GENERAL NOTES**

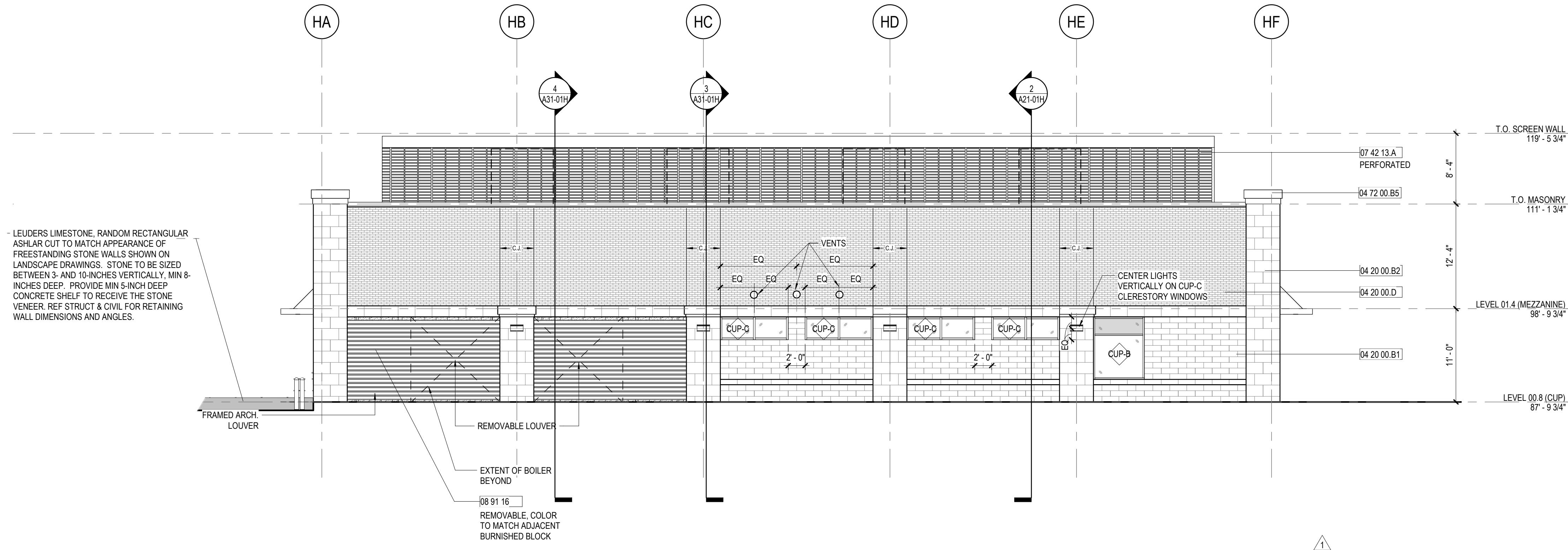
- MATERIAL SYMBOLS ON ELEVATIONS ARE TO DISPLAY THE EXTENT OF THE MATERIAL ONLY. THEY ARE NOT TO SCALE.
- PROVIDE BRICK EXPANSION JOINTS PER THE AMERICAN BRICK INSTITUTE'S RECOMMENDATIONS.

**EXTERIOR ELEVATION
LEGEND**

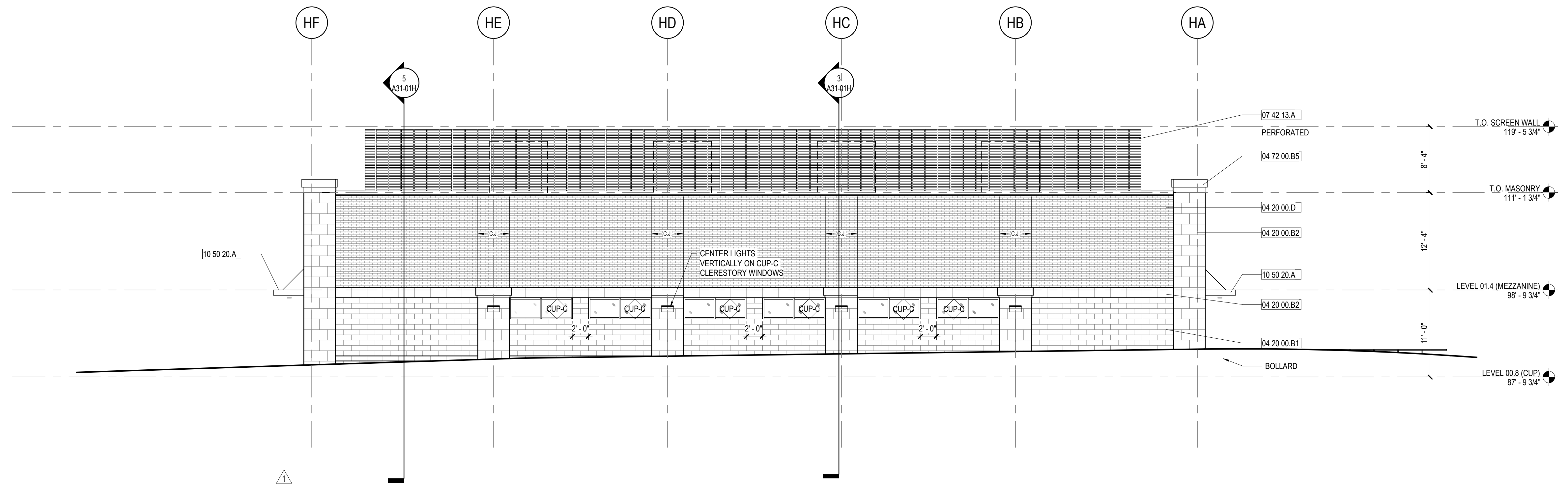
- EXTERIOR GLAZED OPENING TYPE. REFER TO GLAZING SCHEDULE.
- INTERIOR GLAZED OPENING TYPE. REFER TO GLAZING SCHEDULE.
- TEMPERED GLAZING FOR CODE.
- BUILDING EXPANSION JOINT. RE: XIAX-XX
- MASONRY EXPANSION JOINT. MATCH BRICK COLOR.

SPECIFICATION KEYNOTES

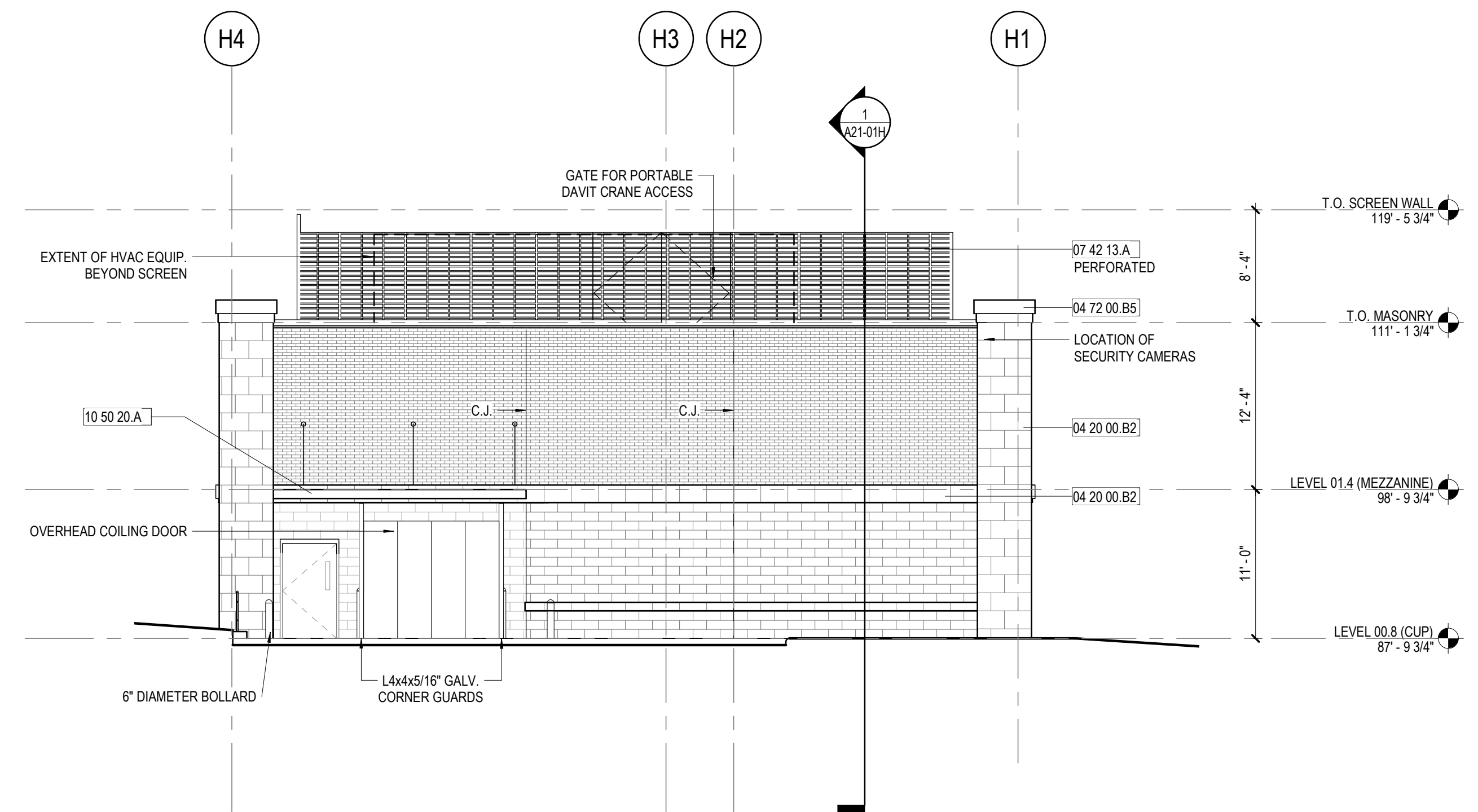
04 20 00 B1	4" CMU Veneer - Burnished CMU 8" x 24"
04 20 00 B2	4" CMU Veneer - Burnished CMU 16" x 24"
04 20 00 D	Face Brick
04 72 00 B5	Cast Stone Coping
07 42 13 A	Formed Metal Wall Panel
07 71 00 A	Coping Cap
08 91 16	Operable Wall Louvers
10 50 20 A	Prefabricated Metal Canopies



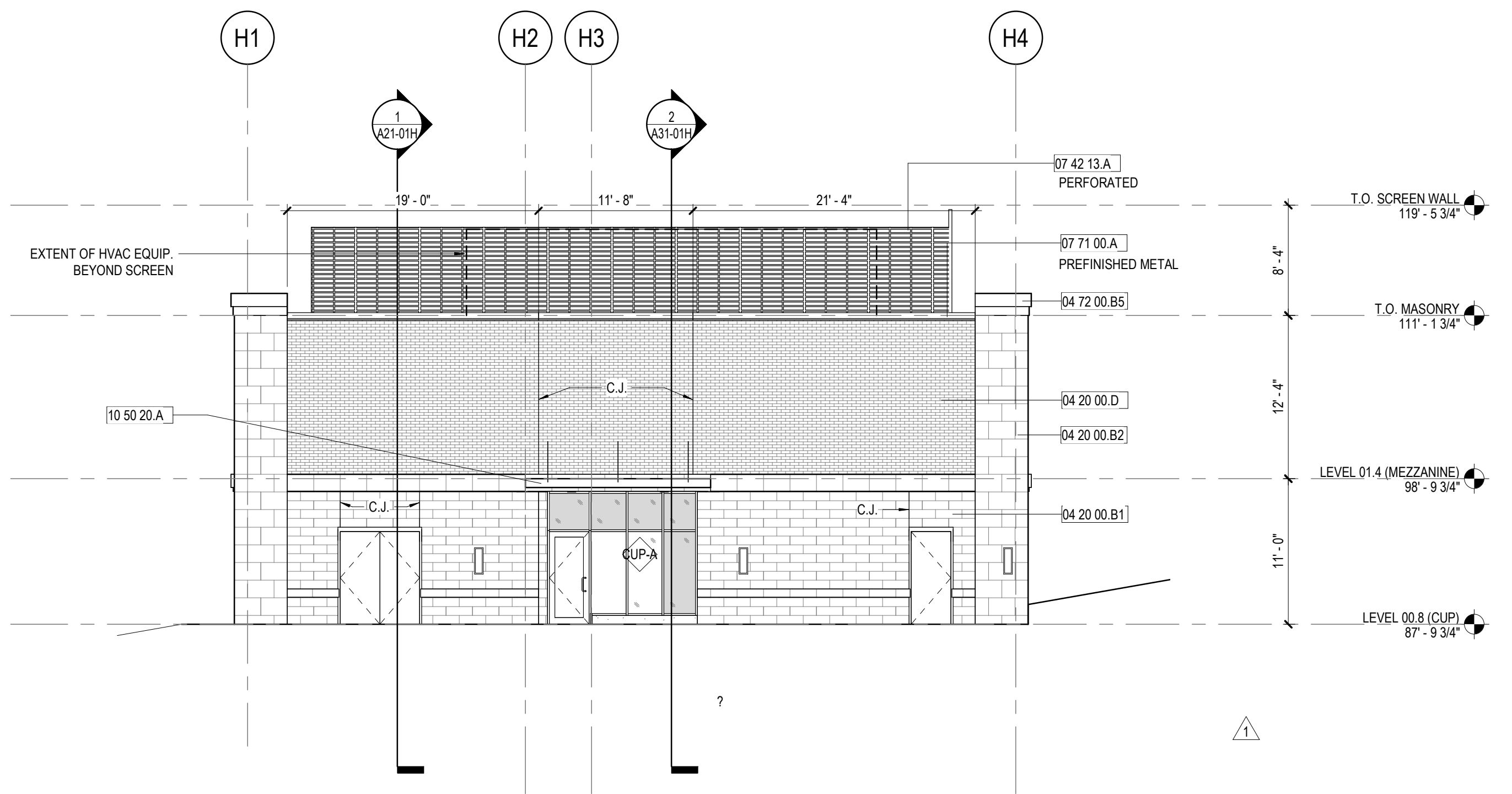
4 SOUTH ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"

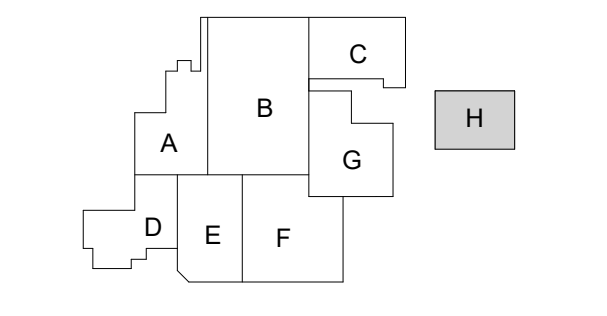
PROJECT



**TEXAS HEALTH
HOSPITAL ROCKWALL**
3150 HORIZON RD.
ROCKWALL, TX 75032

PR 02 08/20/2020

KEYPLAN



ISSUE CHART

MARK	ISSUE	DATE
2	PR 03	08 20 2020
1	ADDENDUM 01	04/02/2020

JOB NUMBER	147381.000
DRAWN	STB
CHECKED	DB
APPROVED	MDR

**EXTERIOR ELEVATIONS
- CUP**

SHEET NUMBER

A20-01H

SP 2020-024



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 24, 2020
APPLICANT: Gary Gordon
CASE NUMBER: MIS2020-015; *Special Exception for 222 W. Quail Run Road*

SUMMARY

Discuss and consider a request by Gary Gordon for the approval of a Special Exception to allow a front yard fence on a 0.687-acre parcel of land identified as Lot 1, Block A, Barz Acre Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 222 W. Quail Run Road, and take any action necessary.

BACKGROUND

On February 19, 1962, the subject property was annexed by the City Council through *Ordinance No. 62-01 [Case No. A1961-002]*. On September 21, 1987, the City Council approved a final plat [*Case No. PZ1987-055-01*] for the Barz Acre Subdivision. This final plat created a 0.917-acre parcel of land (*i.e. Lot 1, Block A, Barz Acre*). According to the Rockwall Central Appraisal District (RCAD), a 2,097 SF single-family home was constructed on the subject property in 1998. On April 8, 2002 a 0.23-acre portion of the 0.917-acre parcel of land (*i.e. identified as Lot 1-1, Block A, Barz Acre*) was conveyed to the adjacent property owner (*i.e. 220 W. Quail Run Road*) by metes and bounds through a warranty deed.

PURPOSE

The applicant is requesting approval of a special exception to allow for a front yard fence as stipulated by Subsection 08.03(D)(b), of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 222 W. Quail Run Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is W. Quail Run Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Random Oaks at the Shores Subdivision, which is an established single-family neighborhood consisting of 75 residential lots that are zoned Planned Development District 3 (PD-3) for Single-Family 7 (SF-7) District land uses.

South: Directly south of the subject property is an 11.723-acre tract of vacant land (*i.e. Tract 5 of the S. King Survey, Abstract No. 131*) that is currently owned by the City of Rockwall. South of this tract is a 9.3154-acre tract of vacant land (*i.e. Tract 8 of the J. H. B. Jones Survey, Abstract No. 124*) that is currently owned by the City of Rockwall. Beyond this is S. Lakeshore Drive, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are three (3) single-family homes zoned Single-Family 10 (SF-10) District, and are which are adjacent to W. Quail Run Road. W. Quail Run Road is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an ~11,000 SF strip retail building that is currently under construction. This building is zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses. Beyond this

is N. Goliad Street [SH-205], which is designated as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is one (1) single-family home zoned Single-Family 10 (SF-10) District. Beyond this is an 11.723-acre tract of vacant land (*i.e. Tract 5 of the S. King Survey, Abstract No. 131*) that is owned by the City of Rockwall and zoned Planned Development District 65 (PD-65) for Single-Family 10 (SF-10) District and General Retail (GR) District land uses.

CHARACTERISTICS OF THE REQUEST:

The applicant is proposing to install a 52-inch high wrought iron fence (*i.e. a 48-inch wrought iron fence with four [4] inch decorative crosses attached to the top of the fence*) along the perimeter of the front, rear and sides of the subject property. According to Subsection 08.03(D)(2) of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(n)o fence shall be constructed in the front yard of a residential property without being granted an *exception* from the Planning and Zoning Commission unless specifically permitted by Subsection 08.03(D)(3)." Subsection 08.03(D)(3) outlines exemptions for certain properties that do not need to request a special exception for a front yard fence. These exemptions include properties in a *Single-Family Estate* zoning district and model homes, neither of which apply to the subject property. Additionally, Subsection 08.03(D)(2)(b) of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) states that "(w)rought iron or decorative metal fences that are 50% transparent shall not exceed 48-inches in height". In this case, the applicant is requesting a special exception to construct a wrought iron fence, which does meet the requirements for the special exception request; however, the applicant is also requesting to exceed the maximum height permitted for a front yard fence by four (4) inches (*i.e. a 52-inch fence*). Staff should note that the Unified Development Code (UDC) is specific when referring to the maximum height for front yard fences, and there does not appear to be a hardship inhibiting the applicant from meeting the requirements. With this being said, this request is a discretionary decision for the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request for a special exception to allow for a front yard fence, then staff would propose the following conditions of approval:

- (1) The applicant will be required to obtain a fence permit from the Building Inspections Department;
- (2) The fence be limited to a maximum of 48-inches in the front yard in accordance with the requirements of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC); and,
- (3) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. MIS2020-015

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 222 W. QUAIL RUN ROCKWALL TX 75087

Subdivision BARZ ACRE Lot 1 Block A

General Location North Rockwall near the Shores

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF-10

Current Use RESIDENTIAL

Proposed Zoning SF-10

Proposed Use RESIDENTIAL

Acreage 0.687

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Gary Gordon

Applicant Same

Contact Person Gary Gordon

Contact Person Same

Address 222 W. QUAIL RUN

Address Same

City, State & Zip Rockwall

City, State & Zip Same

Phone 972-241-5950

Phone Same

E-Mail cecilia.gordon@gmail.com

E-Mail Same

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Gary & Cecilia Gordon [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 12th day of November, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

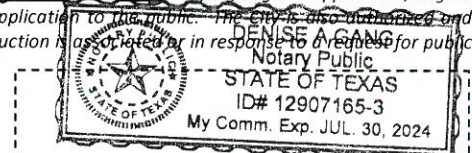
Given under my hand and seal of office on this the 12th day of November, 2020.

Owner's Signature

Gary Gordon

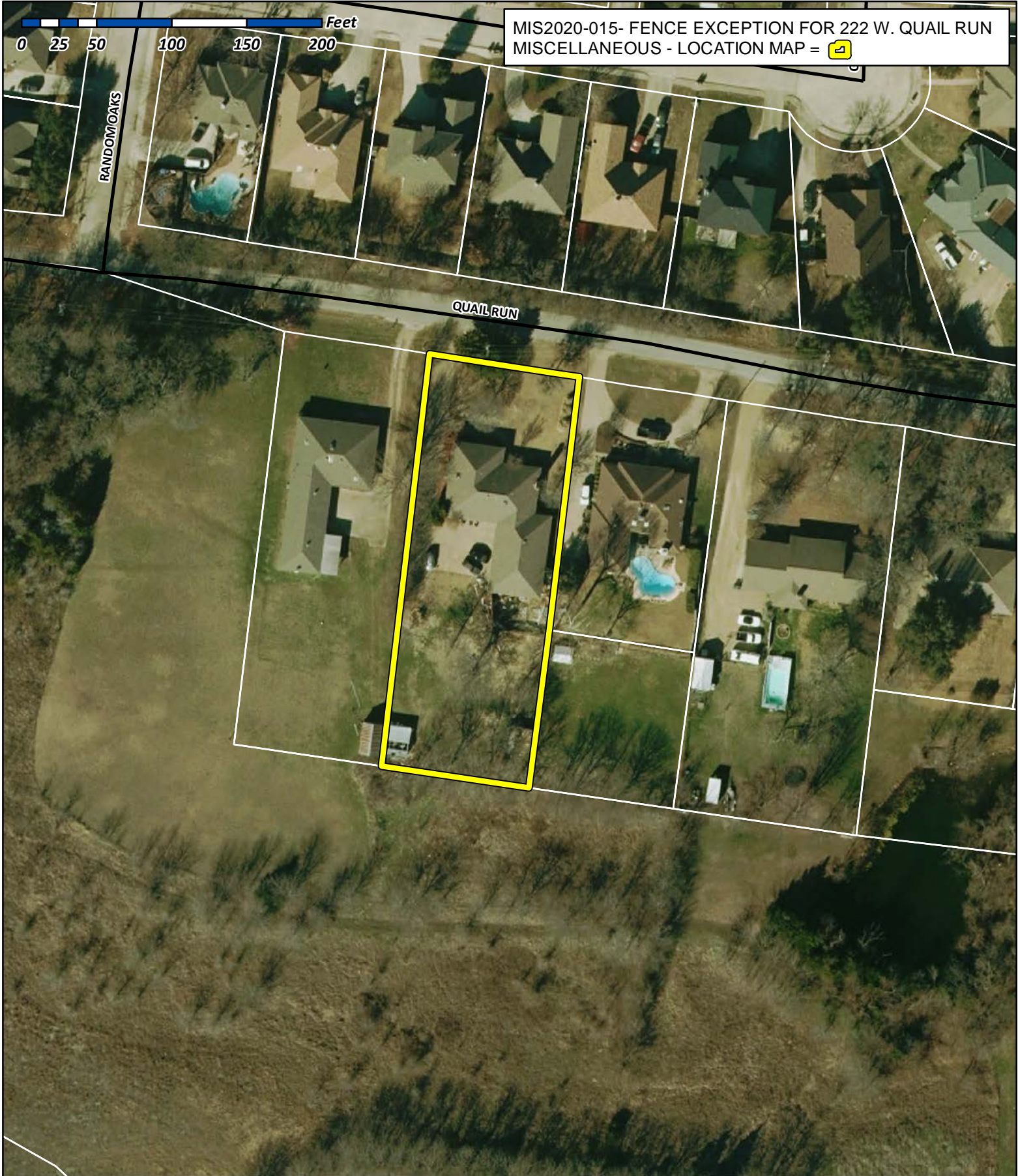
Notary Public in and for the State of Texas

[Signature]



My Commission Expires

July 30, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: MIS2020-015
PROJECT NAME: Fence Exception for 222 W. Quail Run Road
SITE ADDRESS/LOCATIONS: 222 W QUAIL RUN RD, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Needs Review
11/18/2020: M - Fence must be in property limits. There was a 25' ROW dedication in 1987 (see last page of attachments). I - If this is approved, you will need to have a surveyor stake the Right of Way/location of the fence.			
BUILDING	Rusty McDowell	11/16/2020	Approved
No Comments			
FIRE	Ariana Kistner	11/17/2020	Approved
No Comments			
GIS	Lance Singleton	11/17/2020	Approved
No Comments			
POLICE	David Gonzales	11/20/2020	N/A
No Comments			
PARKS	Travis Sales	11/16/2020	Approved
11/16/2020: No comments			
PLANNING	David Gonzales	11/20/2020	Needs Review
11/20/2020: MIS2020-015; Front Yard Fence - Special Exception for 222 W. Quail Run Road			

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Special Exception to allow a front yard fence on a 0.687-acre parcel of land identified as Lot 1, Block A, Barz Acre Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 222 W. Quail Run Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (MIS2020-015) in the lower right-hand corner of all pages of all revised plan submittals.

I.4 The front yard fence shall conform to all standards and requirements of the Unified Development Code (UDC), the staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.5 The following are conditions of approval for the Planning and Zoning Commission to consider:

(1) The applicant will be required to obtain a fence permit from the Building Inspections Department;

(2) The fence be limited to a maximum of 48-inches in the front yard in accordance with the requirements of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC)

I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

I.7 Please note the scheduled meetings for this case:

1) Planning & Zoning Commission meeting will be held on November 24, 2020.

I.8 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions regarding the request. The Planning and Zoning meeting will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

222 WEST QUAIL RUN

GATE NOTES

WEST QUAIL RUN ASPHALT

~~16 FT~~

SLIDING
16 FT SLIDING
SOLAR POWERED

Fence must be in property limits. There was a 25' ROW dedication in 1987 (see last page).

If approved, you'll need to have the right-of-way staked by a surveyor prior to construction.

DRIVE WAY



222 WEST DUAL RUN

6 FT BACK FROM ASPHALT

SLIDING GATE TO BE SET BACK 20 FT FROM ASPHALT SLAB POWERED

Fence must be in property limits. There was a 25' ROW dedication in 1987 (see last page).

APPROX 78 FEET TO ASPHALT ON WEST SIDE OF DUAL RUN

FENCE WILL STOP 6 FOOT SHORT OF ASPHALT ON WEST SIDE OF DUAL RUN

FOUNDATION
APPROX 2 FT TO PROPERTY LINE

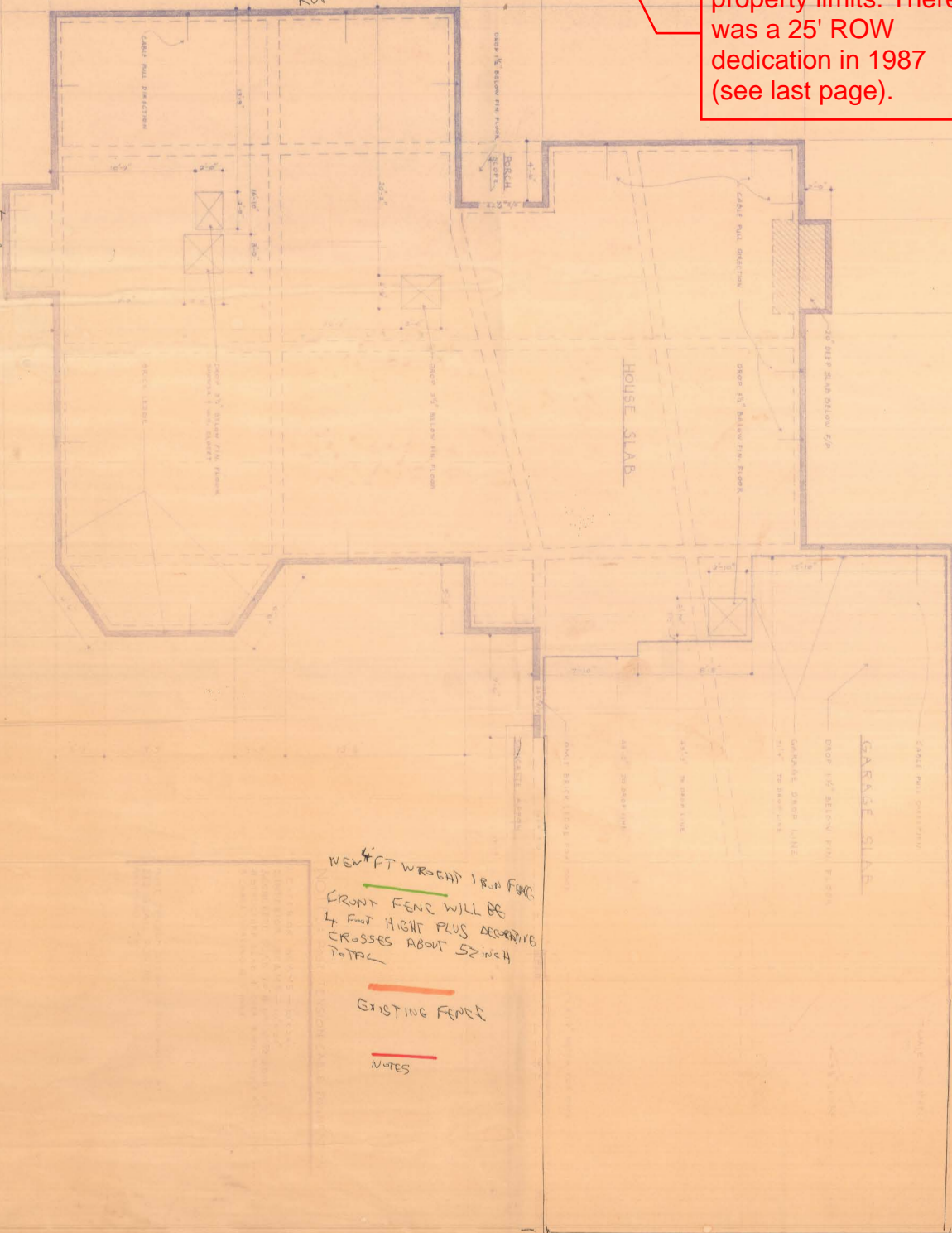
222 WEST DUAL RUN

M I L L E R H O U S E P L A N S 5 1 0 8

222 WEST DUAL RUN

222 WEST DUAL RUN

Down to new road



NEW 4 FT WROUGHT IRON FENCE
FRONT FENCE WILL BE
4 FOOT HEIGHT PLUS DECORATIVE
CROSSES ABOUT 52 INCH
TOTAL

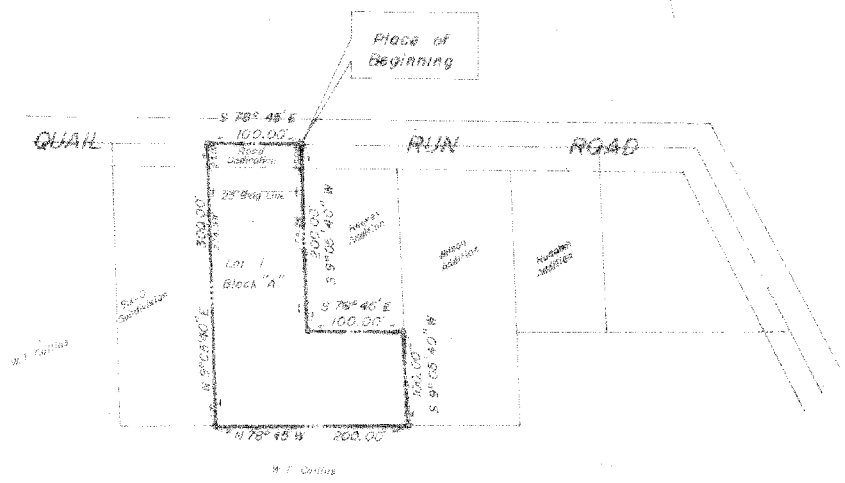
EXISTING FENCE

NOTES

BACK FENCE WILL BE
4 FT WRG

1 1/2 1 1/2

LOCATION MAP



FINAL PLAT

BARZ **ACRE**

CITY OF ROCKWALL

S. KING SURVEY ABSTRACT NO. 131

ROCKWALL COUNTY, TEXAS

GREGG BARZ **OWNER**

4008 BARNES BRIDGE ROAD (1-214-881-3953) DALLAS, TEXAS 75228

B.L.S. & ASSOCIATES, INC. **SURVEYORS**

RT. 1 BOX 192-E SIDES ROAD (1-214-722-4036) ROCKWALL, TEXAS 75087

SCALE 1"=100' AUGUST 13, 1987

STATE OF TEXAS
COUNTY OF ROCKWALL

Gregg Barz, being owner of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:

Being a tract of land situated in the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, and being more particularly described as follows:

Beginning, at a point in the center of Quail Run Road, said point being the northwest corner of Reeves Addition, an addition to the City of Rockwall, an iron stake for corner:

- Thence, S 9°05'40"W., leaving the said center of Quail Run Road, a distance of 200.00 feet to an iron stake for corner;
- Thence, S 78°45'E., a distance of 100.00 feet to an iron stake for corner;
- Thence, S 9°05'40"W., a distance of 100.00 feet to an iron stake for corner;
- Thence, N 78°45'W., a distance of 200.00 feet to an iron stake for corner;
- Thence, S 9°05'40"W., a distance of 300.00 feet to a point in the center of Quail Run Road, an iron stake for corner;
- Thence, S 78°45'E., along the center of Quail Run Road, a distance of 100.00 feet to the PLACE OF BEGINNING and containing 0.917 acres of land.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That Gregg Barz, being owner, does hereby grant this plat designating the herein above described property as Barz Acres, to the City of Rockwall, Rockwall County, Texas, and does hereby dedicate to the public use forever, the streets and alleys shown thereon and do hereby reserve the right-of-way and easement strips shown on this plat for the purpose stated and for the mutual use and accommodation of all utilities desiring to use or using same, any public utility shall have the right to remove all or part of any buildings, fences, trees, shrub or other growths or improvements which in any way impede or interfere with construction, maintenance or efficiency of their respective systems on any of the right-of-way and easement strips and any public utility shall have the right of ingress and egress to, from and upon the said right-of-way and easement strips for the purpose of construction, reconstruction, patrolling, maintaining and either adding to or removing all or part of their respective systems without the necessity of at any time crossing the possession of anyone. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grades or streets in this addition. It shall be the policy of the City of Rockwall to withhold issue of building permits until all streets, water, sewer and storm drainage systems have been accepted by the city. No approval of a plat by the City does not constitute any representation, assurance or guarantee that any building without such plat shall be approved, authorized or permitted. Licenses issued, nor shall any approval constitute any representation, assurance or guarantee by the title of the survey and availability of water for personal use and fire protection through such plat.

Gregg Barz
GREGG BARZ

STATE OF TEXAS
Before me, the undersigned Notary Public, in and for the State of Texas, on this day personally appeared Gregg Barz, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration herein expressed.

GIVEN under my hand and seal of office this 14th day of October, A.D. 1987.

Margie Brown
Notary Public for the State of Texas
My Commission Expires 3-22-91

SURVEYORS CERTIFICATE

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:
That I, Rob O. Brown, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision.

Rob O. Brown
Rob O. Brown, Registered Public Surveyor # 1745
STATE OF TEXAS
COUNTY OF ROCKWALL



Before me, the undersigned Notary Public in and for the State of Texas, on this day personally appeared Rob O. Brown, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration herein expressed.

GIVEN under my hand and seal of office this 14th day of October, A.D. 1987.

Margie Brown
Notary Public for the State of Texas
My Commission Expires 3-22-91

RECOMMENDED FOR FINAL APPROVAL:

William Egan
City Manager

John Blasing
City Clerk

I hereby certify that the above foregoing plat of Barz acres to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, Texas, on the

21st day of September, A.D. 1987.

WITNESSED our hand this 2nd day of November, A.D. 1987.

John Blasing
City Clerk



John Blasing
City Clerk

Barz Acres



City of Rockwall
The New Horizon

CITY OF ROCKWALL

BUILDING PERMITS
BUILDING INSPECTION DEPT.

385 S. Goliad St.,
Rockwall, TX 75087

Phone #: (972) 771-7709

Permit # _____

To schedule an inspection go to: www.rockwall.com/buildinginspections/inspectionreq.asp

CONSTRUCTION ADDRESS 222 WEST QUAIL RUN				TYPE OF PERMIT FENCE				
SUBDIVISION BARZ ACRE, BLOCK A, LOT 1			ZONING Res	LOT 1	BLOCK A			
BUILDING OWNER Cecilia Gordon		MAIL ADDRESS 222 W. QUAIL RUN ROCKWALL TX		CITY, STATE, ZIP 75087		PHONE # 469-223-4573		
PERSON TO BE CONTACTED REGARDING PERMIT Gary Gordon			E-MAIL ADDRESS mhandyman972@aol.com			PHONE # 972-241-5950		
EMAIL ADDRESS FOR INSPECTION REPORT ceciliagordon8@gmail.com								
GENERAL CONTRACTOR Gary Gordon		MAIL ADDRESS 222 W. QUAIL RUN ROCKWALL TX		CITY, STATE, ZIP 75087		PHONE # 972-241-5950		
ELECTRICAL CONTRACTOR NA		MAIL ADDRESS		CITY, STATE, ZIP		PHONE #		
PLUMBING CONTRACTOR NA		MAIL ADDRESS		CITY, STATE, ZIP		PHONE #		
MECHANICAL CONTRACTOR Gary Gordon		MAIL ADDRESS		CITY, STATE, ZIP		PHONE # 972-241-5950		
BUILDING INFORMATION								
1 st floor SF 2236	2 nd floor SF	Garage 1568	Covered Porch	Covered Patio	Total SF 3804	Height 16'	Lot Size 300x100	Plan #
Permit Description: Fence with security gate 52" wrought iron								
<small>NOTICE TO APPLICANT: THIS PERMIT IS ISSUED ON THE BASIS OF INFORMATION FURNISHED IN THIS APPLICATION AND ON ANY SUBMITTED PLANS, AND IS SUBJECT TO THE PROVISIONS IN ADDITION, REQUIREMENTS OF THE CITY OF ROCKWALL CODE OF ORDINANCES AND ANY OTHER APPLICABLE ORDINANCE. THIS PERMIT IS ISSUED ONLY FOR THE PURPOSE OF ALLOWING CONSTRUCTION OF A BUILDING OR STRUCTURE CONFORMING TO THE CODES AND ORDINANCES OF THE CITY, REGARDLESS OF INFORMATION AND/OR PLANS SUBMITTED.</small>								
<small>SCOPE OF PERMIT: FOR NEW BUILDINGS AND FOR ADDITIONS TO EXISTING BUILDINGS, THIS PERMIT AUTHORIZES STRUCTURAL, PLUMBING, ELECTRICAL, MECHANICAL, AND WORK TO BE PERFORMED IN THE CONSTRUCTION OF THE BUILDING OR STRUCTURE AT THIS ADDRESS, IF DONE AT THE SAME TIME OF INITIAL CONSTRUCTION. NO SEPARATE SUBCONTRACTOR PERMITS ARE NEEDED FOR THOSE TRADES. HOWEVER, THE PERMIT HOLDER IS REQUIRED TO USE ONLY SUBCONTRACTORS LICENSES, REGISTERED, OR BONDED BY THE CITY OF ROCKWALL WHERE SUCH REQUIREMENT IS APPLICABLE.</small>								
I HEREBY ACCEPT ALL CONDITIONS HEREIN ABOVE MENTIONED AND CERTIFY That ALL STATEMENTS HEREIN RECORDED BY ME ARE TRUE:				ESTIMATED VALUE: (Commercial Only)				
AGENT OR APPLICANT _____				Building Permit		\$ _____		
(DATE) _____				Water Meter Deposit		\$ _____		
Subject property is _____ or not _____ within the flood hazard area.				Meter Installation		\$ _____		
Required lowest floor elevation is _____.				Sewer Service		\$ _____		
CITY APPROVAL _____				Water Impact Fees		\$ _____		
(DATE) _____				Sewer Impact Fees		\$ _____		
				Siren Fee		\$ _____		
				Contractor Registration		\$ _____		
				Certificate of Occupancy		\$ _____		
				Total Fees		\$ _____		

222 WEST QUAIL RUN

GATE NOTES

WEST QUAIL RUN ASPHALT

↑
↓ 6FT

SLIDING

16 FT SLIDING
SOLAR POWERED

DRIVE WAY



222 WEST DUAL RUN

6 FT BACK FROM ASPHALT

SLIDING GATE TO BE SET BACK 20 FT FROM ASPHALT SLAB PORTED

APPROX 18 FEET TO ASPHALT ON WEST DUAL RUN

FENCE WILL STOP 6 FOOT SHORT OF ASPHALT ON WEST DUAL RUN

FOUNDATION PLAN

APPROX 2 FT TO PROPERTY LINE

APPROX 2 FT TO PROPERTY LINE

DOWN TO BACK PROPERTY LINE

DOWN TO BACK PROPERTY LINE

DOWN TO BACK PROPERTY LINE



NEW 4 FT WROUGHT IRON FENCE
FRONT FENCE WILL BE
4 FOOT HIGH PLUS DECORATIVE
CROSSES ABOUT 5 1/2 INCH
TOTAL

EXISTING FENCE

NOTES

BACK FENCE WILL BE
4 FT WROUGHT

DOWN TO BACK PROPERTY LINE



CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: November 24, 2020
SUBJECT: MIS2020-017; *Variance Request for Harbor Heights Condominiums*

On January 15, 2019, the Planning and Zoning Commission approved a site plan [Case No. SP2018-043] for a 375-unit condominium building at 2600 Lakefront Trail. In conjunction with this request and approval, the applicant also proposed the construction of a public parking garage at 2800 Lakefront Trail. Since this approval, the applicant has received approval of the civil engineering plans [Case No. E2020-002], a final plat [Case No. P2020-011], and building permits [Case No.'s BLD2020-0564 & COM2020-1515] for the 375-unit condominium and the public parking garage. Both of these projects are currently under construction.

Extending along Lakefront Trail from IH-30 toward Summer Lee Drive there are existing overhead powerlines situated within the right-of-way. These powerlines are located on the eastside of the right-of-way of Lakefront Trail, cross Lakefront Trail behind 2850 Shoreline Trail, continue to run toward Summer Lee Drive on the westside of the right-of-way of Lakefront Trail, and terminate approximately 120-feet from the intersection of Lakefront Trail and Summer Lee Drive. The termination point is located in front of the surface parking areas for the *Harbor Retail Shopping Center*, approximately in front of the *Cinemark 14 Rockwall and XD* building. Recently, the applicant approached staff with an issue concerning the ability to underground the overhead electrical lines on the parcel where the parking garage is currently being constructed. Specifically, there are two (2) reinforced concrete boxes running parallel to each other that are located underground, adjacent to the existing electrical pole that supports the lines that cross Lakefront Trail, at the southeast corner of the property. According to applicant, the location of the existing concrete boxes do not provide sufficient space to underground the existing overhead electrical lines. According to Section 03.03, *Utility Distribution Lines*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(a)ll utility distribution lines shall be placed underground. Utility distribution lines placed above-ground shall require special approval of the City Council based upon a recommendation from the Planning and Zoning Commission." This requirement is also stipulated by the IH-30 Overlay (IH-30 OV) District requirements [Subsection 06.02, *General Overlay District Standards*, by Article 05, *District Development Standards*, of the UDC] and in Section 38-15 of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. Both of which are requirements for the subject property.

Staff did work with the applicant to try and identify solutions to correct this problem before choosing to bring this forward to the Planning and Zoning Commission and City Council. These solutions included multiple different attempts to reroute the undergrounding of the overhead lines and the incorporation of decorative poles (*i.e. steel or concrete*) as opposed to the creosote poles that currently exist; however, after meeting with representatives from Oncor and listening to the hurdles, costs and timelines they associated with these solutions it was determined that the best course of action may be to bring this request forward for a variance to the undergrounding requirements (*see email from Oncor in the attached packet*). Staff should note, that the location of the existing pole would necessitate a loss of four (4) public parking spaces from the plan. Since the public parking spaces along Lakefront Trail were required by Planned Development District 32 (PD-32) and Ordinance No. 19-21 [*i.e. the PD Development Plan for the site*], staff and the applicant determined that an alternative plan proposing to add an additional pole -- *southeast of the existing pole* -- to reduce the loss of public parking down to a single space would be more preferable. Under this plan the additional pole would allow for two (2) of the guywires to be removed, which allows the three (3) public parking spaces to be added back to the plan; however, this option and the approval of this request are discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission. As compensatory measures for the requested variance the applicant has agreed to [1] relocated the lost public parking space to another location in the development and [2] provide enhanced landscaping in the areas were the existing and proposed poles are/will be situated. Attached to this packet is the updated *Landscape Plan* provided by the applicant, and a requirement for the applicant to provide an updated site plan showing the relocation of the effected parking space has been added as a condition of approval below.

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request staff would propose the following conditions of approval:

- (1) The applicant shall provide an updated site plan showing the proposed location of the relocated parking space. This site plan will require administrative approval by the Director of Planning and Zoning.

Should the Planning and Zoning Commission have any questions concerning this request staff and the applicant will be available at the November 24, 2020 meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address: 2600 Lakefront Trail

Subdivision: Harbor-Rockwall Addition Lot: // Block: A

General Location: SW Corner IH30 and Lakefront Trail

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: PD # 32 Current Use: _____

Proposed Zoning: _____ Proposed Use: _____

Acreage: 1.064 Ac Lots [Current]: _____ Lots [Proposed]: _____

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner: Ablon AT Harbor Village LP Applicant: _____

Contact Person: James Ziegler Contact Person: _____

Address: 8222 Douglas Ave Address: _____
Suite 390

City, State & Zip: Dallas, TX 75225 City, State & Zip: _____

Phone: 214 389 6195 Phone: _____

E-Mail: jziegler@pegasus@ablon.com E-Mail: _____

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared James Ziegler [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

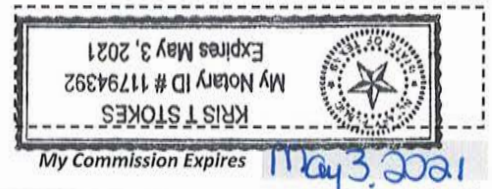
Given under my hand and seal of office on this the 13th day of November, 20 20.

Owner's Signature

[Signature]

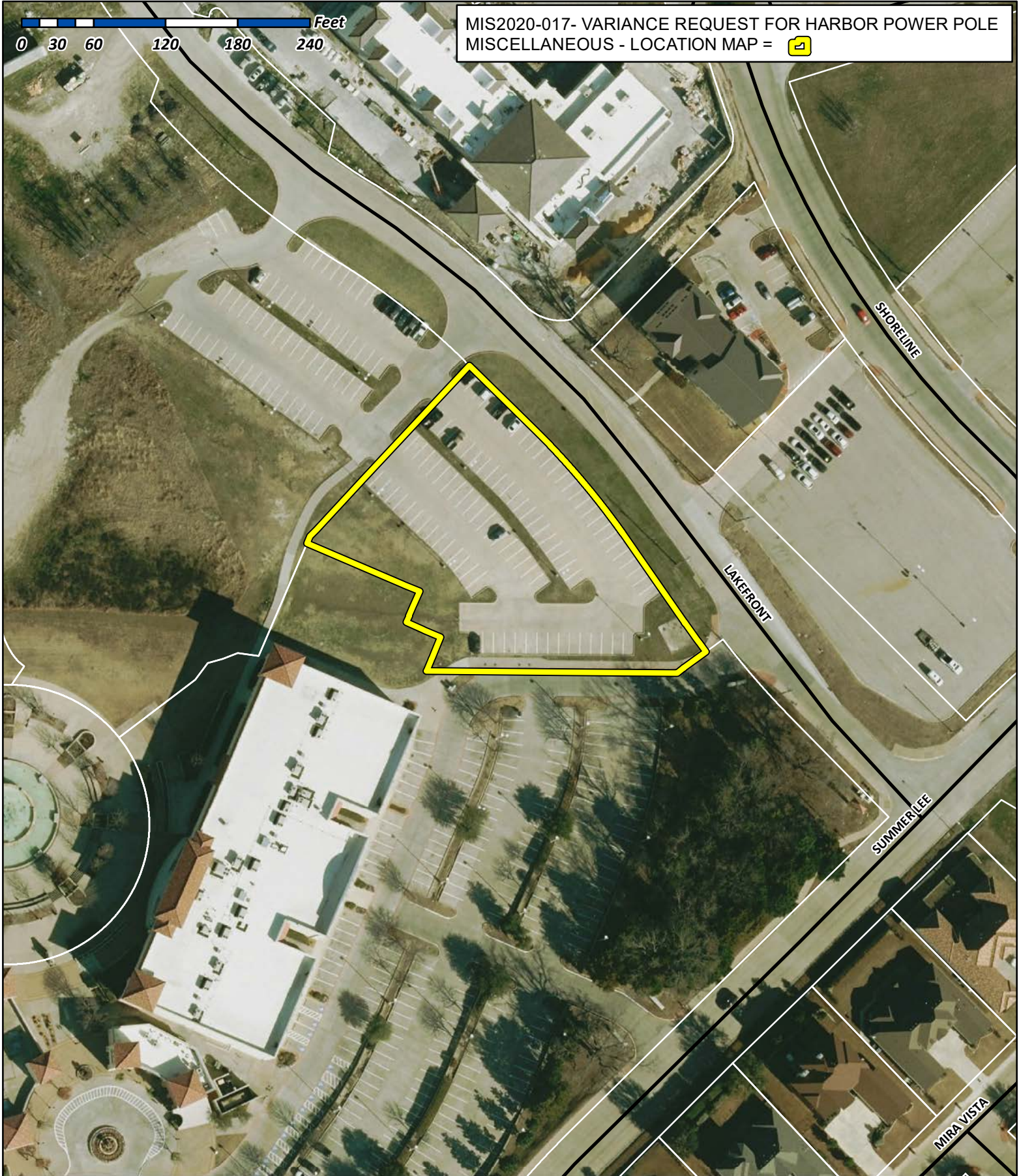
Notary Public in and for the State of Texas

[Signature]





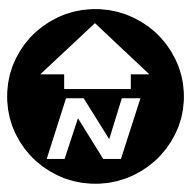
MIS2020-017- VARIANCE REQUEST FOR HARBOR POWER POLE
MISCELLANEOUS - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Miller, Ryan

From: Jim Ziegler <JZiegler@PegasusAblon.com>
Sent: Friday, November 13, 2020 1:57 PM
To: Miller, Ryan
Subject: Harbor Power Pole
Attachments: Rockwall Variance.pdf

Ryan,

Attached is the Zoning Application for the variance needed so that we can set a pole to supply power the retail parking garage we currently have under construction at The Harbor.

As we discussed this variance is necessary due to the fact that site conditions do not allow for a transformer to be set next to the structure where the power currently enters the property. There exists two side by side 48" RCBs that cut across the property and there is not enough room between them and the Lakefront Trail right of way to allow for a ground mounted transformer. The new pole will be added in line next to an existing pole. Power will drop down from the new pole and run under ground to the new parking structure.

Please let me know if everything is in order with the attached application.

Thanks

Jim

Jim Ziegler

Managing Director of Retail Investments

//



PegasusAblon pegasusablon.com

P (214) 389-6195 // F (214) 871-2799 // M (214) 384-8389

O 8222 Douglas Avenue, Suite 390 Dallas, TX 75225

//



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CITY OF
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RIM 471.67
FL 449.55

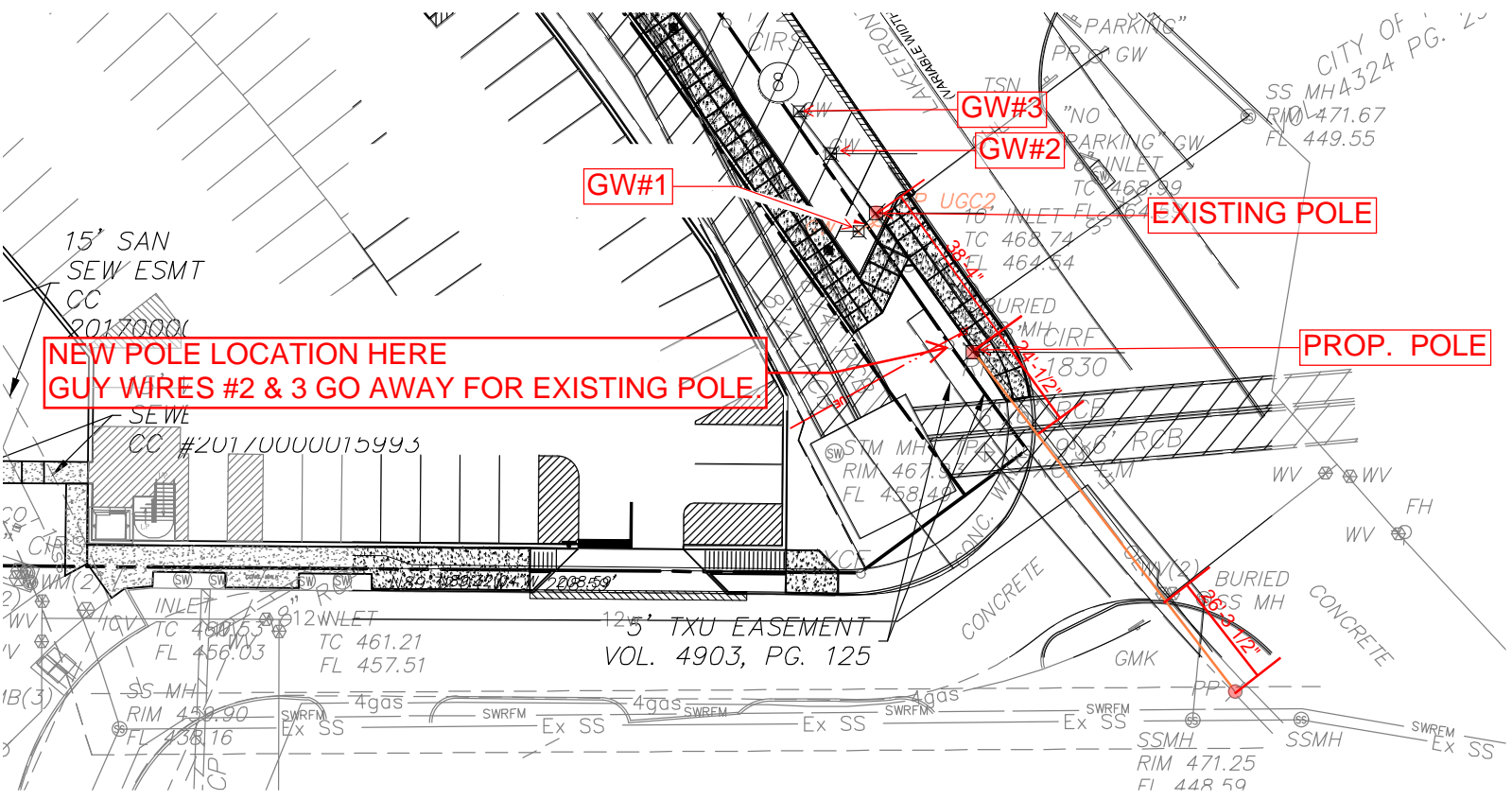
GW#3
GW#2

GW#1

EXISTING POLE

PROP. POLE

NEW POLE LOCATION HERE
GUY WIRES #2 & 3 GO AWAY FOR EXISTING POLE



SITE DATA TABLE	
HARBOR VILLAGE - ROCKWALL	
HARBOR - ROCKWALL ADDITION	6,200 ACRES
LOT 9A, BLOCK A	270,065 SQ-FT
BUILDING AREA	127,000 SQ-FT
USE	DWELLING UNITS
COVERAGE	47.03%
TOTAL NUMBER OF UNITS	375 UNITS
REQUIRED PARKING RATIO	1.5 PER UNIT
PARKING REQUIRED	563 SPACES
OFF-STREET PARKING PROVIDED	545 SPACES
ON-STREET PARKING PROVIDED	34 SPACES
TOTAL PARKING PROVIDED	579 SPACES
OFF STREET PROVIDED PARKING RATIO	1.5 PER UNIT
HANDICAP REQUIRED	12 SPACES
HANDICAP PROVIDED	12 SPACES
OVERFLOW PARKING PROVIDED	176 SPACES

- SITE NOTES**
- SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING, DRAINAGE, DIMENSION CONTROL, AND UTILITY DRAWINGS.
 - SEE MECHANICAL AND ELECTRICAL ENGINEER'S DRAWINGS FOR ELECTRICAL TRANSFORMERS AND HVAC COMPRESSOR LOCATIONS.
 - SEE LANDSCAPE DRAWINGS FOR FINE GRADING, SIDEWALKS, PLANTING, RETAINING WALL LOCATIONS, FENCING, HANDICAP, PARKING SPACES AND POOL AND DECK DESIGN.
- ▲ GUARDRAILS AT UNIT PATIOS ARE PART OF THE POOL ENCLOSURE AND SHALL BE MINIMUM 48" A.F.F. REFER TO DETAIL 18/A7-15

LEGEND

REGISTERED ARCHITECT
REVISIONS
 04-15-2020
 04-15-2020



LANDSCAPE BASE UPDATED

HARBOR VILLAGE
 DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON
 2600 LAKEFRONT TRAIL

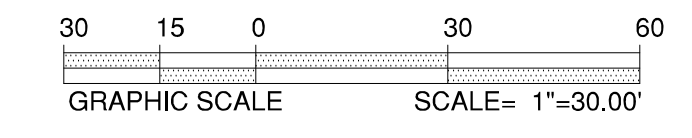
PERMIT SET
 ISSUED ON 12-17-19

HEDK ARCHITECTS
 4202 BELTWAY DRIVE ADDISON, TX 75001
 214.520.8878
 hedk.com

DATE
12-17-19
 PROJECT
17126
 SHEET NUMBER

A1-01
 SITE PLAN

1 SITE PLAN - HARBOR VILLAGE, ROCKWALL, TEXAS
 SCALE= 1"=30.00'



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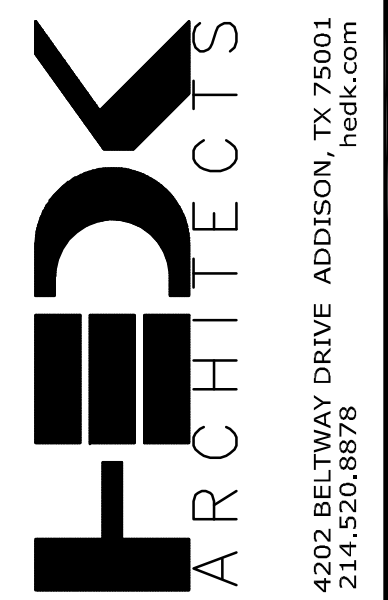


REVISIONS

1	Permit Submittal	04-21-2020
2	Power Pole	11-18-2020

HARBOR VILLAGE
OVERFLOW PARKING GARAGE
DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON
2600 LAKEFRONT TRAIL

CONSTRUCTION SET
ISSUED ON 05-29-2020



DATE

12-17-19

PROJECT

17126

SHEET NUMBER

L2.01

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PLANT LIST:

TREES	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	19	Bald Cypress	Taxodium distichum	4" cal.	container grown, 15' ht., 5' spread min.
	20	Live Oak	Quercus virginiana	4" cal.	container grown, 15' ht., 5' spread min.

SHRUBS	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	25	Nellie R. Stevens Holly	Ilex sp. 'Nellie R. Stevens'	8' ht.	container, full plant, 5' o.c.
	121	Nellie R. Stevens Holly	Ilex sp. 'Nellie R. Stevens'	36" ht.	container, full plant, 36" o.c.
	54	Gulf Muhly	Muhlenbergia capillaris	3 gal.	container, full top of container, 36" o.c.

GROUNDCOVERS	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	180	Berkeley Sedge	Carex divisa	4" pots	container, full top of container, 12" o.c.
	512	Mexican Feathergrass	Nassella tenuissima	1 gal.	container, full top of container, 12" o.c.
	1559	Wintercreeper	Euonymus fortunei coloratus	4" pots	container, (3) 12" runners min. 12" o.c.
		Common Bermudagrass	Cynodon dactylon	roll sod	solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

SOLID SOD NOTES

1. Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
5. Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
6. Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
7. Water sod thoroughly as sod operation progresses.
8. Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
9. Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
10. If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

LAWN REPAIR NOTES: IF NEEDED FOR ANY OFF-SITE REPAIRS

1. All lawn areas damaged during construction to be repaired with solid sod and raked free of debris.
2. Adjust damaged areas to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All areas to be repaired must be planted by hand to cover area completely. Insure edges of sod are touching. Top dress joints by hand with compost to fill voids.
4. Roll repaired areas to achieve a smooth, even surface, free from unnatural undulations.

IRRIGATION REPAIR SPECIFICATIONS: IF NEEDED FOR ANY OFF-SITE REPAIRS

1. Contractor shall perform site visit prior to bidding and construction, to review extent of existing irrigation system.
2. Contractor shall be responsible for verifying conditions of existing irrigation system. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, and if not, repair as needed, including but not limited to irrigation controller, meter, sieving, etc.

LANDSCAPE NOTES

1. Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
2. Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
3. Contractor is responsible for obtaining all required landscape and irrigation permits.
4. Contractor to provide a minimum 2% slope away from all structures.
5. All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
6. All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
7. All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

GENERAL LAWN NOTES

1. Fine grade areas to achieve final contours indicated on civil plans.
2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
5. All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
6. All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.
7. Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

LANDSCAPE TABULATIONS: PD-32

SITE REQUIREMENTS (site area 270,065 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
40,059 s.f. (15%)	55,414 s.f. (20.5%)

STREET REQUIREMENTS:

Requirements: (2) canopy trees and (4) accent trees per 100 l.f. of IH 30 Frontage

IH 30 FRONTAGE ROAD (411.30 l.f. / IH 30 OVERLAY)

Required	Provided
(8) canopy trees, 4" cal.	(8) canopy trees, 4" cal.
(32) accent trees, 8' ht. / 10' ht.	(32) accent trees, 8' ht. / 10' ht.

Requirements: (1) canopy tree, Live Oak; per 30 l.f. in 4' x 8' leave-out of frontage; PD 32

Required	Provided
(24) canopy trees	(24) canopy trees

PARKING LOT: N/A TWO STORY PARKING GARAGE

ALL TREES TO BE LOCATED 5' FROM WATER, SEWER AND STORM SEWER LINES

ALL TREES AND SHRUBS TO BE SETBACK 4' FROM ALL HEAD-IN PARKING

IRRIGATION WILL BE PROVIDED AND MEET UDC REQUIREMENTS

OVERFLOW PARKING LOT: 180 SPACES:
Required: (1) tree, 3" cal. 65 gallon per (8) spaces

REQUIRED
(23) trees, 3" cal. 65 gallon

PROVIDED:
(25) trees, 3" cal. 65 gallon INDICATED ON-SITE WITH

GRAPHIC PLANT LEGEND

- BALD CYPRESS
- LIVE OAK
- NELLIE R. STEVENS HOLLY, 8' HT.
- NELLIE R. STEVENS HOLLY
- GULF MUHLY
- MEXICAN FEATHER GRASS
- BERKELEY SEDGE
- WINTERCREEPER
- LAWN, SOLID SOD

smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel 214.871.0083
Fax 214.871.0545
Email smr@smr-ls.com



01 LANDSCAPE PLAN
SCALE: 1" = 20'-0"



CASE NO. SP2018-043

Miller, Ryan

From: Collins, Bryan <Bryan.Collins@oncor.com>
Sent: Tuesday, October 27, 2020 4:45 PM
To: Miller, Ryan
Cc: Tayem, Cindy
Subject: Harbor Village Pole location in Proposed parking spots
Attachments: Harbor Village Parking Garage.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Ryan,

Good afternoon, Thank You for your time meeting with Cindy and I. Per our discussion on Monday, I have researched every option in getting this project completed within the City's Ordinance. In this case I am unable to remove the pole located at the parking space due to the location of the down guys that are holding the pole line going across the street. If this pole is to be relocated to the other side of the sidewalk the down guys on both sides would change angles and would conflict with the sidewalk and the Storm water inlet, if I changed to a concrete pole and removed the down guys there is not sufficient space for a deadend concrete pole being 3ft in diameter. If the existing pole could stay in place losing one parking space and installing one pole in lead to the south of the inlet would enable us to place to down guys on the new pole and removing the guys from the existing pole only losing one parking space and would allow Oncor able to back up the existing pole going south. This pole line going south along Lakefront Trail is a feeder which is heavy wire requiring the line to be guyed at both ends. I have attached a drawing to indicate this.

I have looked at all options and this is they only one that I see that works for all. Because facilities at this corner Storm Manhole, easements, RCB Pipe and side walk there is no location to place electrical facilities Underground. If I place the facilities across the street then the pole line will need to be extended to house the new transformer and the existing transformer that is serving AT&T. All of our UG facilities require easements and sufficient property to place equipment to place all of these facilities underground, on site there is no location to place these facilities or easements, if placed offsite, because of the voltage drop to serve the elevator would be beyond the allowable voltage drop.

Please contact me if with question or concerns.

Thank You Sir, Bryan

Bryan Collins
Regional Designer
Oncor | PMDS
1545 High Point Dr
Mesquite TX 75149
bryan.collins@oncor.com
C: 214 232 2239
O: 972 216 8989
Oncor.com

My Supervisor: Michael Seiler
Cell: 214 930 9289 Email: Michael.seiler@oncor.com

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CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMORANDUM
PLANNING AND ZONING DEPARTMENT
 385 S. GOLIAD STREET • ROCKWALL, TX 75087
 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: November 24, 2020
SUBJECT: Z2020-041; *Subsection 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC)*

On November 2, 2020, staff held a work session with the City Council to discuss proposed changes to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC)* [i.e. the *takeline ordinance*] and the City's *Raw Water Policy*. These changes were prepared at the request of Mayor Pruitt, who asked staff to review the ordinance and bring changes that would: [1] provide clearer requirements with regard to the land uses, building materials, and construction standards permitted within the *takeline*, and [2] provide incentive for more property owners to pursue *takeline* leases. Based on the changes proposed at the work session, the City Council directed staff to proceed with adopting the amendment into the Unified Development Code (UDC).

A summary of the proposed changes to *the takeline ordinance* is provided on the front of the proposed amendment under the *Change Log* heading and which is included in the attached packet; however, this amendment is basically a complete overhaul of the language currently contained in this section of the Unified Development Code (UDC). Some of the major changes are summarized as follows:

- (1) The way in which the visual measurement for view corridors is currently being calculated was changed to allow a larger buildable area for lots with longer linear frontages of shoreline. Currently, the view corridor is calculated from a projection that starts at a central point in the adjacent property owner's rear yard, and projects outward into the takeline at a 36-degree angle. The proposed amendment changes this calculation to a defined point in the center of the takeline -- *at the quarter point* --, and projects this point back to the corners of the subject property. The advantages of this projection system are that it is easier for property owners and staff to calculate quickly, and it yields similar results as the previous projection calculation. For lots with over 100-feet of takeline frontage, this point starts 30-feet from the side yard of the takeline area and then projects back to the corner of the subject property. By doing this, the buildable area on these larger lots is increased in the *435.5-Elevation Zone*, and this allows the property owners leasing these areas the ability to construct certain structures in the center of the takeline area closer to the water's edge.
- (2) New language addressing *Residential Sublease Agreements* and the costs of these agreements were added. Staff should also point out that the fees for these agreements were reduced as follows:

Lease	Current Fees	Proposed Fees
New Lease (i.e. Never Leased by Current Owner)	\$600.00	\$200.00
Annual Renewal of a Lease	\$350.00	\$100.00
Change of Ownership of a Valid Lease	\$350.00	\$50.00
Reinstatement of an Expired Lease (i.e. Same Property Owner)	\$600.00	\$500.00

The purpose of this reduction is to incentivize more property owners to pursue *Residential Sublease Agreements*. In addition, all of the permitted land uses (*with the exception of municipal utilities*) now require the property owner to have a valid *Residential Sublease Agreement*.

- (3) Sea walls were added to the permitted land uses section of the ordinance. In addition, certain land uses now would require the construction of a sea wall prior to their establishment.

Attached to the memorandum is a copy of the proposed changes to the *takeline ordinance* and a draft ordinance. In accordance, with Section 02.04(B) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. The schedule for this text amendment is as follows:

Planning and Zoning Commission Work Session: November 24, 2020

Planning and Zoning Commission Public Hearing: December 8, 2020

City Council Public Hearing/1st Reading: December 21, 2020

City Council 2nd Reading: January 4, 2021

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on November 24, 2020.

STRUCTURE OF ORDINANCE CHANGE

(1) SUBSECTION 06.15: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT

- (A) PURPOSE
- (B) BOUNDARIES
- (C) APPLICABILITY
- (D) DEFINITIONS
- (E) VISUAL MEASUREMENTS FOR VIEW CORRIDORS
- (F) GENERAL REQUIREMENTS
- (G) RESIDENTIAL SUBLEASE
- (H) PERMITTED USES
- (I) SPECIFIC USE PERMITS (SUPS)
- (J) SPECIFICATIONS FOR PERMITTED LAND USES
 - (1) BARBECUE PIT
 - (2) BOATHOUSE
 - (3) COVERED PATIO
 - (4) DECK
 - (5) DOCK DECK
 - (6) FENCE
 - (7) FLAGPOLE
 - (8) FIXED PIER
 - (9) FIRE PIT
 - (10) GAZEBO
 - (11) LANDING AND STAIRS
 - (12) LANDSCAPING AND RETAINING WALLS
 - (13) MUNICIPAL UTILITIES
 - (14) OUTDOOR LIGHTING
 - (15) PATIO
 - (16) PERGOLA
 - (17) PICNIC TABLE
 - (18) PRIVATE PLAY STRUCTURE
 - (19) PRIVATE UTILITIES
 - (20) PRIVATE WALKWAYS
 - (21) SEAWALL
 - (22) SPRINKLER/IRRIGATION SYSTEM

(2) SUBSECTION 07.05: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS

CHANGE LOG

- (1) BROKE OUT EACH LAND USE AND STANDARDIZED THE SECTIONS.
- (2) ADDED FIRE PIT AND PICNIC TABLE AND BROKE OUT COVERED PATIO, DECK, PERGOLA, PATIO AND GAZEBO OUT INTO THEIR OWN SECTIONS.
- (3) CHANGED THE MATERIAL REQUIREMENTS FOR ALL STRUCTURES LOCATED IN THE 435.5 & 425.5 ELEVATION ZONES TO ALLOWING ONLY COMPOSITE MATERIALS OR METAL.
- (4) CHANGED THE WAY THE VIEW CORRIDORS WERE CALCULATED AND GAVE A GREATER ALLOWANCE TO PROPERTIES THAT HAVE A MINIMUM OF 100-FEET OF SHORELINE FRONTAGE.
- (5) REQUIRED COVERED PATIOS TO HAVE A CLERESTORY OR CUPOLA.
- (6) LIMITED MATERIALS SO THAT CLOTH, CANVAS, OR LIKE MATERIALS WERE NOT PERMITTED.
- (7) CHANGED THE SUP REQUIREMENT TO GIVE THE CITY COUNCIL GREATER AUTHORITY IN ALLOWING LAND USES AND STRUCTURES IN THE TAKELINE AREA.
- (8) DEFINED WHERE AND WHEN TREES CAN BE PLANTED OR REMOVED.
- (9) LIMITED THE NUMBER OF STRUCTURES PERMITTED IN EACH ZONE.
- (10) ADDED EXAMPLE IMAGES OF ALL PERMITTED LAND USES.
- (11) CHANGED LOCATIONAL REQUIREMENTS FOR STRUCTURES IN THE 435.5 ELEVATION ZONE AND BOAT RELATED STRUCTURES.
- (12) CREATED AN ADMINISTRATIVE EXCEPTION FOR PLACEMENT OF STRUCTURES
- (13) INSERTED A TAKELINE LEASE SECTION THAT OUTLINES THE TAKELINE LEASE FEES.
- (14) REDUCED THE TAKELINE LEASE FEES TO MORE REASONABLE COSTS.
- (15) REQUIRED A SEAWALL FOR CERTAIN STRUCTURES IN CERTAIN ELEVATION ZONES.
- (16) CREATED A SUMMARY CHART FOR PERMITTED LAND USES.
- (17) ADDED AN IMAGE OF AND USE FOR A SEA WALL.

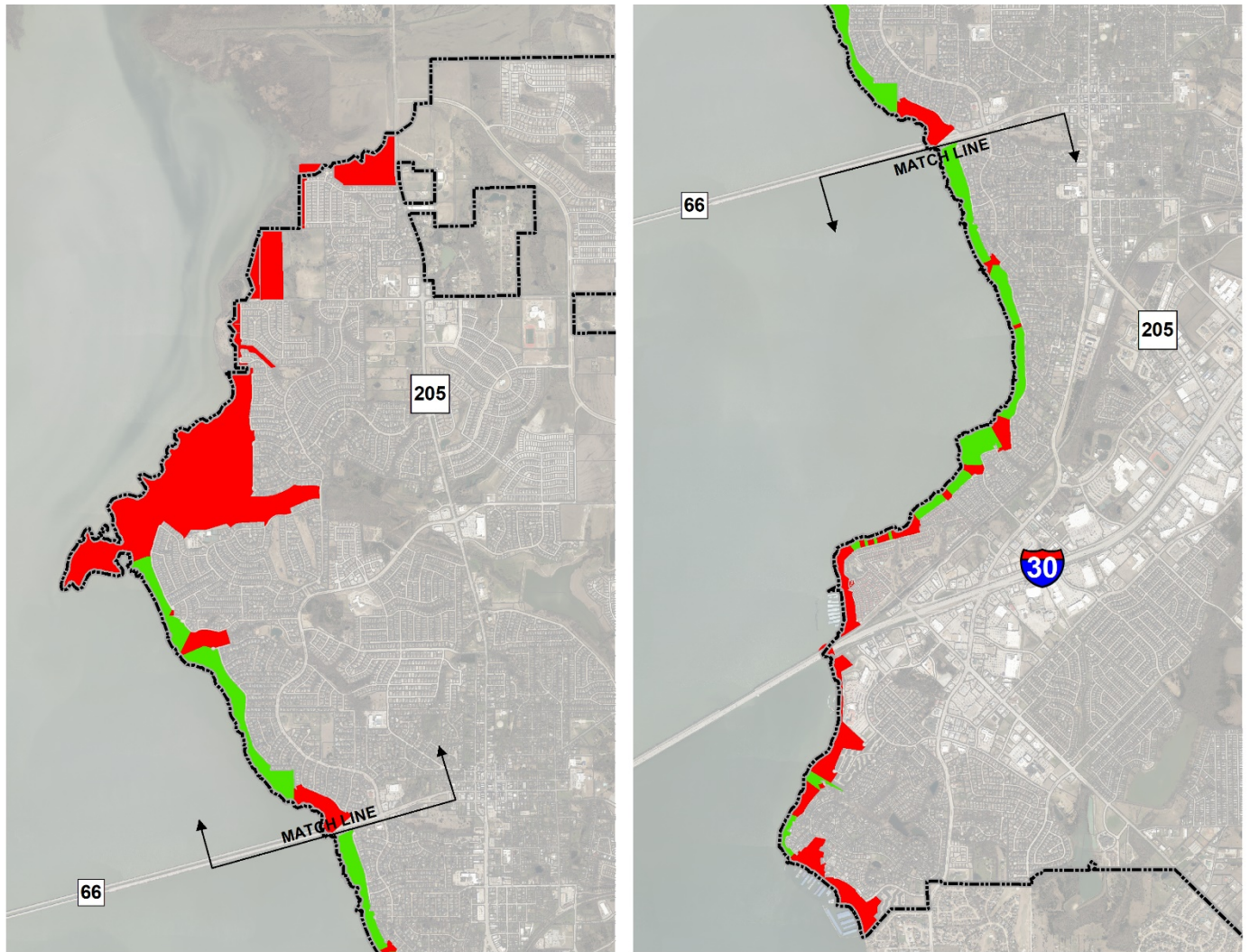
NOTES

- (1) I SPOKE WITH THE CITY ATTORNEY ABOUT THE CURRENT ORDINANCE'S LIMITATION ON ONLY ALLOWING THE UNITED STATES FLAG AND THE TEXAS FLAG TO BE FLOWN IN THE TAKELINE AREA. THIS REQUIREMENT IS APPARENTLY NOT ENFORCEABLE; HOWEVER, I LEFT IT IN THE ORDINANCE CHANGE AND AS LONG AS WE DON'T TRY TO ENFORCE IT WE SHOULD BE OK. I SHOULD ALSO NOTE THAT THE CITY OF HEATH ALSO HAS THIS REQUIREMENT IN THEIR TAKELINE ORDINANCE.
- (2) AFTER REVIEW OF THE CURRENT INTERLOCAL AGREEMENT WITH THE CITY OF DALLAS, NOTHING CONTAINED IN THIS ORDINANCE CHANGE WOULD VIOLATE THAT AGREEMENT OR IS EXPRESSLY PROHIBITED IN THAT AGREEMENT. THE CITY COUNCIL SHOULD BE ABLE TO ADOPT THIS ORDINANCE CHANGE WITHOUT THEIR REVIEW; HOWEVER, AFTER ADOPTION IT MAY BE PRUDENT TO ALLOW THEM TO REVIEW THE CHANGES.

SUBSECTION 06.15: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT

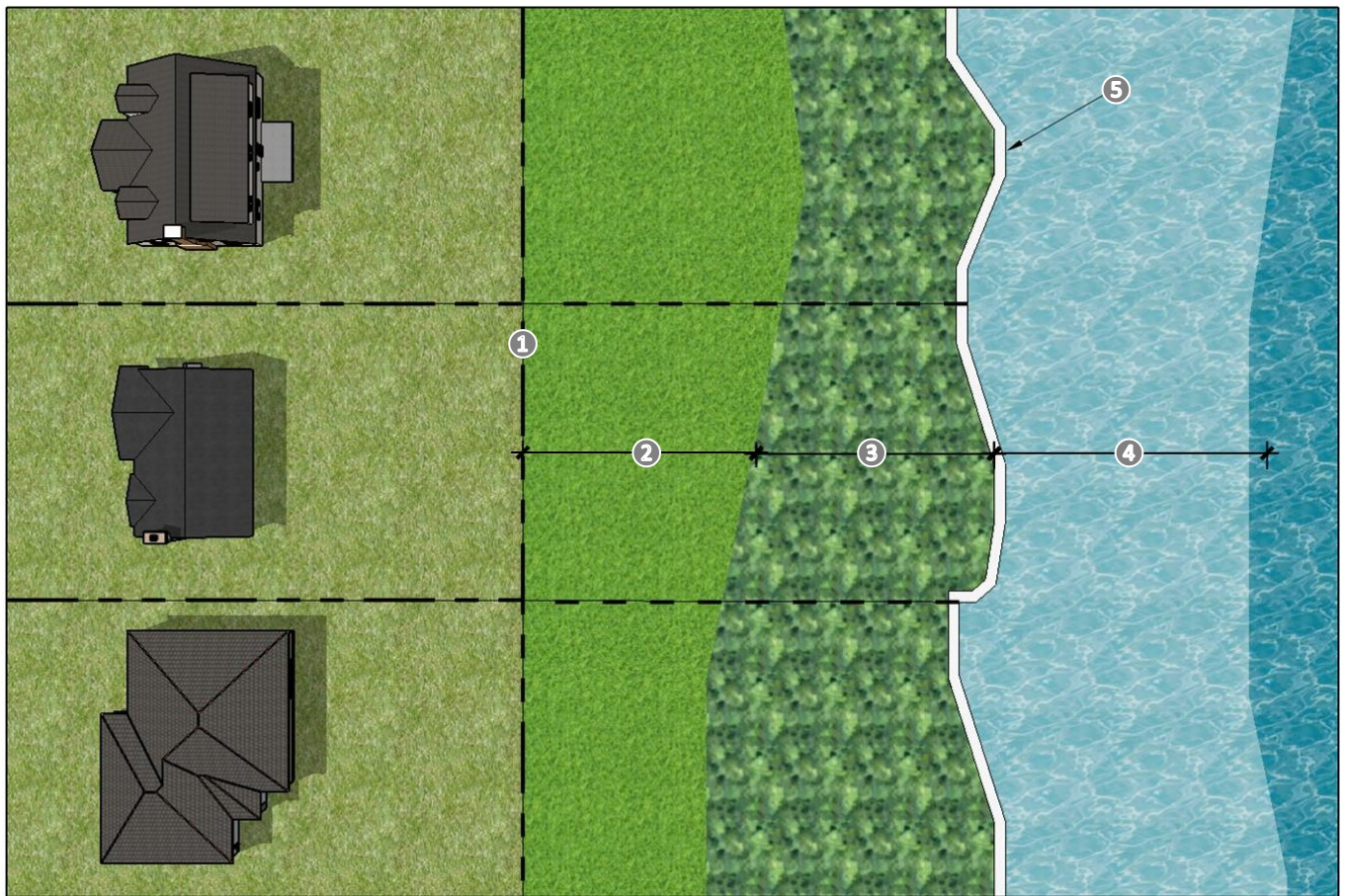
- (A) **Purpose.** The purpose of the *Lake Ray Hubbard Takeline Overlay (TL OV) District* is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended serve as an implementation tool for the Lake Ray Hubbard Master Plan (*adopted by the City of Dallas*), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the *Lake Cities Coalition* (i.e. *Garland, Rockwall, and Rowlett*) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality
- (B) **Boundaries.** The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas *Takeline* as shown on the boundary map for Lake Ray Hubbard (i.e. *File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure 26, Lake Ray Hubbard Takeline [TL OV] District Map*) and the meandering of the contour line 435.5-foot sea level elevation. In addition, *Figure 27: Elevation Contours*, shows the elevation zones used to delineate where certain land uses are permitted.

FIGURE 26: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP



RED: NON-LEASEABLE PROPERTY; GREEN: LEASABLE PROPERTY

FIGURE 27: ELEVATION CONTOUR ZONES



① : REAR PROPERTY LINE/TAKE LINE; ② : 438.0 ELEVATION ZONE; ③ : 435.5 ELEVATION ZONE; ④ : 425.5 ELEVATION ZONE; ⑤ : SEAWALL;

(C) *Applicability.*

(1) *Applicable Lots.* The standards set forth within Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac that are eligible to lease. The properties eligible to lease the takeline area are depicted in *Figure 26: Lake Ray Hubbard Takeline Overlay (TL OV) District Map* above.

(2) *Exceptions for Lots Not Meeting the Applicability Standards.* The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in [Subsection 06.15\(B\)\(1\)](#) above.

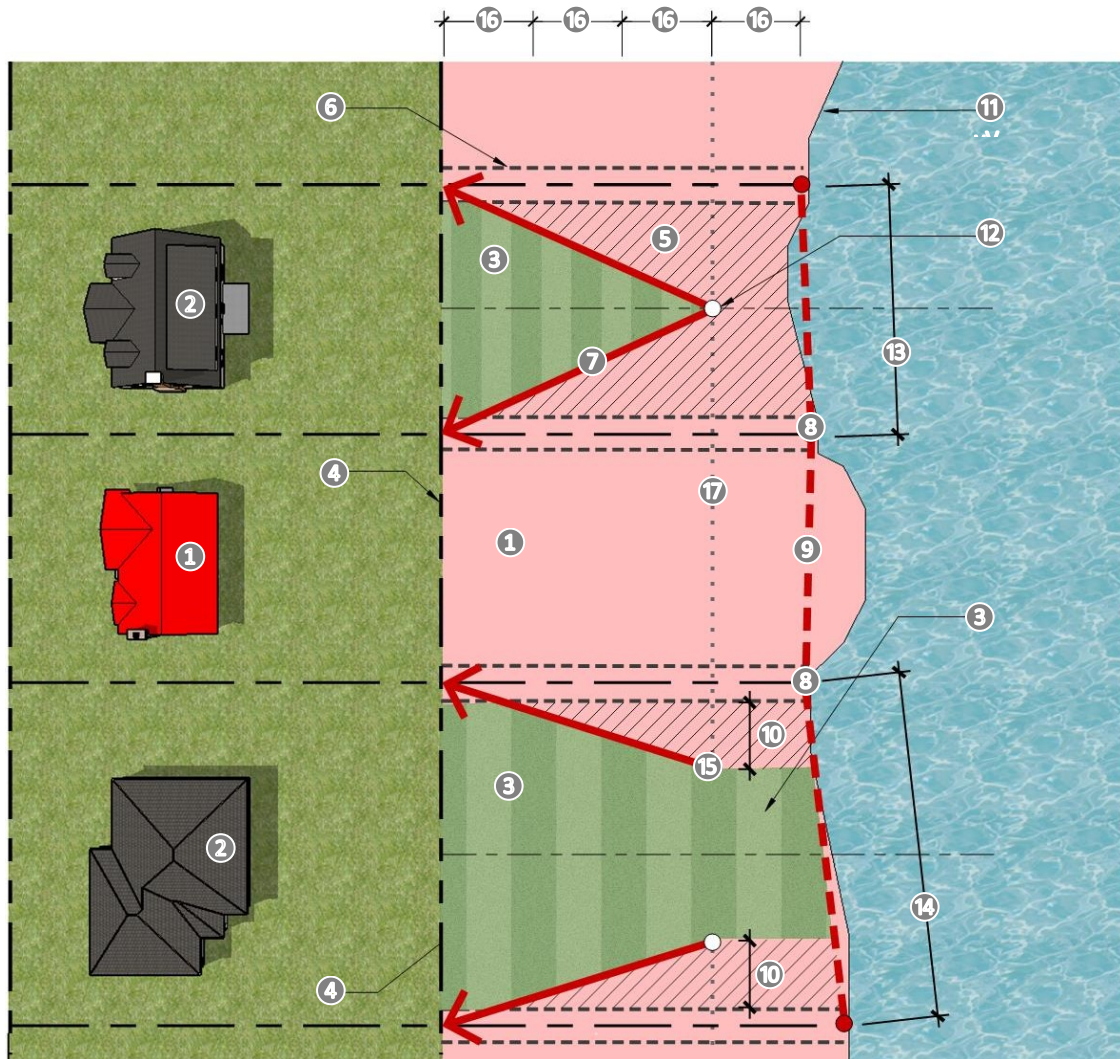
(D) *Definitions.* The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to [Subsection \(J\), Specifications for Permitted Land Uses](#). In addition, the following terms shall be defined as follows:

- (1) *Catwalk.* The narrow walkway of a dock providing people access to moored watercraft.
- (2) *Centerline.* An established line that is equidistant from the surface or sides of something (e.g. *parcel boundaries*).
- (3) *Cleat.* A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.
- (4) *Dredging.* The process of deepening a waterway for the safe and efficient movement of watercraft by the removal of dirt either by digging or by suction.
- (5) *Habitable Structure.* A structure fit for human habitation usually containing amenities (e.g. *fireplace, furniture, plumbing, bathing facilities, and cooking facilities*). Structures allowed by this section shall not be habitable structures and may not contain such amenities.

- (6) Lake. Refers to Lake Ray Hubbard.
 - (7) Lake Area. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (*i.e. property at or below an elevation of 435.5-feet mean sea level*).
 - (8) Leased Area. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.
 - (9) Lift. A temporary means of elevating a watercraft out of the water by use of a hoist.
 - (10) Locker Box. A secured chest fixed onto a dock used for storage of watercraft equipment.
 - (11) Moor. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.
 - (12) Mooring. A place where a watercraft can be tied up and secured while in the water (*e.g. a slip*) for not more than 156-consecutive hours.
 - (13) Power Source Station. Used as a power supply for lighting a dock just below watercraft level.
 - (14) Shoreline. Refers to the line along the shore of the lake, established by the normal lake pool elevations (*i.e. 435.5-feet mean sea level*).
 - (15) Slip. A watercraft's berth between two (2) piers or between finger piers.
 - (16) Take or Takeline Area. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (*i.e. 435.5-feet mean sea level*).
 - (17) Treated Wood. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.
 - (18) View Clear Zone. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.
 - (19) View Corridor. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area (*see Figure Subsection (E): Visual Measurements for View Corridors*).
 - (20) View Preservation Angle. The angle determined as the line extending from the center point -- or 30-foot point depending on lot size -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard (*see Figure 28: Visual Measurements for View Corridors*).
 - (21) Watercraft (or Boat). A craft for water transport. Examples of watercrafts are as follows:
 - (a) Motorized Boat. A boat propelled by an internal combustion engine.
 - (b) Sail Boat. A boat with a mast and sail propelled by the wind.
- (E) Visual Measurements for View Corridors.
- (1) View Corridors. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (*i.e. 435.5-feet mean sea level*), and connecting these two (2) points in a straight line (*see Figure 28: Visual Measurements for View Corridors*). Based on this linear measurement, the view clear zones are determined by the following:
 - (a) Lots That Have Less Than 100-Feet of Shoreline Frontage. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) center point from the shoreline frontage line along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with [Subsection \(F\)\(2\)\(d\)](#).
 - (b) Lots That Have More 100-Feet or More Shoreline Frontage. The view corridor for lots that have 100-feet or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) line projected from the shoreline frontage

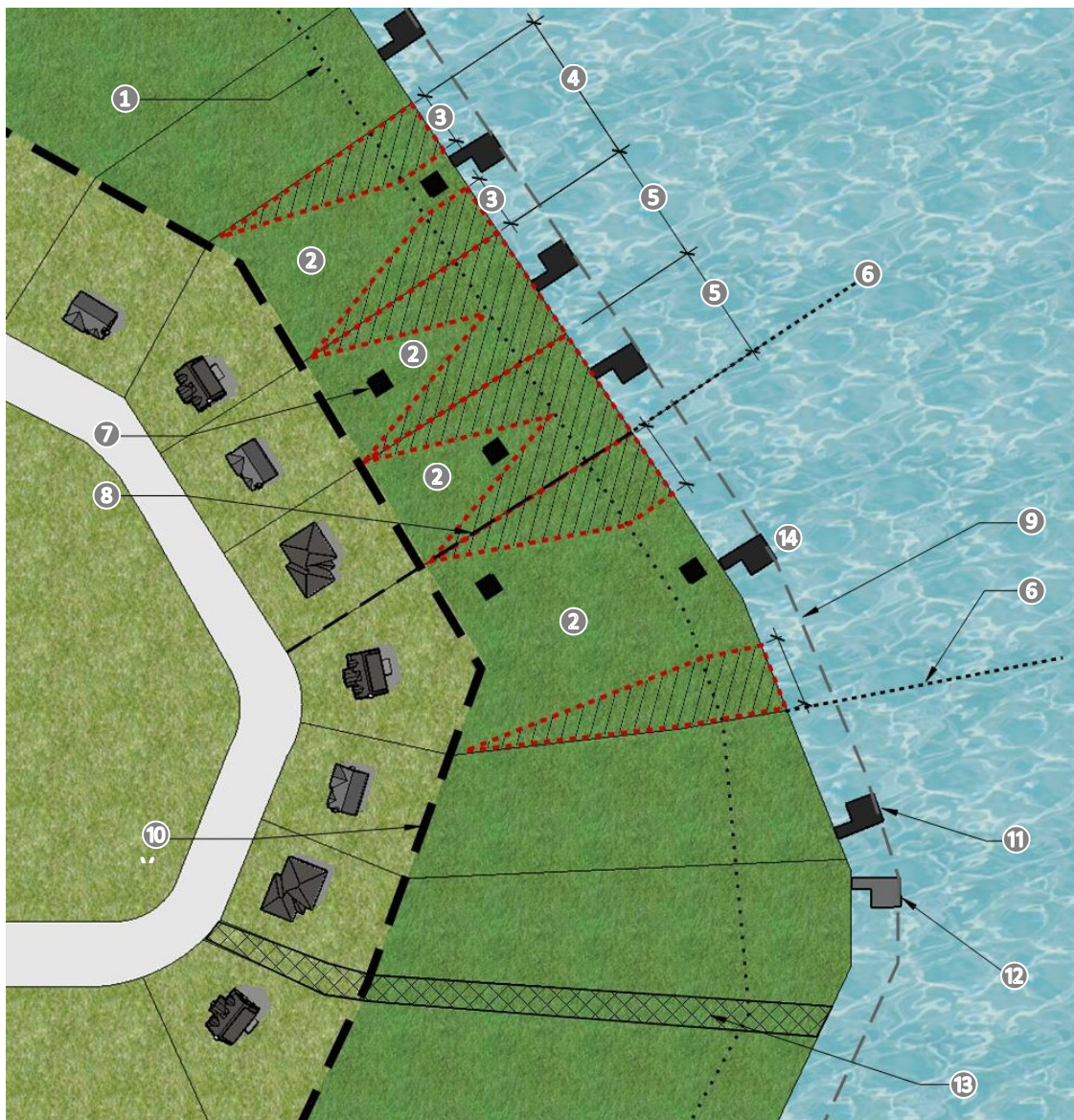
line extending from the leasing property owner's side yard 30-feet along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with [Subsection \(F\)\(2\)\(d\)](#).

FIGURE 28: VISUAL MEASUREMENTS FOR VIEW CORRIDORS



①: SUBJECT PROPERTY'S AND ITS VIEW CORRIDOR (PINK AREA); ②: NEIGHBORING PROPERTY; ③: NEIGHBORING PROPERTY'S BUILDABLE AREA (GREEN LINED AREA); ④: REAR PROPERTY LINE/TAKELINE; ⑤: VIEW CLEAR ZONE (LINED AREA); ⑥: LEASE AREA SIDE YARD SETBACK; ⑦: VIEW PRESERVATION ANGLE; ⑧: THE INTERSECTION OF THE 435.5 ELEVATION LINE AND THE LEASE AREA'S SIDE YARD; ⑨: SHORELINE FRONTAGE LINE (ESTABLISHED BY CONNECTING THE TWO [2] ⑧ POINTS IN A STRAIGHT LINE); ⑩: 30-FOOT; ⑪: SHORELINE; ⑫: CENTER POINT AT THE QUARTER DISTANCE LINE; ⑬: A LOT WITH A SHORELINE FRONTAGE LESS THAN 100-FEET; ⑭: A LOT WITH A SHORELINE FRONTAGE 100-FEET OR MORE; ⑮: 30-FOOT POINT ON THE QUARTER DISTANCE LINE; ⑯: 25% OF THE TAKELINE AREA; ⑰: QUARTER DISTANCE LINE.

FIGURE 29: EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT



1: QUARTER DISTANCE LINE; 2: BUILDABLE AREA; 3: 30-FOOT; 4: A LOT WITH A SHORELINE FRONTAGE LINE 100-FOOT OR MORE; 5: A LOT WITH A SHORELINE FRONTAGE LINE LESS THAN 100-FOOT; 6: LEASE AREA'S PROJECTED SIDE YARD; 7: STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; 8: LEASE AREA'S SIDE YARD; 9: 40-FOOT BUILDING LINE; 10: REAR PROPERTY LINE/TAKELINE; 11: EXISTING BOATHOUSE; 12: BOATHOUSE LOCATION APPROVED ADMINISTRATIVELY BECAUSE OF DRAINAGE EASEMENT AND CLUSTERED WITH AN EXISTING BOATHOUSE; 13: DRAINAGE EASEMENT; 14: BOATHOUSE AND STRUCTURE IN THE 435.5 ELEVATION ZONE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE.

(F) General Requirements. The following general requirements shall apply for all property in the takeline area.

- (1) Number of Permitted Structures. The following is the maximum number of structures that shall be permitted in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in [Subsection \(J\), Specifications for Permitted Land Uses](#) that exceeds six [6] feet in height*):
 - (a) 438.0 Elevation Zone: Two (2) structures shall be permitted in the 438.0 Elevation Zone.
 - (b) 435.5 Elevation Zone: One (1) structure shall be permitted in the 435.5 Elevation Zone.
- (2) General Location of Permitted Structures. The following requirements relate to where structures should be generally located in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in [Subsection \(J\), Specifications for Permitted Land Uses](#) that exceeds six [6] feet in height*):
 - (a) 438.0 Elevation Zone: Structures in the 438.0 Elevation Zone should be located outside of the view clear zones unless specifically permitted to be in the view clear zone by [Subsection \(J\), Specifications for Permitted Land Uses](#).

- (b) 435.5 Elevation Zone: Structures in the *435.5 Elevation Zone* should be generally centered in the lease area -- *equal distance from both leased side yard boundary lines* -- behind the primary structure on the leasing property and outside of the view clear zones unless specifically permitted to be in the view clear zone by [Subsection \(J\), Specifications for Permitted Land Uses](#).
 - (c) 425.5 Elevation Zone: Structures located in the *425.5 Elevation Zone* should be generally centered along the shoreline -- *equal distance from both the leased side yard boundary lines* -- behind the primary structure of the leasing property.
 - (d) Administrative Exception for the 435.5 & 425.5 Elevation Zone. In cases where it is [1] not feasible to construct a structure in the center of the lease area or along the shoreline, [2] will increase the view corridor or benefit the surrounding properties by not centering a structure in the lease area, or [3] where centering the structure will create an undue hardship to the property owner leasing the lease area, the Director of Planning and Zoning or his/her designee may approve an administrative exception to allow an alternate location that is not generally centered in the lease area as long as the location for the proposed structure is outside of the view clear zone. In approving these requests, the Director of Planning and Zoning or his/her designee shall consider the impact of the proposed structure on the adjacent property owners.
- (3) Building Materials. The permitted building materials shall be as stipulated in [Subsection \(J\), Specifications for Permitted Land Uses](#), and as permitted by the City Council through a Specific Use Permit (SUP); however, the use of canvas, cloth, or like materials shall be prohibited within the takeline area. In addition, loose ground materials (e.g. sand, fill, pea gravel) that could be used for trails, paths, play areas, active sports activities, or as exposed landscape bedding material are prohibited.
- (4) Trees. In order to plant or remove a tree in the takeline area, a *Treescape Plan* showing the exact location, size (i.e. trunk diameter and height), and common name of the tree to be planted or removed will be required to be submitted to the Parks and Recreation Department. A permit to plant or remove a tree may be approved administratively by the Director of Parks and Recreation or his/her designee, or forwarded to the Parks and Recreation Board for approval. In reviewing a request to plant or remove a tree, the following criteria shall apply:
- (a) Planting Trees. Trees are permitted to be planted within the *438.0 Elevation Zone* pending they are [1] not a variety specifically listed in the prohibited tree list contained in [Section 03, Tree Planting Guidelines and Requirements, of Appendix C, Landscaping Guidelines and Requirements](#), and [2] they are not located within the view clear zone outlined [Subsection \(E\), Visual Measurements](#). The Director of Parks and Recreation or his/her designee may grant an exception to allow a tree to be planted in the view clear zone where it is determined that the tree will not decrease the visibility of the lake or shoreline for the adjacent properties. In making this determination, the Director of Parks and Recreation shall consider the size of the proposed tree at maturity.
 - (b) Removing Trees. Trees are permitted to be removed only if they are determined to be damaged or diseased, or if they create a hazardous or dangerous condition that could endanger the public health, safety or welfare of the general public.
- (5) Temporary Structures in the Takeline Area. Temporary structures (e.g. portable residential barbecue grills and ranges, trampolines, etc.) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with [Subsection 06.15\(J\)\(6\)](#).
- (G) Residential Sublease Agreement. A *Residential Sublease Agreement* is an agreement between a property owner and the City of Rockwall that grants the property owner certain rights to the exclusive use of the takeline area. A *Residential Sublease Agreement* shall be required to build certain structures within the takeline area. It shall be a violation of the zoning code to build or maintain a structure in the takeline area without a valid *Residential Sublease Agreement*. An owner in violation of this section shall be subject to the requirements of [Section 01, Penalties, of Article 12, Enforcement, of the Unified Development Code \(UDC\)](#). The following shall be the costs associated with a *Residential Sublease Agreement*:

Lease	Fees
New Lease (i.e. New Never Leased by Current Owner) ²	\$200.00
Annual Renewal of a Lease	\$100.00
Change of Ownership of a Valid Lease	\$50.00
Reinstatement of an Expired Lease (i.e. Same Property Owner) ³	\$500.00

NOTES:

- ¹: To be subject to these new fees, a lease entered into after **January 1, 2021** will be required (i.e. the effective date of the amendment adopting these fees).
- ²: A lease is considered to be new under the following circumstances: [1] the property has never had a valid lease agreement, or [2] the property had a valid lease under different ownership but that lease agreement expired prior to the current owner taking possession of the property.
- ³: A lease is considered to be a reinstatement when it lapses or expires under the current ownership, and then the same owner requests a new lease.

- (H) Permitted Uses. All of the uses permitted within the *Lake Ray Hubbard Takline Overlay (TL OV) District* shall adhere to all other applicable codes and permitting requirements of the City of Rockwall. For a list of permitted land uses see [Subsection \(J\), Specifications for Permitted Land Uses](#), or [Subsection 07.05, Lake Ray Hubbard Takeline Overlay \(TL OV\) District Development Standards](#).
- (I) Specific Use Permits (SUPs). A Specific Use Permit (SUP) may be requested for: [1] any use that is not listed in [Subsection \(J\), Specifications for Permitted Land Uses](#) or [2] any structure that does not adhere to the requirements stipulated for that use or structure as required by

Subsection (J), Specifications for Permitted Land Uses; however, a request for a Specific Use Permit (SUP) cannot be requested if a dimensional, material, size, or location standard stipulated in Subsection (J), Specifications for Permitted Land Uses, or Subsection (F), General Requirements, is expressly prohibited. In addition, no requests can be made that violate the view corridor requirements stipulated in Subsection (E), Visual Measurements. A Specific Use Permit (SUP) may be requested for water related land uses that are not specifically addressed in Subsection (J), Specifications for Permitted Land Uses, (e.g. jet ski lift) pending the applicant provides a letter of consent from the City of Dallas prior to making the application. In considering a Specific Use Permit (SUP) request, the City Council shall consider how the proposed request [1] impacts adjacent properties, and [2] adheres to the intent of the Lake Ray Hubbard Takeline Overlay (TL OV) District.

(J) Specifications for Permitted Land Uses. See Subsection 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards, for a summary of the development standards for each of the following conditional uses.

(1) Barbecue Pit.

(a) Definition. A *barbecue pit* is a permanent fireplace structure over which meat, poultry and other foods are roasted (for *Fire Pit* see Subsection 06.15(J)(9)).

(b) Prerequisites. A *barbecue pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) Elevation Zone. A *barbecue pit* shall be allowed in the following zones:

(1) 438.0: Permitted.

(2) 435.5: Not Permitted.

(3) 425.5: Not Permitted.

(d) Conditional Use Standards. A *barbecue pit* can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (i.e. natural gas or propane).

(e) Construction Standards.

(1) Building Materials. A *barbecue pit* must be constructed utilizing a combination of natural stone, brick, concrete, and/or iron grating.

(2) Height. A *barbecue pit* shall not exceed a maximum of six (6) feet in height.

(3) Size. A *barbecue pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *barbecue pit* should not exceed a maximum size of eight (8) feet in length by three (3) feet in width.

(f) Setback Requirements. A *barbecue pit* must adhere to the following setbacks:

(1) Takeline Setback: 0-Feet

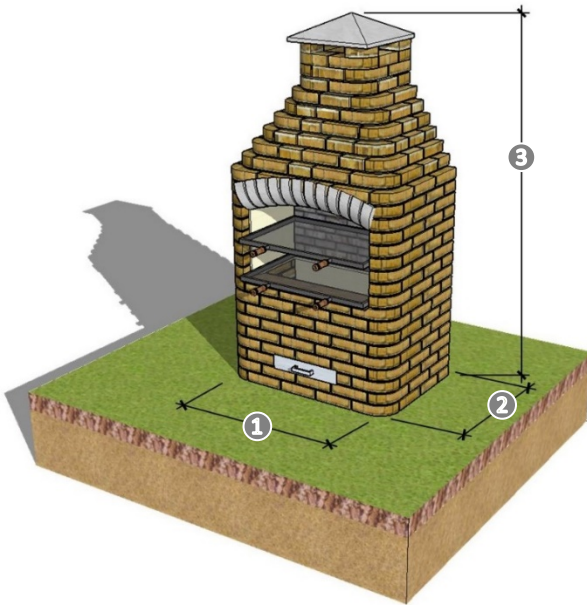
(2) Leased Side Yard Setback: 6-Feet

(g) Additional Requirements.

(1) Earth Work. Earth work required for the construction of a *barbecue pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) Compliance with Applicable Codes. A *barbecue pit* must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.



- ❶: A MINIMUM AND MAXIMUM OF THREE (3) FEET IN LENGTH;
- ❷: A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET IN WIDTH;
- ❸: A MAXIMUM OF SIX (6) FEET;

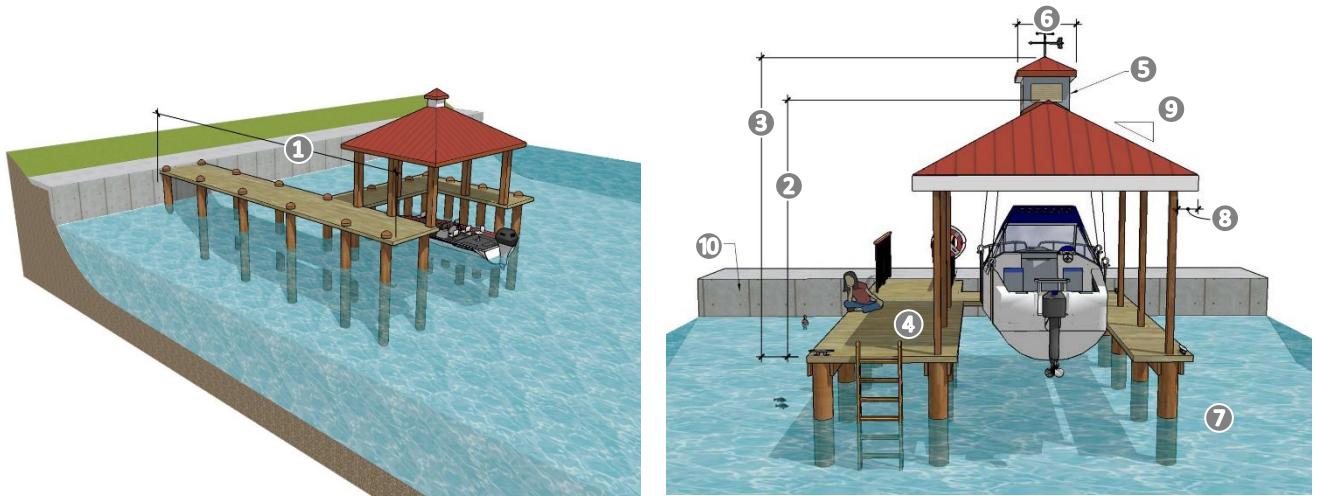
(2) Boathouse.

- (a) Definition. A boathouse is a roofed structure affixed to the end of an adjoining fixed pier, with a main waterside opening, containing an operating boatlift, and which is built to house and protect a watercraft and boat related equipment.
- (b) Prerequisites. A boathouse may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall, has constructed a seawall along the entire length of the shoreline within the leased area, and has constructed a fixed pier.
- (c) Conditional Use Standards. Boathouses are used for storing boats that have a fuel efficiency rating greater than 95%; however, boathouses may also be used to store sailboats. Boathouses will not be used for storing any other type of items except boats and boat-related equipment. In addition, Boathouses shall not be used as a habitable dwelling structure, or shelter for domestic or wild animals. All boathouses shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a boathouse shall not be designed to prevent public access to an area of water. Accessories placed on the flat surface of a boathouse or catwalk must be placed in an orderly manner that allows for the safe movement of people.
- (d) Elevation Zone. A boathouse shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.

(e) Construction Standards.

- (1) Building Materials. All boathouse constructed below the 437.0-foot mean sea level contour shall use only pilings and materials approved by the City of Rockwall and the City of Dallas. Boathouses shall be constructed utilizing composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with high-tech plastic materials) -- products equivalent to Trex brand are preferred -- for decking, galvanized metal/iron/steel or aluminum (with a minimum color rating of AAMA 2604) for the support posts, all aforementioned materials and cedar or iron wood for the roof beams, and standing seam metal for the roof with a pre-finished color. Support posts may be wrapped in composite material. Water repellant sealants shall not be used to treat any cedar or ironwood used for roof beams. All fasteners binding materials together must be made out of stainless steel.
- (2) Height. A boathouse shall be a minimum of 16-feet and a maximum of 21-feet in height as measured from the top of the fixed pier's catwalk to the vertex of the boathouse's cupola; however, in no case should a boathouse exceed one (1) story in height.
- (3) Size. The footprint of the exterior sides of a boathouse will measure a minimum of eight (8) feet in width by 30-feet in length and a maximum of 12-feet in width and 30-feet in length. Boathouses shall not extend more that 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Roof. A boathouse will have a hip roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] two (2) cupolas each with hip roofs at either end of the top of the main hip roof. Cupolas will be designed to allow updraft air and winds to vent outward, and shall measure three (3) feet by four (4) feet. All boathouse roofs shall be built with a minimum of a 2:1 roof pitch and will not have an overhang greater than 18-inches. Boathouses shall not incorporate a deck or platform.

- (5) Lighting. Interior lighting for a *boathouse* will be directed downward from the ceiling of the structure and at the stored watercraft. Exterior lighting for a *boathouse* will be directed downwards toward the fixed pier with light fixtures incorporated either into the roof's overhang or the structure's columns. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public.
- (6) Additional Construction Standards.
 - (a) Deck Ladder. A deck ladder is permitted to be constructed inside a *boathouse*.
 - (b) Storage Unit. A *boathouse* can incorporate one (1) storage unit measuring 72-inches in length by 20-inches in depth by 20-inches in height. Storage units shall be placed on the outer dockside, and shall only be used for storing boat-related equipment. The storage of fossil fuels and/or hazardous materials is prohibited.
 - (c) Boat or Watercraft Lift(s). A *boathouse* must incorporate either one (1) regular boat lift or two (2) personal watercraft boat lifts. All boat or watercraft lifts must be able to hoist a watercraft above the 438.0-foot mean sea level contour, and be maintained in good operating condition. All watercrafts must be stored under the roof of the *boathouse*.
 - (d) Pilings. The approved pilings used to support a *boathouse* must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
 - (e) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
 - (f) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (7) Location. All *boathouses* are required to be located in the water of the *Lake*. View corridor restrictions do not apply to *boathouses*; however, a *boathouse* should generally be located in line with the primary structure on the leasing property (*i.e. generally centered on the lot*). *Boathouses* shall not be designed to prevent or restrict public access to any portion of water within the *Lake*.
- (f) Setback Requirements. A *boathouse* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-feet
 - (2) Leased Side Yard Setback: 10-feet
 - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
 - (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *boathouse* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
 - (2) Compliance with Applicable Codes. A *boathouse* must comply with all other applicable City of Rockwall codes.
 - (3) Address. All *boathouses* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
 - (4) Easement Protection. No *boathouse* shall encroach into an existing or identified future easement, right-of-way, access road, or path.
- (h) Visual Representation.



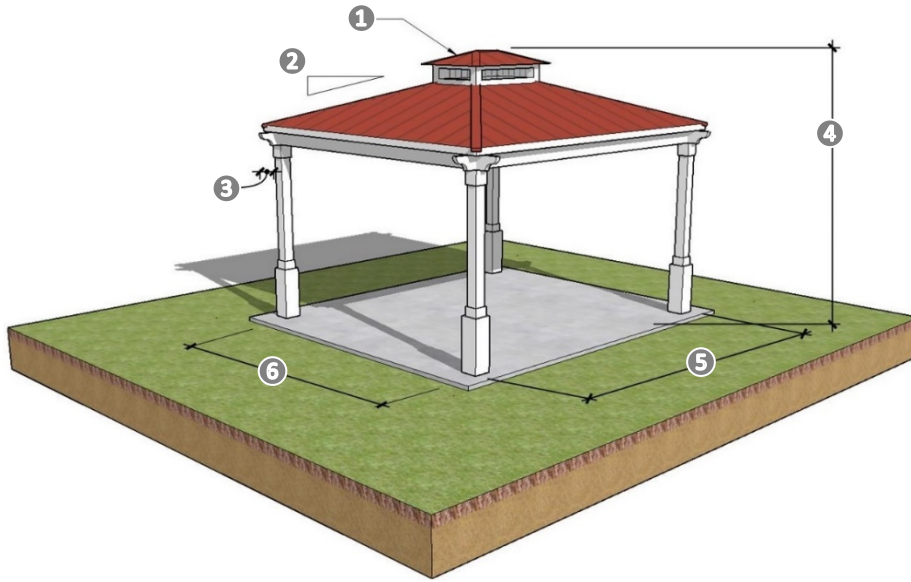
①: 40-FOOT MAXIMUM; ②: 13-FOOT MINIMUM TO 18-FOOT MAXIMUM; ③: 16-FOOT MINIMUM TO 21-FOOT MAXIMUM; ④: CATWALK (UNDERSTRUCTURE TO BE ABOVE THE 437.0-FOOT ELEVATION); ⑤: CUPOLA; ⑥: THREE (3) FEET BY FOUR (4) FEET; ⑦: 435.5-FOOT NORMAL POOL ELEVATION; ⑧: 1.5-FOOT MAXIMUM OVERHANG; ⑨: 2:1 ROOF PITCH (HIP ROOF ONLY); ⑩: SEAWALL.

(3) Covered Patio.

- (a) Definition. A covered patio is a standalone structure that provides shade and/or rain coverage for a patio or deck. Covered patios have a solid roof.
- (b) Prerequisites. A covered patio may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A covered patio shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a *Seawall* has been constructed).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A covered patio shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.
- (e) Construction Standards.
 - (1) Building Materials. A covered patio must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. The roof of the structure should generally match the color of the roof on the primary structure, and be constructed using clay tiles, standing seam metal, slate shingles, concrete shingles, or ceramic shingles. Canvas, cloth, or mesh attachments to the structure shall be prohibited.
 - (2) Height. A covered patio shall not exceed a maximum height of 15-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the mid-point of the pitched roof.
 - (3) Size. A covered patio shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.
 - (4) Roof. A covered patio will have a hip or gable roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] a clerestory built into the center of the main hip roof. Cupolas and clerestories will be designed to allow updraft air and winds to vent outward, and shall be proportional to the main roof. All covered patios should be built with a minimum of a 4:1 roof pitch. The roof shall not have an overhang greater than 18-inches.
 - (5) Location. A covered patio located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Covered patios shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A covered patio must adhere to the following setbacks:
 - (1) Takeline Setback: 6-Foot (from the Concrete Cap of the Seawall)
 - (2) Leased Side Yard Setback: 20-Foot
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a covered patio must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A covered patio must comply with all other applicable City of Rockwall codes.

(3) Emergency Response. The *covered patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



1: CUPOLA OR CLERESTORY; 2: 4:1 MINIMUM ROOF PITCH; 3: 18-INCHES MAXIMUM OVERHANG; 4: 15-FOOT MAXIMUM HEIGHT; 5: 20-FOOT MAXIMUM; 6: 12-FOOT MAXIMUM;

(4) Deck.

(a) Definition. A *deck* is a roofless structure anchored to the ground that consists of planks running in a horizontal pattern and creating a flat surface area.

(b) Prerequisites. A *deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) Elevation Zone. A *deck* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (*if a Seawall has been constructed*).
- (3) 425.5: Not Permitted (*see Dock Deck in Subsection 06.15(J)(5)*).

(d) Conditional Use Standards. A *deck* shall not incorporate walls or other none transparent structures to function as handrails or counter space.

(e) Construction Standards.

- (1) Building Materials. A *deck* must be constructed of composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Handrails incorporated into a *deck* in the *438.0 Elevation Zone* shall be made of wrought iron or decorative metal. Handrails are *not* permitted in the *435.5 Elevation Zone*.
- (2) Height. A *deck* shall not exceed a maximum height of 24-inches above grade.
- (3) Size. A *deck* shall not exceed a maximum area of 1,000 SF.
- (4) Location. A *deck* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Decks* shall not be placed in the view clear zone of a neighbor's view corridor.
- (5) Foundation. A *deck* shall be anchored into the ground using concrete posts and footings as a foundation appropriate for the load and size of the proposed *deck*.

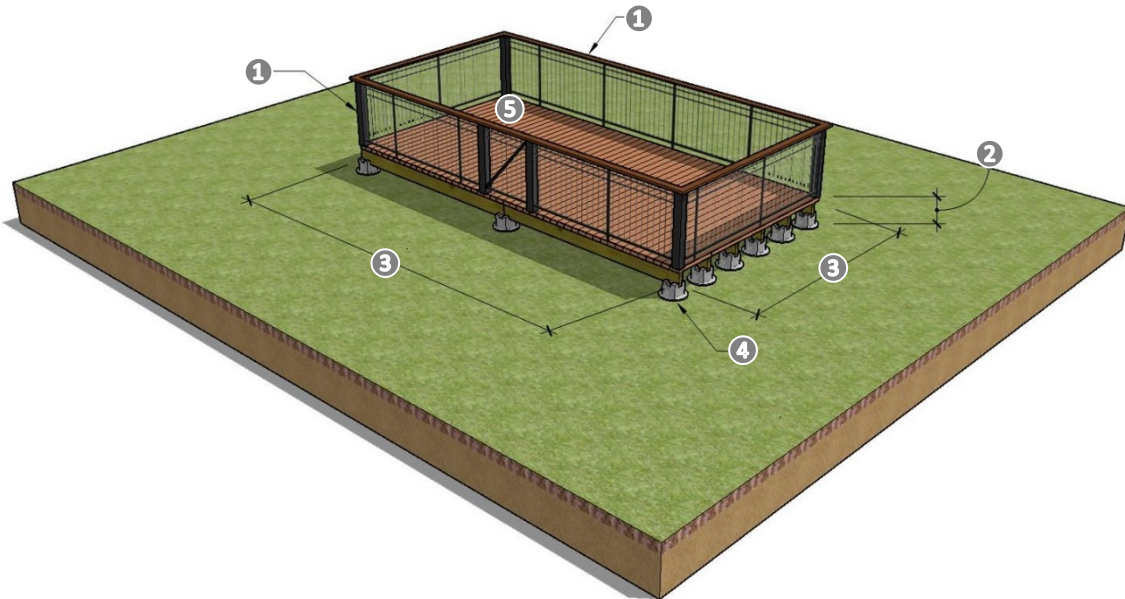
(f) Setback Requirements. A *deck* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *deck* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *deck* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *deck* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.

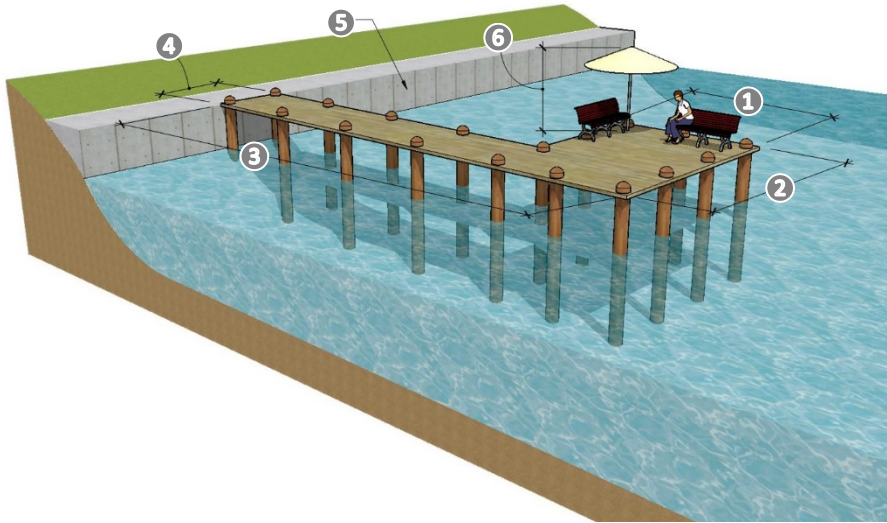


1: WROUGHT IRON OR DECORATIVE METAL; 2: MAXIMUM OF 24-INCHES OR TWO (2) FEET ABOVE GRADE; 3: (L) X (W) SHALL NOT BE GREATER THAN 1,000 SF; 4: CONCRETE POSTS AND FOOTINGS FOR FOUNDATION; 5: COMPOSITE DECKING MATERIALS.

(5) Dock Deck.

- (a) Definition. A *dock deck* is a flat floor surface area built over the water adjoining the end of a *fixed pier*.
- (b) Prerequisites. A *dock deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed *fixed pier*.
- (c) Elevation Zone. A *dock deck* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] dock deck lighting that is either embedded in or on a pole, [4] locker box, and/or [5] power source station. A table may also be placed on the edge or in the center of a *dock deck*. A watercraft is only allowed to moor at any portion of a *dock deck* for no more that 156-consecutive hours during any given week. All *dock decks* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *dock deck* shall not be designed to prevent public access to an area of water. *Dock decks* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a *dock deck* or catwalk must be placed in an orderly manner that allows for the safe movement of people.
- (e) Construction Standards.
 - (1) Building Materials. The catwalk and/or *dock deck* and any benches built on these structures shall utilize only composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Any railings built on a *dock deck* shall be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or steel tubing railings. *Dock decks* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Dock decks* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *dock decks* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellent sealants shall not be used.

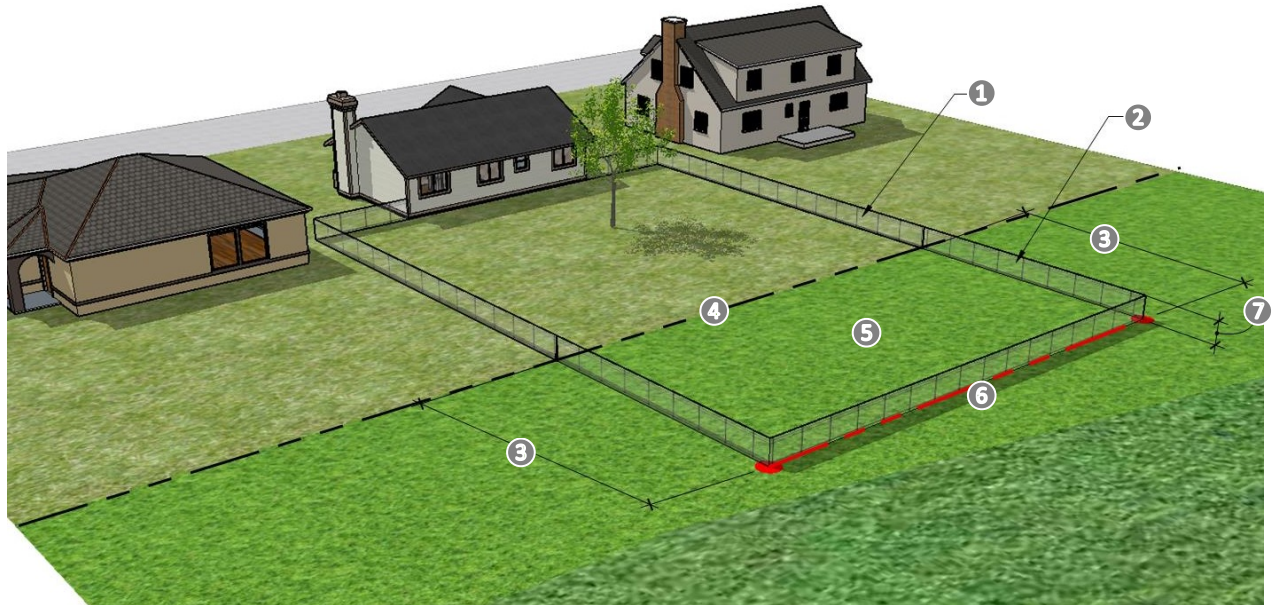
- (2) Height. No pole structures incorporated into a *dock deck* shall be higher than eight (8) feet above the flat floor surface with no more than four (4) pole structures allowed.
- (3) Size. The footprint of the exterior sides of a *dock deck* adjoining a fixed pier shall be a minimum of eight (8) feet by ten (10) feet (*i.e.* 80 SF) and a maximum of 12-feet by 30-feet (*i.e.* 360 SF). *Dock decks* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (*i.e.* 435.5).
- (4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of a *dock deck* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed along the periphery of a *dock deck*.
- (5) Additional Construction Standards.
 - (a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
 - (b) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
 - (c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (6) Location. View corridor restrictions do not apply to *dock decks*. *Dock decks* shall not be allowed on land.
- (f) Setback Requirements. A *dock deck* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-feet
 - (2) Leased Side Yard Setback: 10-feet
 - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
 - (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *dock deck* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
 - (2) Compliance with Applicable Codes. A *dock deck* must comply with all other applicable City of Rockwall codes.
 - (3) Address. All *dock decks* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
 - (4) Easement Protection. No *dock deck* shall encroach into an existing or identified future easement, right-of-way, access road, or path.
- (h) Visual Representation.



1: MINIMUM OF TEN (10) FEET AND A MAXIMUM OF 30-FEET; 2: MINIMUM OF EIGHT (8) FEET AND A MAXIMUM OF 12-FEET; 3: 40-FOOT MAXIMUM; 4: SIX (6) FOOT MAXIMUM; 5: SEAWALL; 6: EIGHT (8) FOOT MAXIMUM;

(6) Fence.

- (a) Definition. A *fence* is a barrier, railing, or other upright structure, enclosing a specific area to mark a boundary or control access.
- (b) Prerequisites. A *fence* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *fence* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *fence* shall only be allowed to enclose an area beginning at the *Takeline* corners (i.e. the rear property line corners of the property leasing the take area), extending 45-feet along the lease line, and connecting the two (2) points in a straight line (see example below).

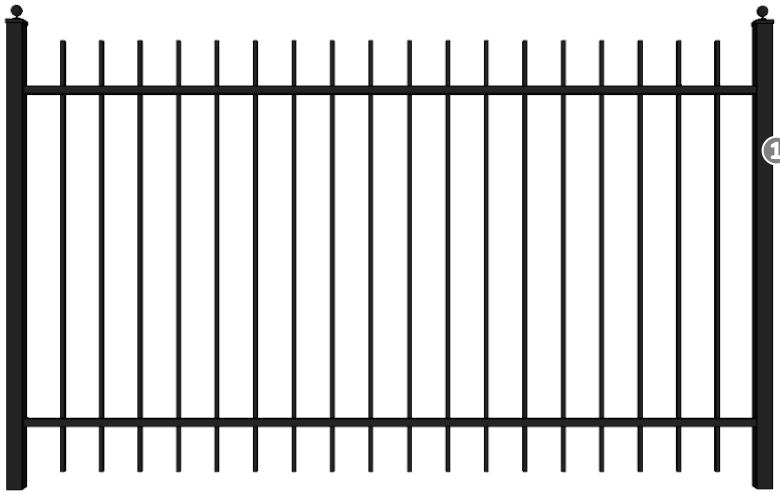


1: EXISTING RESIDENTIAL FENCE ON THE LEASING PROPERTY; 2: WROUGHT IRON OR BLACK TUBULAR STEEL FENCE; 3: MAXIMUM OF 45-FEET ALONG THE LEASE LINE OF THE TAKELINE; 4: REAR PROPERTY LINE/BEGINNING OF THE TAKELINE; 5: 438.0 ELEVATION ZONE; 6: THE STRAIGHT-LINE CONNECTION BETWEEN THE TWO (2), 45-FOOT POINTS; 7: MAXIMUM OF 48-INCHES OR FOUR (4) FEET.

(e) Construction Standards.

- (1) Building Materials. A *fence* shall only be constructed of wrought iron or black tubular steel.

- (2) Height. A fence shall not exceed a maximum height of 48-inches from grade.
 - (3) Location. A fence shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A fence must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 0-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a fence must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A fence must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



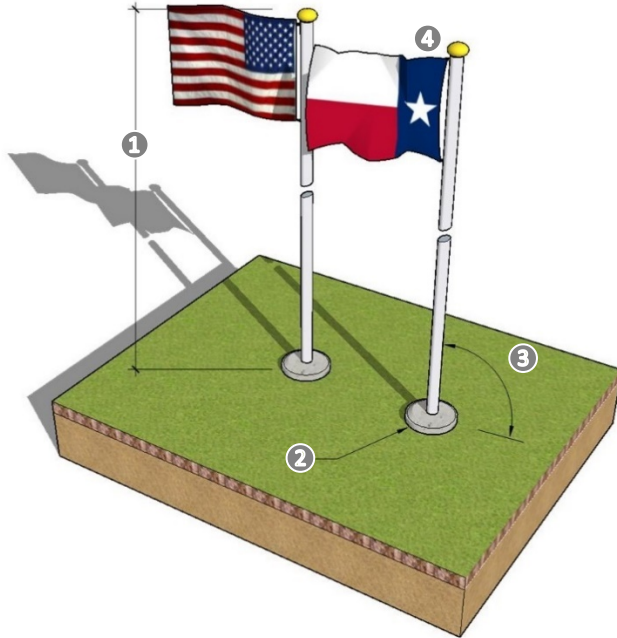
1: FOUR (4) FOOT WROUGHT IRON FENCE

- (7) Flagpole.
- (a) Definition. A *flagpole* is an upright pole or staff, constructed at a 90-degree angle to the finished grade, which is used to raise a flag.
 - (b) Prerequisites. A *flagpole* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
 - (c) Elevation Zone. A *flagpole* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
 - (d) Conditional Use Standards. A maximum of two (2) *flagpoles*, with one (1) flag on each pole shall be permitted within a lease area. The United States of America and State of Texas flags measuring a maximum of six (6) feet by four (4) feet will be the only flags permitted to be flown along the takeline. Lighting in association with a flagpole shall be prohibited.
 - (e) Construction Standards.
 - (1) Building Materials. A *flagpole* shall *only* be constructed of either stainless steel or aluminum.
 - (2) Height. A *flagpole* shall not exceed a maximum height of 20-feet from grade.
 - (3) Size. At the ground base a *flagpole* shall measure a minimum size of five (5) inches and a maximum size of eight (8) inches.
 - (4) Location. A *flagpole* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Flagpoles* shall not be placed in the view clear zone of a neighbor's view corridor.
 - (f) Setback Requirements. A *flagpole* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *flagpole* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *flagpole* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *flagpole* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



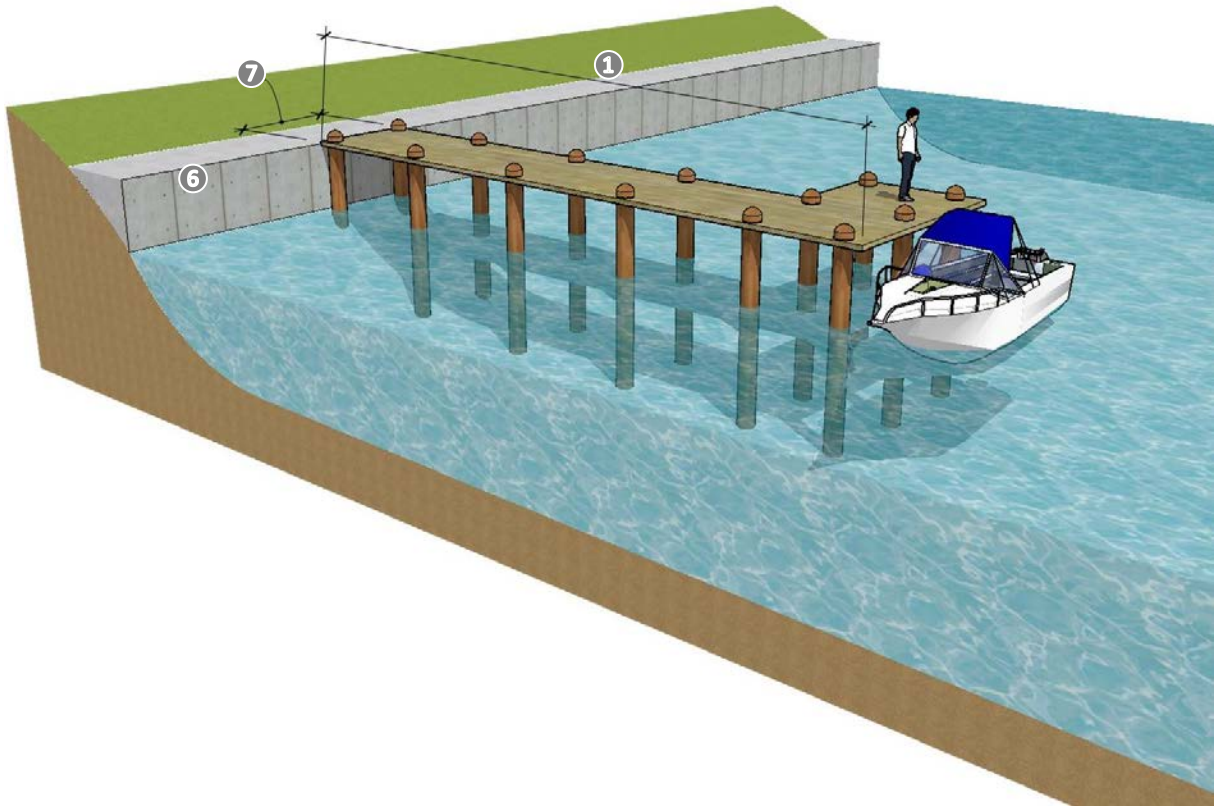
①: MAXIMUM OF 20- FEET FROM GRADE; ②: AT THE BASE THE FLAGPOLE CAN BE A MINIMUM OF FIVE (5) INCHES AND A MAXIMUM OF EIGHT (8) INCHES; ③: MAINTAINED TO BE 90-DEGREES FROM GRADE; ④: FLAGPOLES ARE PERMITTED ONE (1) FLAG A MAXIMUM OF FOUR (4) FEET BY SIX (6) FEET;

(8) Fixed Pier.

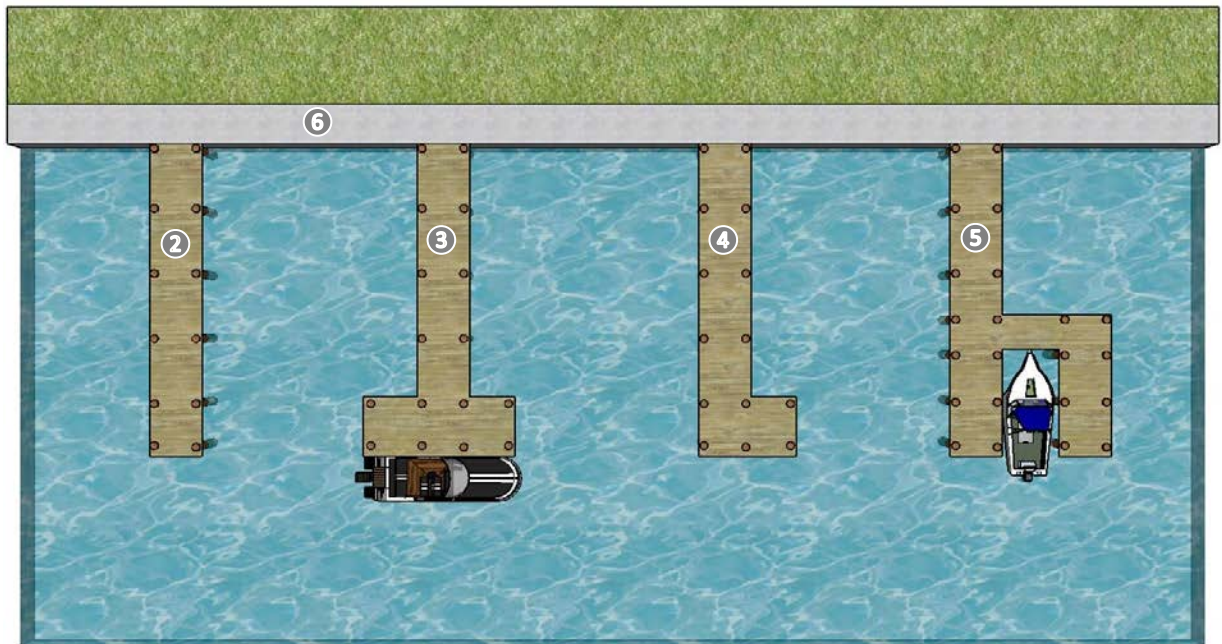
- (a) Definition. A *fixed pier* is a structure with a catwalk that extends from the shoreline out into the body of water with the structure being used to moor and land watercraft.
- (b) Prerequisites. A *fixed pier* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, and has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *fixed pier* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Each eligible property adjacent to the takeline will be permitted one (1) fixed pier with an adjoining dock deck and/or boathouse. *Fixed piers* can be designed to be in an 'I', 'T', 'L' or 'U' shape (see [Subsection 06.15\(J\)\(8\)\(h\)](#)). Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] cleats, [4] dock lighting, [5] locker box, and/or [6] power source station. A watercraft is only allowed to moor at any portion of a *fixed pier* for no more that 156-consecutive hours during any given week. All *fixed pier* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *fixed pier* shall not be designed to prevent public access to an area of water. *Fixed piers* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a catwalk of a *fixed pier* must be placed in an orderly manner that allows for the safe movement of people.
- (e) Construction Standards.
 - (1) Building Materials. The catwalk and any benches built on these structures shall utilize only composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Any railings built on a *fixed pier* shall be constructed of composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed*

with a high-tech plastic material) or steel tubing railings. *Fixed piers* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Fixed piers* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *fixed piers* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellent sealants shall not be used.

- (2) Height. No pole structures incorporated into a *fixed pier* shall be higher than eight (8) feet above the flat floor surface with no more than two (2) pole structures allowed.
- (3) Size. The catwalk of a *fixed pier* will be a maximum of six (6) feet in width, as measured at a 90-degree angle to the main *fixed pier's* length, and will not enclose any portion of the water to allow the free movement of water underneath. *Fixed piers* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of the catwalk of a *fixed pier* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed at the end of a *fixed pier*.
- (5) Additional Construction Standards.
 - (a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
 - (b) Catwalks. The catwalk of a *fixed pier* will be allowed within nine (9) feet of the normal pool elevation of 435.5-foot mean sea level. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
 - (c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside end of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (6) Location. View corridor restrictions do not apply to *fixed piers*.
- (f) Setback Requirements. A *fixed pier* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-feet
 - (2) Leased Side Yard Setback: 10-feet
 - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
 - (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *fixed pier* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
 - (2) Compliance with Applicable Codes. A *fixed pier* must comply with all other applicable City of Rockwall codes.
 - (3) Address. All *fixed pier* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
 - (4) Easement Protection. No *fixed pier* shall encroach into an existing or identified future easement, right-of-way, access road, or path.
- (h) Visual Representation.



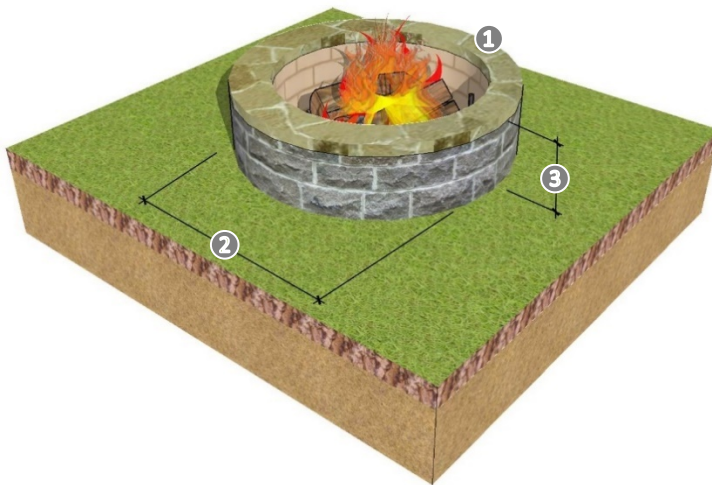
1: 40-FOOT MAXIMUM; 2: PIER IN AN 'I' SHAPE; 3: PIER IN 'T' SHAPE; 4: PIER IN A 'L' SHAPE; 5: PIER IN A 'U' SHAPE; 6: SEAWALL; 7: SIX (6) FOOT MAXIMUM



(9) *Fire Pit.*

- (a) *Definition.* A *fire pit* is a permanent fireplace that is dug into the ground or is in a freestanding structure in which a contained fire is made.
- (b) *Prerequisites.* A *fire pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) *Elevation Zone.* A *fire pit* shall be allowed in the following zones:
 - (1) *438.0:* Permitted.
 - (2) *435.5:* Permitted (if a *Seawall* has been constructed).

- (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *fire pit* can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (i.e. *natural gas or propane*).
- (e) Construction Standards.
- (1) Building Materials. The surround (i.e. *the area used to contain the fire*) for a *fire pit* must be constructed utilizing a combination of natural stone, brick, and/or concrete.
 - (2) Height. A *fire pit* shall not exceed a maximum of 36-inches in height.
 - (3) Size. A *fire pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *fire pit* should not exceed a maximum size of five (5) feet in length by five (5) feet in width.
- (f) Setback Requirements. A *fire pit* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *fire pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *fire pit* must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



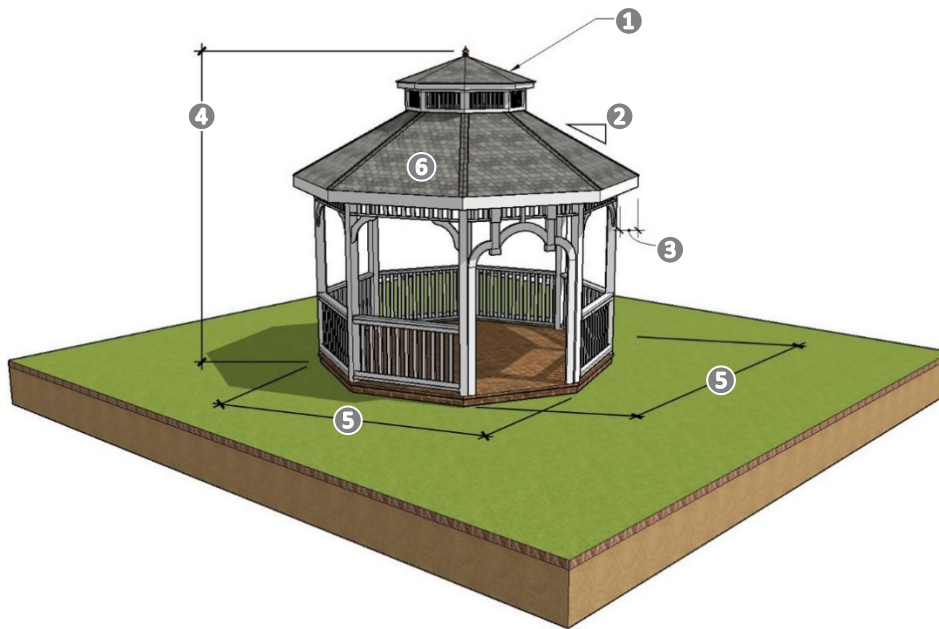
❶: NATURAL STONE, BRICK, AND/OR CONCRETE; ❷: MINIMUM SIZE OF THREE (3) FEET BY THREE (3) FEET AND A MAXIMUM SIZE OF FIVE (5) FEET BY FIVE (5) FEET; ❸: MAXIMUM HEIGHT OF 36-INCHES OR THREE (3) FEET.

(10) Gazebo.

- (a) Definition. A *gazebo* is a permanent stand-alone structure with a roof and trellis structure open on all sides with places for sitting.
- (b) Prerequisites. A *gazebo* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *gazebo* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *gazebo* shall not be used as a habitable dwelling structure, storage facility, deck, or shelter for domestic or wild animals.
- (e) Construction Standards.
 - (1) Building Materials. A *gazebo* built in the *438.0 Elevation Zone* must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or

metal. The side trellis of the *gazebo* may be built using wood; however, canvas, cloth, or mesh attachments to the structure shall be prohibited. A *gazebo* built in the 435.5 Elevation Zone shall only be built out of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. A *gazebo* will be constructed using steel reinforced concrete piers.

- (2) Height. A *gazebo* shall not exceed a maximum height of 15-feet without a clerestory and 18-feet with a clerestory/cupola. The height of the *gazebo* shall be measured from grade to the vertex of the *gazebo*'s main roof or clerestory/cupola roof. In either case a *gazebo* shall not be larger than one (1) story or incorporate a balcony.
 - (3) Size. A *gazebo* shall not exceed a maximum size of 12-feet by 12-feet or 144 SF.
 - (4) Roof. The roof of the *gazebo* shall be a hipped roof, gable roof, or hip and/or gable roof with or without a clerestory/cupola, and have a slope of 2:1. The roof shall not have an overhang greater than 18-inches. In addition, the roof of the *gazebo* can match the roof of the primary structure on the leasing property; otherwise, the roof shall be built out of a prefinished standing seam galvanized metal roof. If a clerestory/cupola is incorporated it shall be centered at the top of the main hip roof.
 - (5) Location. A *gazebo* located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. *Gazebos* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *gazebo* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *gazebo* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *gazebo* must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The *gazebo* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



1: CUPOLA OR CLERESTORY; 2: 2:1 MINIMUM ROOF PITCH; 3: 1.5-FOOT MAXIMUM OVERHANG; 4: 18-FOOT MAXIMUM HEIGHT WITH A CUPOLA OR CLERESTORY AND 15-FOOT WITHOUT A CUPOLA OR CLERESTORY; 5: 12-FOOT MAXIMUM; 6: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

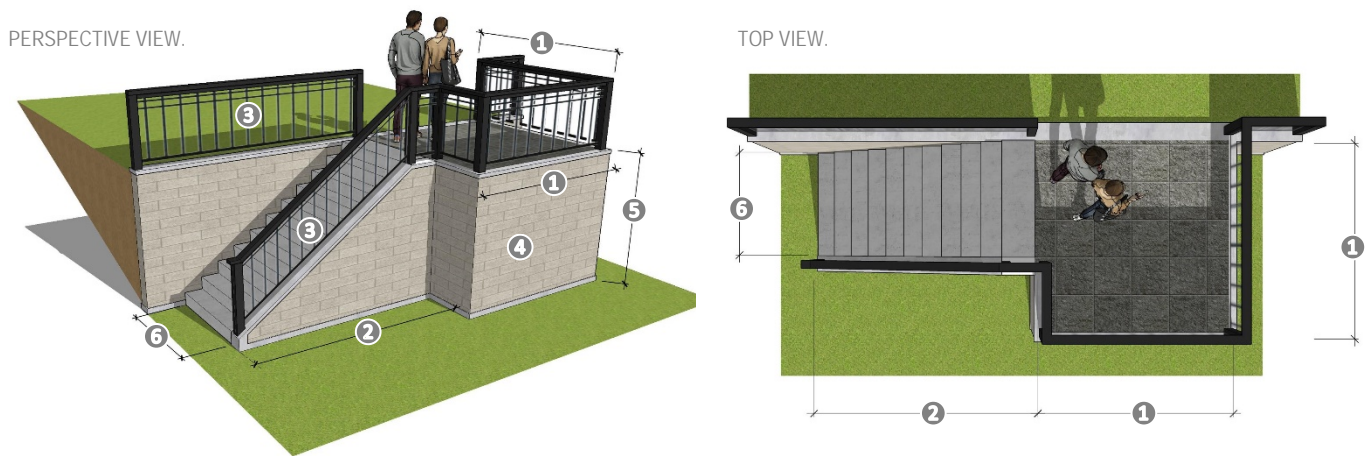
(11) Landing and Stairs.

- (a) Definition. A *landing* is the area of a floor near the top or bottom step of a stair. A *stair* is a set of steps leading from one floor of an area to another.
- (b) Prerequisites. A *landing and stairs* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 or 425.5 Elevation Zones -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *landing and stairs* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (if a Seawall has been constructed).
- (3) 425.5: Permitted (if a Seawall has been constructed).

NOTE: A landing and stairs located in the 425.5 Elevation Zone is permitted beside the lake but not upon or over the lake.

- (d) Conditional Use Standards. A landing and stairs shall be allowed to be constructed in conjunction with a retaining wall if the retaining wall exceeds three (3) feet in height measured from the adjacent grade to the top of the wall.
- (e) Construction Standards.
 - (1) Building Materials. A landing and stairs shall be constructed of wrought iron or black tubular steel, natural stone, brick, and/or concrete.
 - (2) Height. A landing and stairs shall not exceed the height of the adjacent retaining wall.
 - (3) Size. A landing and stairs shall be limited to eight (8) feet by eight (8) feet measured at the top of the adjacent retaining wall and the staircase shall be parallel to the retaining wall with a maximum width of a six (6) foot projection from the wall.
 - (4) Location. A landing and stairs shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A landing and stairs must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 5-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a landing and stairs must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A landing and stairs must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



➊ : MINIMUM OF EIGHT (8) FOOT BY EIGHT (8) FOOT LANDING; ➋ : VARIABLE LENGTH STAIRCASE; ➌ : WROUGHT IRON OR BLACK TUBLAR STEEL; ➍ : NATURAL STONE, BRICK, OR CONCRETE MATCHING THE RETAINING WALL; ➎ : VARIABLE HEIGHT BUT A MINIMUM OF THREE (3) FEET; ➏ : MAXIMUM OF SIX (6) FEET.

(12) Landscaping and Retaining Walls.

- (a) Definition. *Landscaping* is the minor modification or altering of the surrounding takeline area terrain and shoreline with trees, shrubs, ground cover, and native stone or interlocking retaining walls.
- (b) Prerequisites. *Landscaping and retaining walls* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. *Landscaping and retaining walls* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.

NOTE: Remedial landscaping in the 425.5 Zone is permitted when the intent is to maintain the integrity of the shoreline. This will require the approval of the Director of Parks and Recreation.

(d) Conditional Use Standards. Landscaping and retaining walls shall compliment and be integrated into the existing woodlands, wetlands, and general aesthetic of the takeline area. Landscaping shall not consist of hedge or shrub rows, or any plantings that may restrict views or lead to the siltation and/or erosion of the shoreline. The use of pesticides, herbicides, fungicides, or preservatives is strictly prohibited. All landscaping must comply with the requirements of [Article 08, Landscaping and Fence Standards, of the Unified Development Code \(UDC\)](#). For information regarding planting or removing trees see [Subsection \(F\)\(4\)](#) above.

(e) Construction Standards.

(1) Building Materials. Retaining walls shall be finished in native stone and will only be allowed in the 438.0 Elevation Zone and the 435.5 Elevation Zone. The use of mulch is prohibited in all zones with the exception of the 438.0 Elevation Zone. The use of railroad ties, treated wood, pea gravel -- *with the exception of using it as a base* --, and brick shall be prohibited.

(2) Height. Retaining walls as part of landscaping will be limited to less than three (3) feet.

(3) Location. Landscaping and retaining walls shall not hinder the view clear zone of an adjacent neighbor's view corridor. Landscaping shall not exceed six (6) feet in height in the view clear zone.

(f) Setback Requirements. Retaining walls must adhere to the following setbacks:

(1) Takeline Setback: 0-Feet

(2) Leased Side Yard Setback: 6-Feet

(g) Additional Requirements.

(1) Earth Work. Earth work required for the construction of landscaping and retaining walls must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) Compliance with Applicable Codes. Landscaping and retaining walls must comply with all other applicable City of Rockwall codes.

(3) Emergency Response. Landscaping and retaining walls shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(13) Municipal Utilities.

(a) Definition. Municipal utilities represent all local utilities that consist of cable lines, pipelines, and wiring already existing and planned running through the take area used by both the local community and the region's communities to facilitate the distribution and collection of communications, water, electricity, natural gas, and waste byproducts.

(b) Elevation Zone. Municipal utilities shall be allowed in the following zones:

(1) 438.0: Permitted.

(2) 435.5: Permitted.

(3) 425.5: Permitted.

(c) Conditional Use Standards. All municipal utilities' infrastructure is permitted within the take area. Municipal utilities shall be placed underground.

(d) Setback Requirements. Municipal utilities must adhere to the following setbacks:

(1) Takeline Setback: 0-Feet

(2) Leased Side Yard Setback: 0-Feet

(e) Additional Requirements.

(1) Compliance with Applicable Codes. Municipal utilities must comply with all other applicable City of Rockwall codes.

(14) Outdoor Lighting.

(a) Definition. Outdoor lighting is a structure or system of structures, fixtures, and/or devices used to provide artificial nighttime lighting over a defined broad area, on buildings and monuments, on docks for safety, and to emphasize landscaping but not directed to the detriment of the traveling public or surrounding residents in the light's path.

(b) Prerequisites. Outdoor lighting may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

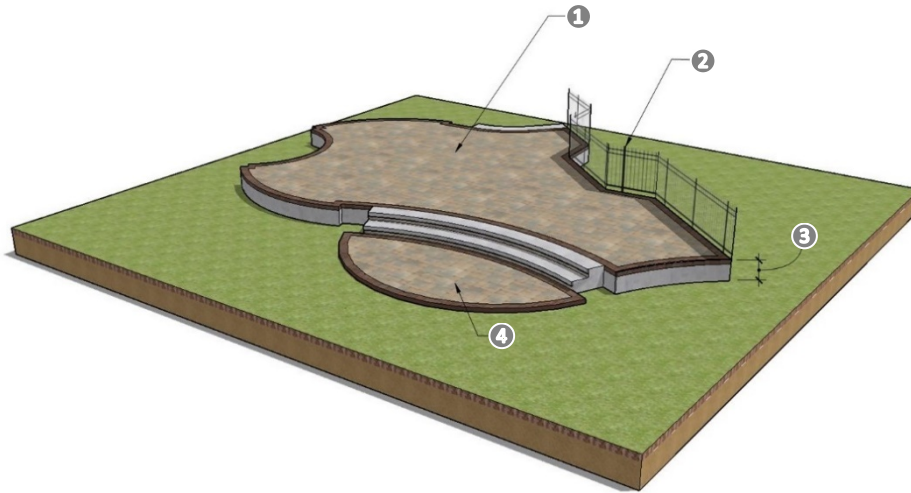
(c) Elevation Zone. Outdoor lighting shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Not Permitted.

NOTE: Catwalk lighting in the 425.5 Elevation Zone is the only permitted *outdoor lighting* allowed below the 438.0 Elevation Zone.

- (d) Conditional Use Standards. Systems and structures associated with *outdoor lighting* include artificial landscape lighting, dock lighting, monument lighting, and flood lights. Cobra and florescent light fixtures are *not* allowed on poled structures. All lights are to have shields which deflect light downward. The operation of search or spot lighting shall be prohibited.
 - (e) Photometric Plan. A photometric plan describing compliance with the provisions of [Article 07, Performance Standards, of the Unified Development Code \(UDC\)](#) shall be submitted to the Director of Planning and Zoning or his/her designee prior to the issuance of a building permit for *outdoor lighting*. This plan shall be prepared by an appropriate lighting professional (e.g. *lighting engineer, architect, or other qualified lighting designer*). Upon installation of the lighting, the lighting professional shall provide a letter certifying that the lighting is installed in accordance with the approved photometric plan. The Director of Planning and Zoning, or his/her designee, shall have the authority to interpret and determine compliance with the photometric plan and the Unified Development Code (UDC). The Planning and Zoning Commission may grant an exception to the provisions of the Unified Development Code (UDC) when strict compliance with the requirements of this section will result in substantial financial hardship or inequity, so long as such exception is without harm to the public. Decisions of the Planning and Zoning Commission may be appealed to the City Council in accordance with the procedures outline in [Section 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code \(UDC\)](#).
 - (f) Construction Standards.
 - (1) Building Materials. *Outdoor lighting* poles must be constructed of aluminum or steel. Wood and/or concrete poles are prohibited.
 - (2) Height. The height of *outdoor lighting* shall range from light fixtures embedded into a catwalk periphery to a 12-foot maximum for post structures on land for broader illumination. Poled outdoor light fixtures within the 438.0 Elevation Zone should be no taller than one-third (1/3) the distance to a neighboring property and should not exceed 12-feet.
 - (3) Location. *Outdoor lighting* fixtures shall not be placed in the view clear zone of a neighbor's view corridor; however, view corridor restrictions do not apply for *outdoor lighting* associated with boathouses, dock decks, or fixed piers except as described for each use due to brightness and glare to surrounding neighbors and the traveling public.
 - (g) Setback Requirements. *Outdoor lighting* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
 - (h) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of *outdoor lighting* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. *Outdoor lighting* must comply with all other applicable City of Rockwall codes.
 - (3) Municipal or Government Installed Lighting. *Outdoor lighting* installed by and/or for a governmental agency for a public benefit that is used for activities for the public benefit (e.g. *rights-of-way, ball fields, airports, and/or parks*) shall be exempted from the requirements of this section; however, parking lot lighting for these activities shall meet the requirements of the Unified Development Code (UDC).
- (15) Patio.
- (a) Definition. A *patio* is a paved, tiled, or rocked outdoor area that is generally used for dining or recreation.
 - (b) Prerequisites. A *patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
 - (c) Elevation Zone. A *patio* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
 - (d) Conditional Use Standards. A *patio* shall not incorporate walls or other none transparent structures to function as handrails or counter space.
 - (e) Construction Standards.

- (1) Building Materials. A *patio* must be constructed with natural stone. Handrails incorporated into a *patio* in the 438.0 Elevation Zone shall be made of wrought iron or decorative metal. Handrails are not permitted in the 435.5 Elevation Zone.
 - (2) Height. A *patio* shall not exceed a maximum height of 12-inches above grade.
 - (3) Size. A *patio* shall not exceed a maximum area of 1,000 SF.
 - (4) Location. *Patios* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *patio* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *patio* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *patio* must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The *patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

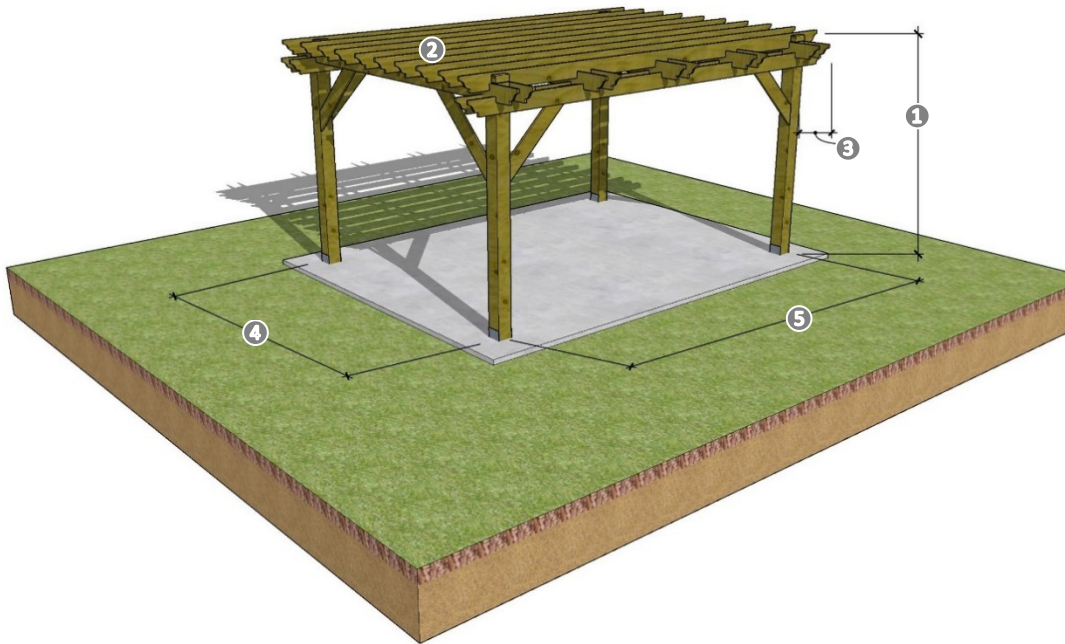


①: NATURAL STONE; ②: WROUGHT IRON OR BLACK TUBULAR STEEL; ③: MAXIMUM OF 12-INCHES OR ONE (1) FOOT; ④: PATIO AREA SHALL NOT BE GREATER THAN 1,000 SF

(16) Pergola.

- (a) Definition. A *pergola* is a stand along structure consisting of parallel columns supporting an open roof of girders and cross rafters.
- (b) Prerequisites. A *pergola* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *pergola* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *pergola* shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.
- (e) Construction Standards.
 - (6) Building Materials. A *pergola* constructed within the 438.0 Elevation Zone must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. A *pergola* constructed within the 435.5 Elevation Zone must be constructed using composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or metal. Canvas, cloth, or mesh attachments to the structure shall be prohibited.

- (7) Height. A pergola shall not exceed a maximum height of 12-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the highest point of the structure.
 - (8) Size. A pergola shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.
 - (9) Roof. The roof of the pergola shall not have an overhang greater than 18-inches.
 - (10) Location. A pergola located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Pergolas shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A pergola must adhere to the following setbacks:
- (3) Takeline Setback: 0-Feet
 - (4) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (4) Earth Work. Earth work required for the construction of a pergola must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (5) Compliance with Applicable Codes. A pergola must comply with all other applicable City of Rockwall codes.
 - (6) Emergency Response. The pergola shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

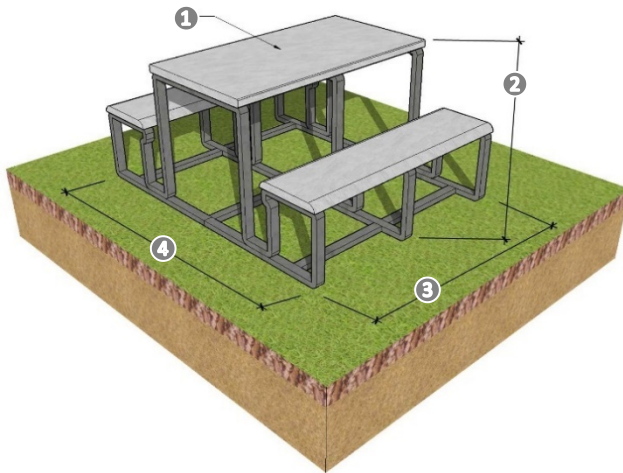


1: 12-FOOT MAXIMUM HEIGHT; 2: OPEN ROOF OF GIRDERS OR RAFTERS; 3: 1.5-FOOT MAXIMUM OVERHANG; 4: 12-FOOT MAXIMUM; 5: 20-FOOT MAXIMUM; 6: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(17) Picnic Table.

- (a) Definition. A picnic table is a permanent outdoor structure used for outdoor dining.
- (b) Prerequisites. A picnic table may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A picnic table shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A picnic table must be a minimum of 12-feet from a *barbecue pit* or *fire pit*, and shall be open to the air (*i.e. no roof covering*) unless combined with a covered patio or pergola. A picnic table shall be built on level terrain.
- (e) Construction Standards.

- (1) Building Materials. The surface area of the *picnic table* shall be constructed out of concrete, brick, or native stone. *Picnic tables* constructed with wood shall be prohibited.
 - (2) Height. A *picnic table* shall not exceed a maximum of 36-inches in height.
 - (3) Size. A *picnic table* shall not exceed a maximum size of ten (10) feet in length by eight (8) feet in width.
 - (4) Location. A *picnic table* located within the 435.5 *Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Picnic tables* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *picnic table* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *picnic table* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *picnic table* must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The *picnic table* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

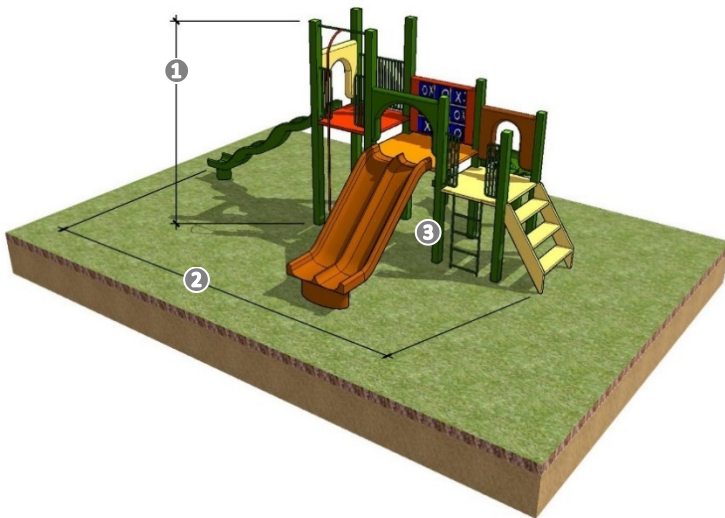


1: SURFACE OF THE PICNIC TABLE SHALL BE CONCRETE, BRICK, OR NATIVE STONE; 2: NOT TO EXCEED 36-INCHES OR THREE (3) FEET; 3: EIGHT (8) FOOT MAXIMUM; 4: TEN (10) FOOT MAXIMUM.

(18) Private Play Structure.

- (a) Definition. A *private play structure* is a permanent outdoor structure used by children for play, which is installed by the private property owner.
- (b) Prerequisites. A *private play structure* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *private play structure* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *private play structure* can consist of arched ladders, vertical ladders, horizontal ladders, clatter bridge, timber structures, slides, fort and slide playset, climbers, play walls, play climbers, play pods, moon houses, jungle gyms, see-saws, merry-go-rounds, domes, rocket riders, tire swings, buoy balls, monkey bars, drums, chin-up bars, trampoline and rock walls; however, sandboxes and/or sand play areas shall not be permitted.
- (e) Construction Standards.
 - (1) Building Materials. A *private play structure* shall be built out of aluminum, galvanized steel, rubber, and/or water-resistant wood; however, railroad ties and treated lumber are prohibited. The exterior color of a *private play structure* should blend and incorporate the same hues and tones of the surrounding landscaping.

- (2) Height. A private play structure shall not exceed a maximum of eight (8) feet in height.
 - (3) Size. All private play structures will be situated in a collected area that is a maximum of 1,000 SF in area.
 - (4) Location. Private play structures shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A private play structures must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a private play structures must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A private play structure must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The private play structure shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



❶ : MAXIMUM OF EIGHT (8) FEET IN HEIGHT; ❷ : TOTAL SQUARE FOOTAGE SHALL NOT EXCEED A MAXIMUM OF 1,000 SF; ❸ : EXTERIOR COLOR SHOULD BLEND WITH THE SURROUNDING LANDSCAPING.

(19) Private Utilities.

- (a) Definition. Private utilities are a system of underground cable line, pipelines, and wiring installed by the leasing property owner to maintain and operate improvements in the take area.
- (b) Prerequisites. Private utilities may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. Private utilities shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. Private utilities are required to be buried in accordance with Chapter 38, *Subdivisions*, of the City of Rockwall's Municipal Code of Ordinances. No overhead private utility lines are permitted in the lease area. Private utilities containing natural gas, propane, gasoline, oil, diesel, or similar types of compounds shall not be permitted within the lease area. No part of any *On-Site Sanitary Sewer System* (OSSF) or any other private wastewater system or appurtenances shall be permitted within the lease area.
- (e) Construction Standards.
 - (1) Building Materials. Private utilities shall only be constructed out of materials permitted by the City's Engineering Department.
 - (2) Location. Private utilities within 20-feet of the normal pool elevation shoreline (*i.e.* 435.5) shall be built to handle load factors associated with emergency and service vehicles. Private utilities containing electricity and communication lines built into structures over the water shall not be allowed below the 436.5-foot mean sea level elevation.

(f) Setback Requirements. *Private utilities* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *private utilities* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private utility* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private utility* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(20) Private Walkways.

- (a) Definition. *Private walkways* can be a single path or a network of paths installed by the leasing property owner in the takeline area.
- (b) Prerequisites. *Private walkways* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) Elevation Zone. *Private walkways* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (if a *Seawall* has been constructed).
- (3) 425.5: Not Permitted.

(d) Conditional Use Standards. *Private walkways* with steps are permitted (see *Landing and Stairs* in [Subsection 06.15\(J\)\(11\)](#)).

(e) Construction Standards.

- (1) Building Materials. *Private walkways* shall be constructed using native stone, brick and/or rectangle pavers; however, *private walks* shall not consist of loose stone, gravel, sand, asphalt, or concrete.
- (2) Height. *Private walkways* shall be flush with the surrounding grade, or work within the gradient present of the surrounding grade.
- (3) Size. *Private walkways* shall be no greater than 48-inches in width.
- (4) Location. *Private walkways* may encroach into an existing easement or right-of-way, encroach into an identified future easement or right-of-way, or encroach into an identified or set aside access path, provided that the property owner or sublease is responsible for repair and/or replacement of the walks in the event they are damaged or removed by the City or other public entity as a result of the necessary use of, or work within or around, said easements. An existing and future easement running through a lease property will be allowed to substitute for the 12-foot wide primary access right-of-way path provided it is 12-foot wide, suitable for access, and will connect to adjacent access paths.

(f) Setback Requirements. *Private walkways* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 10-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *private walkways* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private walkway* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private walkway* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(21) Seawall.

- (a) Definition. A *seawall* is an engineered concrete or steel structure at the water's edge that is typically designed to curb shoreline erosion where it is installed.
- (b) Prerequisites. A *seawall* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *seawall* shall be allowed in the following zones:

- (1) 438.0: Not Permitted.

- (2) 435.5: Not Permitted.
- (3) 425.5: Permitted.

NOTE: Seawalls are only permitted along the shoreline.

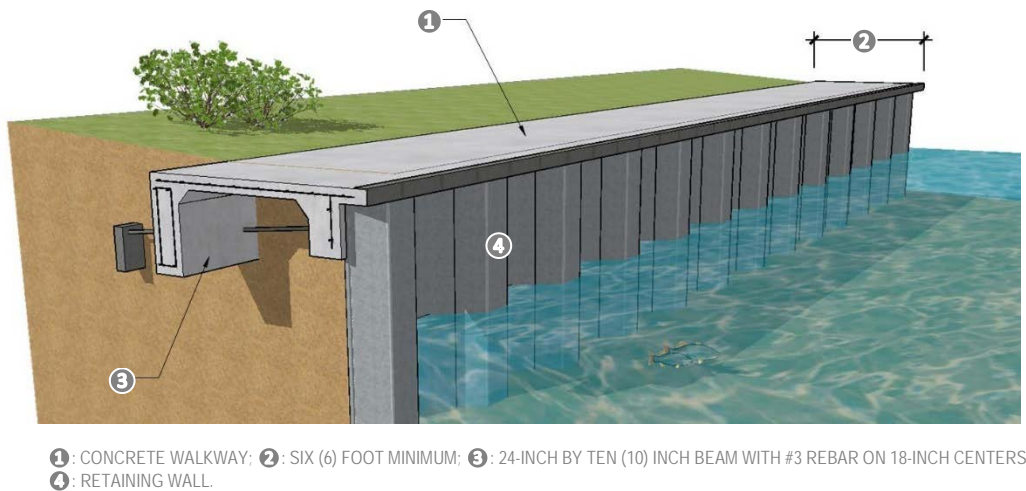
(d) Construction Standards.

- (1) Concrete Cap. A six (6) foot wide concrete cap must be constructed along the entire length of the erosion control structure. In order to allow the backfill material to properly settle, the construction of the concrete cap may be delayed for several weeks/months after the construction of the erosion control structure; however, in no case should the construction of the concrete cap be delayed for a time period exceeding one (1) year from the date of construction of the erosion control structure.

(e) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a seawalls must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
- (2) Compliance with Applicable Codes. A seawall must comply with all other applicable City of Rockwall codes.

(f) Visual Representation.



(22) Sprinkler/Irrigation System.

- (h) Definition. A sprinkler/irrigation system is an underground irrigation network used to water and maintain trees, shrubs, grounds, and the foundations of improvements.
- (i) Prerequisites. A sprinkler/irrigation system may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (j) Elevation Zone. A sprinkler/irrigation system shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted.
- (3) 425.5: Not Permitted.

Note: The prohibition of sprinkler/irrigation systems in the 425.5 Elevation Zone does not include the pumps or lines necessary to pump raw water, when a property owner has been granted permission to do so from the City of Dallas.

- (k) Conditional Use Standards. A sprinkler/irrigation system must be connected to the leasing property owner's existing water supply source with approved backflow prevention devices.

(l) Construction Standards.

- (1) Building Materials. A sprinkler/irrigation system shall only be constructed utilizing Schedule 40 PVC pipe.
- (2) Height. The heads of a sprinkler/irrigation system used for shrubs shall extend no higher than three (3) feet from the average base of the surrounding terrain within a three (3) foot radius of the head.
- (3) Location. A sprinkler/irrigation system shall be allowed up to one (1) foot of the normal pool elevation shoreline (i.e. 435.5) provided no part of the system could potentially result in lake siltation erosion.

- (m) Setback Requirements. A sprinkler/irrigation system must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(n) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *sprinkler/irrigation system* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *sprinkler/irrigation system* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any part of a *sprinkler/irrigation system* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

SUBSECTION 07.05: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS

LAND USE ¹	CONDITIONAL USE REFERENCE SEE SUBSECTION 06.15(J)	PRE-REQUISITES L: SUBLEASE, S: SEAWALL, FP: FIXED PIER	ELEVATION ZONES			MINIMUM SIZE (FEET OR SQUARE FEET)	MAXIMUM SIZE (FEET, INCHES, OR SQUARE FEET)	MINIMUM HEIGHT (FEET OR INCHES)	MAXIMUM HEIGHT (FEET)	SIDE YARD SETBACK (FEET)	BUILDING MATERIALS NS: NATURAL STONE B: BRICK C: CONCRETE CM: COMPOSITE MATERIALS GM: GALVANIZED METAL IR: IRON SS: STAINLESS STEEL S: STEEL M: METAL A: ALUMINUM CW: CEDAR RW: REDWOOD IW: IRONWOOD SSM: STANDING SEAM METAL WR: WROUGHT IRON R: RUBBER
			438.0	435.5	425.5						
BARBECUE PIT	(1)	L	P	X	X	3' x 3'	8' x 3'	0'	6'	6'	NS, B, C, AND IR
BOAT HOUSE ^{2, 4, 5, & 15}	(2)	L, S, & FP	X	X	P	8' x 30'	12' x 30'	16'	21'	10'	CM FOR CATWALK AND DECKING; GM, IR, S, OR A FOR THE SUPPORTS ³ ; CM, GM, IR, S, A, CW, IW, OR RW FOR ROOF BEAMS; AND SSM FOR THE ROOF
COVERED PATIO ^{5 & 15}	(3)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	15' ^{6 & 7}	20'	CW, IW, & RW IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE; SSM FOR THE ROOF
DECK ^{5 & 18}	(4)	L & S ¹⁶	P	P	X	0'	1,000 SF	2' OR 24"	1'	20'	CM FOR THE DECKING, C FOOTINGS FOR FOUNDATION, AND WR FOR FENCING/RAILING
DOCK DECK ^{2 & 5}	(5)	L, S, & FP	X	X	P	8' x 10'	12' x 30'	0'	8' ⁸	10'	CM
FENCE	(6)	L	P	X	X	0'	45'	4'	4'	0'	WR
FLAGPOLE ^{5 & 9}	(7)	L & S ¹⁶	P	P	X	5" BASE	8" BASE	0'	20'	6'	SS OR A
FIXED PIER ^{2 & 5}	(8)	L & S	X	X	P	0'	6' x 40'	0'	8' ¹⁰	10'	CM FOR CATWALK AND DECKING; CM OR S FOR RAILINGS
FIRE PIT	(9)	L & S ¹⁶	P	X	X	3' x 3'	5' x 5'	0'	3'	6'	NS, B, AND C
GAZEBO ^{5 & 15}	(10)	L & S ¹⁶	P	P	X	0'	12' x 12'	0'	15'/18' ^{7 & 11}	20'	CW, RW, IW, CM, OR M IN THE 438.0 ELEVATION ZONE; AND CM OR M IN THE 435.5 ELEVATION ZONE
LANDING AND STAIRS	(11)	L & S ¹⁷	P	P	P	0'	8' x 8' x 6'	3'	SAME AS RETAINING WALL	5'	NS, B, AND C FOR THE STAIRS; WR OR BLACK S FOR THE RAILINGS AND/OR FENCE
PATIO ^{5 & 18}	(15)	L	P	P	X	0'	1,000 SF	0'	1'	20'	NS FOR THE DECK AREA AND WR FOR RAILINGS
PERGOLA ⁵	(16)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	12' ⁷	20'	CW, RW, IW, OR CM IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE
PICNIC TABLE	(17)	L	P	P	X	0'	8' x 10'	0'	3' OR 36"	6'	NS, B, AND C
PRIVATE PLAY STRUCTURE	(18)	L	P	X	X	0 SF	1,000 SF	0'	8'	20'	A, GM, R, CW, RW, AND IW
PRIVATE WALKWAYS	(20)	L & S ¹⁶	P	P	X	0'	48" WIDE	0'	FLUSH WITH GRADE	10'	NS, B, AND RECTANGULAR PAVERS
LANDSCAPING AND RETAINING WALLS ^{12 & 13}	(22)	L	P	P	X	NOTES:					
MUNICIPAL UTILITIES	(13)	NONE	P	P	P	1: FOR ALL LAND USES CHECK SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT FOR ADDITIONAL REQUIREMENTS AND RESTRICTIONS.					
OUTDOOR LIGHTING	(14)	L	P	X	X	2: BOATHOUSES, FIXED PIERS, DOCK DECKS, OR ANY COMBINATION OF THESE STRUCTURES MAY NOT EXTEND MORE THAN 40-FEET INTO THE WATER FROM THE 435.5 ELEVATION CONTOUR.					
PRIVATE UTILITIES	(19)	L	P	P	X	3: REQUIRES A HIP ROOF, A MINIMUM OF 2:1 ROOF PITCH, WITH ONE (1) CUPOLA (3' x 4') IN THE MIDDLE OF THE ROOF OR TWO (2) CUPOLAS (3' x 4') AT EACH END OF THE ROOF.					
SEAWALL	(21)	L	X	X	P	4: SUPPORT POSTS MAY BE WRAPPED IN A COMPOSITE MATERIAL.					
SPRINKLER/ IRRIGATION SYSTEM ¹⁴	(22)	L	P	P	X	5: THE STRUCTURE SHALL BE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE ON THE LEASING PROEPRTY IF LOCATED IN THE 435.5 OR 425.5 ELEVATION ZONES (IF PERMITTED IN THE ZONE).					
						6: REQUIRES A HIP OR GABLE ROOF WITH A CUPOLA OR CLERESTORY AND A MINIMUM ROOF PITCH OF 4:1.					
						7: SHALL NOT EXCEED ONE (1) STORY OR BE USED AS A ROOF TOP DECK.					

8: EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN FOUR (4) POLE STRUCTURES ALLOWED.
9: A MAXIMUM OF TWO (2) FLAG POLES ARE PERMITTED AND ONLY THE UNITED STATES OF AMERICA AND TEXAS FLAGS ARE TO BE FLOWN.
10: EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN TWO (2) POLE STRUCTURES ALLOWED.
11: REQUIRES A HIP OR GABLE ROOF OR A HIP AND/OR GABLE ROOF, WITH A MINIMUM ROOF PITCH OF 2:1, AND THAT IS A MAXIMUM OF 15-FEET WITHOUT A CLERESTORY OR CUPOLA OR 18-FEET WITH A CLERESTORY OR CUPOLA.
12: REMEDIAL LANDSCAPING ALLOWED IN THE 425.5 ELEVATION ZONE WITH THE INTENT TO MAINTAIN THE INTEGRITY OF THE SHORELINE.
13: RETAINING WALLS THAT ARE A PART OF LANDSCAPING ARE LIMITED TO LESS THAN THREE (3) FEET IN HEIGHT.
14: HEADS SHOULD EXTEND NO HIGHER THAN THREE (3) FEET FROM THE AVREAGE BASE OF THE SURROUND TERRIAN WITHIN A THREE (3) FOOT RADIUS OF THE HEAD.
15: ROOF OVERHANGS SHALL NOT EXCEED 18-INCHES.
16: A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 ELEVATION ZONE.
17: A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 OR 425.5 ELEVATION ZONES.
18: HANDRAILS ARE PROBITED IN THE 435.5 ELEVATION ZONE.

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT, AND CREATING SECTION 07.05, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS, OF ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, AS DEPCITED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [Ordinance No. 20-02] has been initiated by the City Council of the City of Rockwall to amend Section 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, and create Section 07.05, *Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Section 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, shall be amended to create Section 07.06, *Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards*, as described in *Exhibit 'B'* of this ordinance;

SECTION 3. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 4. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [Ordinance No. 04-38], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 5. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS
THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

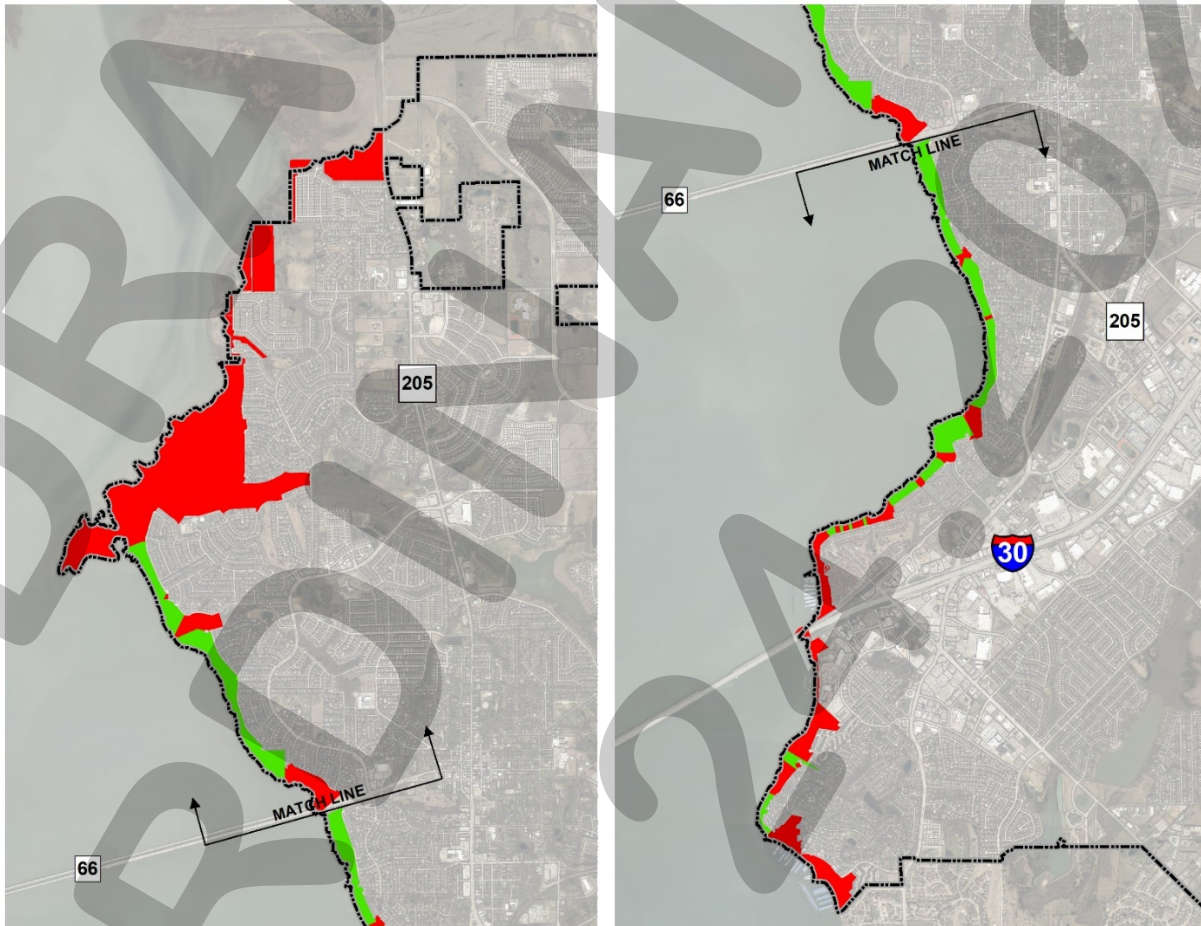
2nd Reading: January 4, 2021

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (A) Purpose. The purpose of the Lake Ray Hubbard Takeline Overlay (TL OV) District is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended serve as an implementation tool for the Lake Ray Hubbard Master Plan (adopted by the City of Dallas), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the Lake Cities Coalition (i.e. Garland, Rockwall, and Rowlett) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality
- (B) Boundaries. The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas Takeline as shown on the boundary map for Lake Ray Hubbard (i.e. File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure 26, Lake Ray Hubbard Takeline [TL OV] District Map) and the meandering of the contour line 435.5-foot sea level elevation. In addition, Figure 27: Elevation Contours, shows the elevation zones used to delineate where certain land uses are permitted.

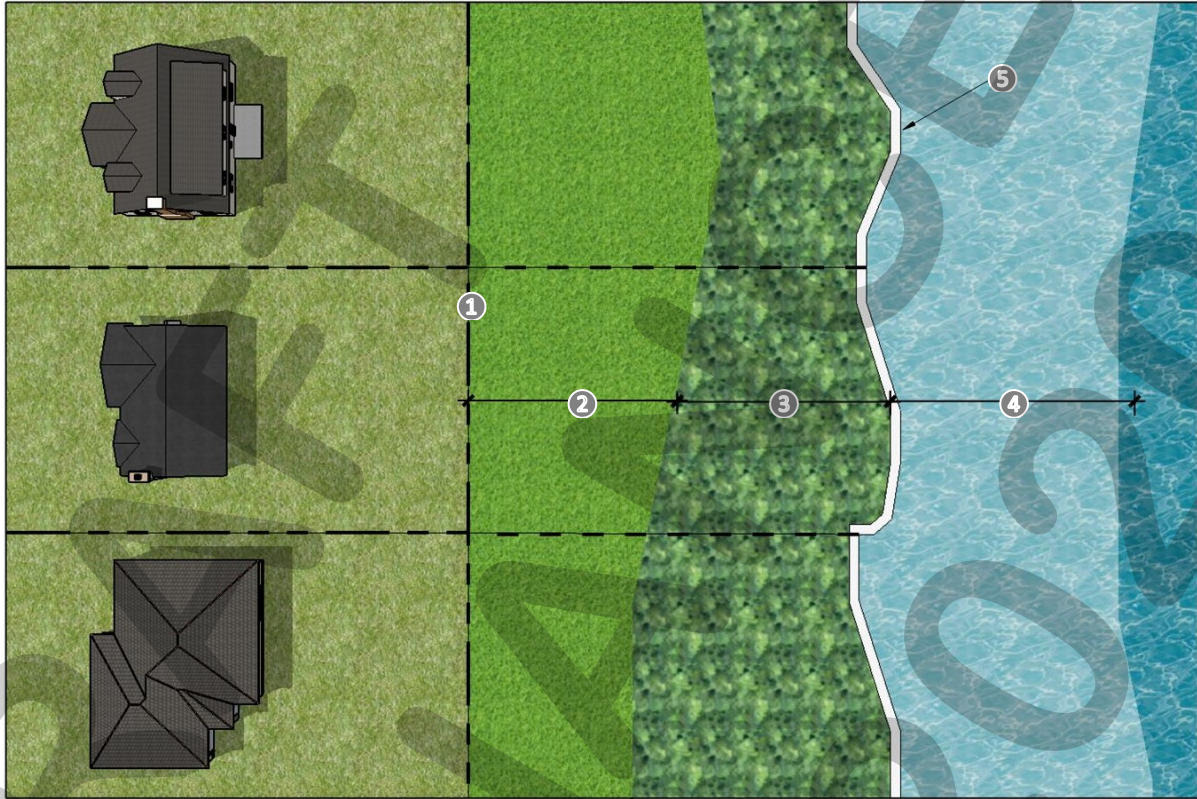
FIGURE 26: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP



RED: NON-LEASEABLE PROPERTY; GREEN: LEASABLE PROPERTY

Exhibit 'A'
 Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
 Article 05, Development Standards, of the
 Unified Development Code (UDC)

FIGURE 27: ELEVATION CONTOUR ZONES



❶: REAR PROPERTY LINE/TAKE LINE; ❷: 438.0 ELEVATION ZONE; ❸: 435.5 ELEVATION ZONE; ❹: 425.5 ELEVATION ZONE; ❺: SEAWALL;

(C) Applicability.

- (1) Applicable Lots. The standards set forth within Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac that are eligible to lease. The properties eligible to lease the takeline area are depicted in Figure 26: Lake Ray Hubbard Takeline Overlay (TL OV) District Map above.
- (2) Exceptions for Lots Not Meeting the Applicability Standards. The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in Subsection 06.15(B)(1) above.

(D) Definitions. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to Subsection (J), Specifications for Permitted Land Uses. In addition, the following terms shall be defined as follows:

- (1) Catwalk. The narrow walkway of a dock providing people access to moored watercraft.
- (2) Centerline. An established line that is equidistant from the surface or sides of something (e.g. parcel boundaries).
- (3) Cleat. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (4) Dredging. The process of deepening a waterway for the safe and efficient movement of watercraft by the removal of dirt either by digging or by suction.
- (5) Habitable Structure. A structure fit for human habitation usually containing amenities (e.g. fireplace, furniture, plumbing, bathing facilities, and cooking facilities). Structures allowed by this section shall not be habitable structures and may not contain such amenities.
- (6) Lake. Refers to Lake Ray Hubbard.
- (7) Lake Area. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (i.e. property at or below an elevation of 435.5-feet mean sea level).
- (8) Leased Area. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.
- (9) Lift. A temporary means of elevating a watercraft out of the water by use of a hoist.
- (10) Locker Box. A secured chest fixed onto a dock used for storage of watercraft equipment.
- (11) Moor. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.
- (12) Mooring. A place where a watercraft can be tied up and secured while in the water (e.g. a slip) for not more than 156-consecutive hours.
- (13) Power Source Station. Used as a power supply for lighting a dock just below watercraft level.
- (14) Shoreline. Refers to the line along the shore of the lake, established by the normal lake pool elevations (i.e. 435.5-feet mean sea level).
- (15) Slip. A watercraft's berth between two (2) piers or between finger piers.
- (16) Take or Takeline Area. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (i.e. 435.5-feet mean sea level).
- (17) Treated Wood. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.
- (18) View Clear Zone. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.
- (19) View Corridor. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area (see Figure Subsection (E): Visual Measurements for View Corridors).
- (20) View Preservation Angle. The angle determined as the line extending from the center point -- or 30-foot point depending on lot size -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard (see Figure 28: Visual Measurements for View Corridors).
- (21) Watercraft (or Boat). A craft for water transport. Examples of watercrafts are as follows:
 - (a) Motorized Boat. A boat propelled by an internal combustion engine.
 - (b) Sail Boat. A boat with a mast and sail propelled by the wind.

(E) Visual Measurements for View Corridors.

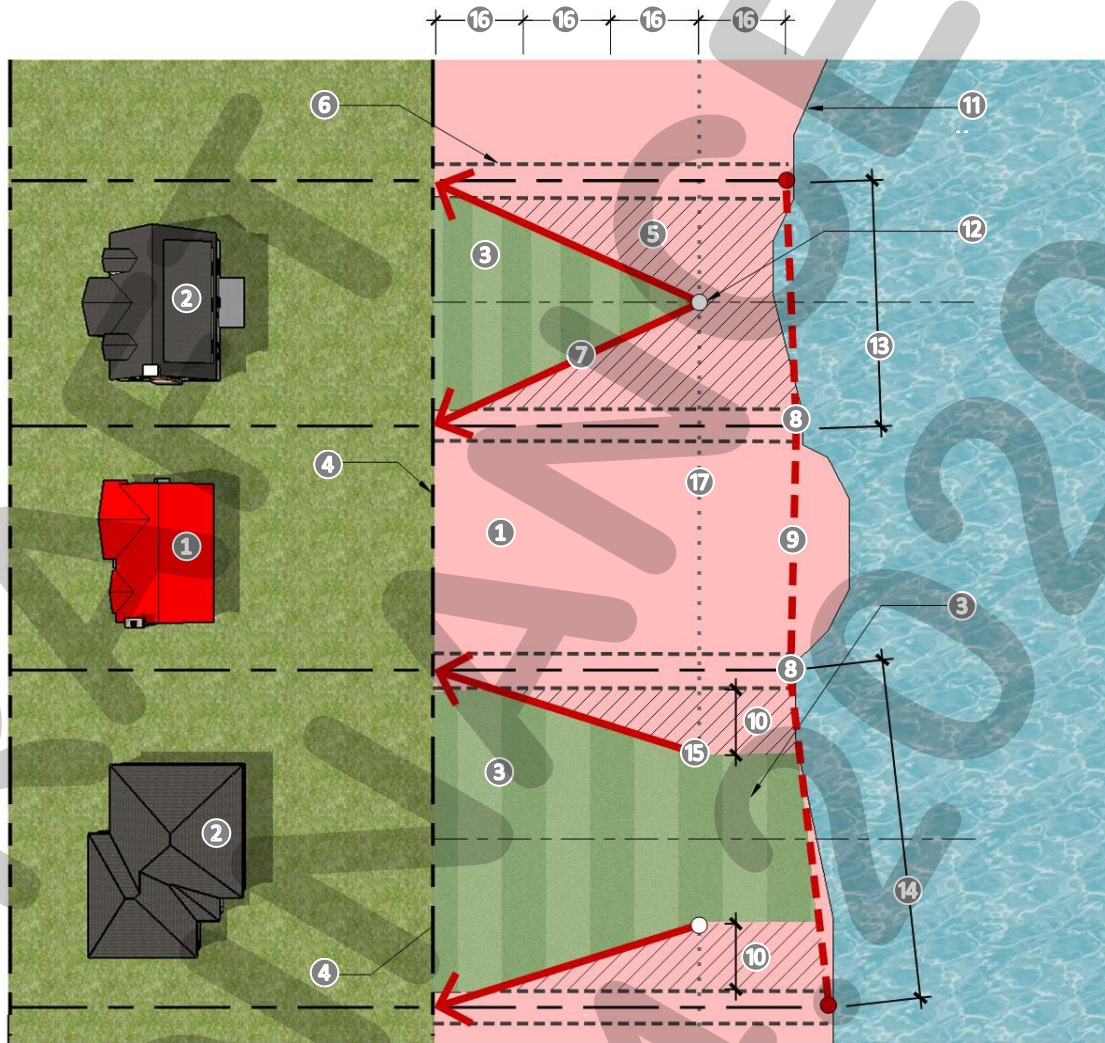
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- (1) View Corridors. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (*i.e.* 435.5-foot mean sea level), and connecting these two (2) points in a straight line (*see Figure 28: Visual Measurements for View Corridors*). Based on this linear measurement, the view clear zones are determined by the following:
- (a) Lots That Have Less Than 100-Feet of Shoreline Frontage. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (*i.e.* 25%) center point from the shoreline frontage line along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).
- (b) Lots That Have More 100-Feet or More Shoreline Frontage. The view corridor for lots that have 100-feet or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (*i.e.* 25%) line projected from the shoreline frontage line extending from the leasing property owner's side yard 30-feet along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).

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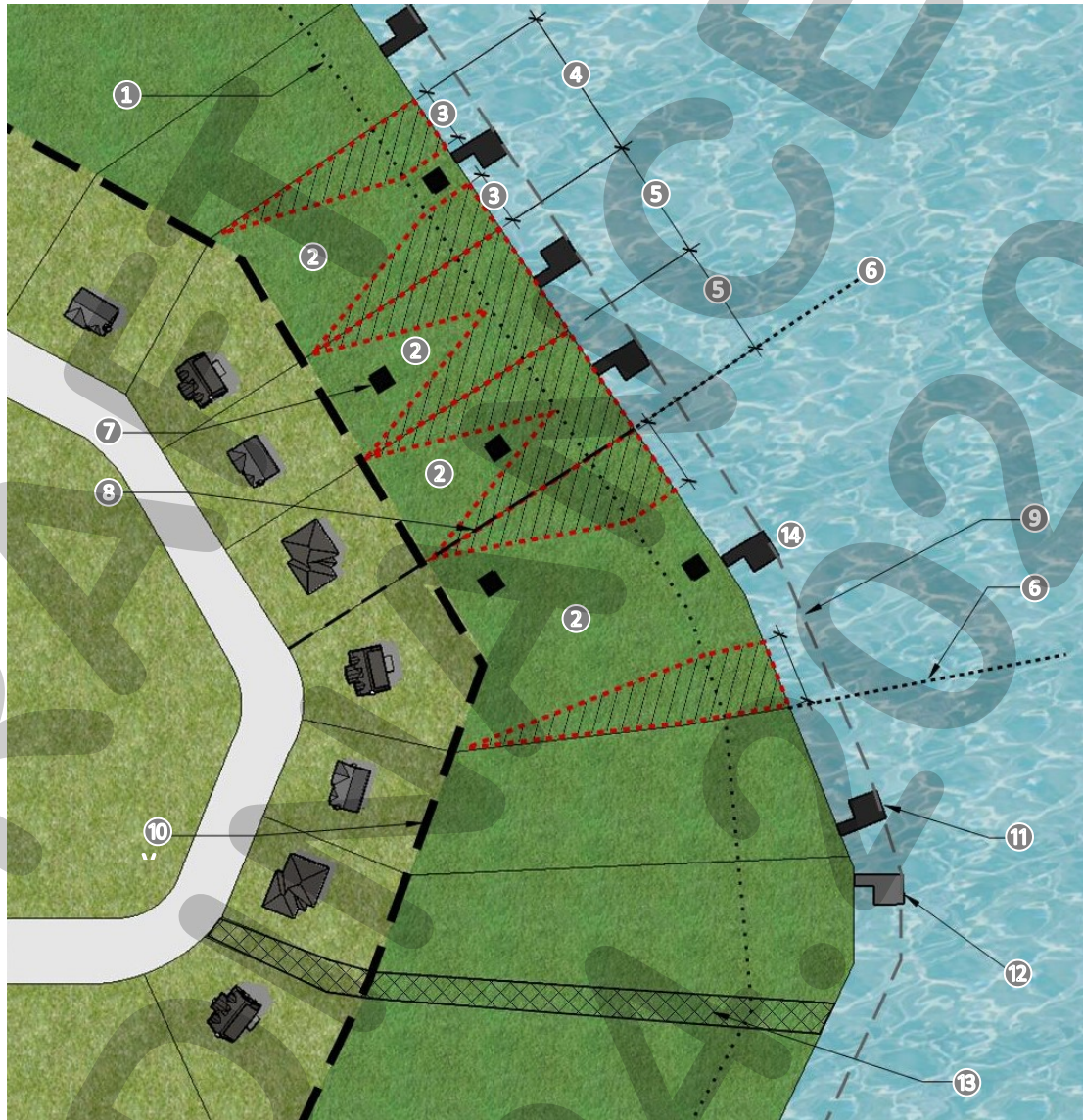
FIGURE 28: VISUAL MEASUREMENTS FOR VIEW CORRIDORS



1: SUBJECT PROPERTY'S AND ITS VIEW CORRIDOR (PINK AREA); **2**: NEIGHBORING PROPERTY; **3**: NEIGHBORING PROPERTY'S BUILDABLE AREA (GREEN LINED AREA); **4**: REAR PROPERTY LINE/TAKELINE; **5**: VIEW CLEAR ZONE (LINED AREA); **6**: LEASE AREA SIDE YARD SETBACK; **7**: VIEW PRESERVATION ANGLE; **8**: THE INTERSECTION OF THE 435.5 ELEVATION LINE AND THE LEASE AREA'S SIDE YARD; **9**: SHORELINE FRONTAGE LINE (ESTABLISHED BY CONNECTING THE TWO [2] **3** POINTS IN A STRAIGHT LINE); **10**: 30-FOOT ; **11**: SHORELINE; **12**: CENTER POINT AT THE QUARTER DISTANCE LINE; **13**: A LOT WITH A SHORELINE FRONTAGE LESS THAN 100-FEET; **14**: A LOT WITH A SHORELINE FRONTAGE 100- FEET OR MORE; **15**: 30-FOOT POINT ON THE QUARTER DISTANCE LINE; **16**: 25% OF THE TAKELINE AREA; **17**: QUARTER DISTANCE LINE.

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FIGURE 29: EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT



①: QUARTER DISTANCE LINE; ②: BUILDABLE AREA; ③: 30-FOOT; ④: A LOT WITH A SHORELINE FRONTAGE LINE 100-FOET OR MORE; ⑤: A LOT WITH A SHORELINE FRONTAGE LINE LESS THAN 100-FOET; ⑥: LEASE AREA'S PROJECTED SIDE YARD; ⑦: STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; ⑧: LEASE AREA'S SIDE YARD; ⑨: 40-FOOT BUILDING LINE; ⑩: REAR PROPERTY LINE/TAKELINE; ⑪: EXISTING BOATHOUSE; ⑫: BOATHOUSE LOCATION APPROVED ADMINISTRATIVELY BECAUSE OF DRAINAGE EASEMENT AND CLUSTERED WITH AN EXISTING BOATHOUSE; ⑬: DRAINAGE EASEMENT; ⑭: BOATHOUSE AND STRUCTURE IN THE 435.5 ELEVATION ZONE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE.

(F) General Requirements. The following general requirements shall apply for all property in the takeline area.

(1) Number of Permitted Structures. The following is the maximum number of structures that shall be permitted in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):

- (a) 438.0 Elevation Zone: Two (2) structures shall be permitted in the 438.0 Elevation Zone.
- (b) 435.5 Elevation Zone: One (1) structure shall be permitted in the 435.5 Elevation Zone.

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- (2) General Location of Permitted Structures. The following requirements relate to where structures should be generally located in each elevation zone (NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height):
- (a) 438.0 Elevation Zone: Structures in the 438.0 Elevation Zone should be located outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (J), Specifications for Permitted Land Uses.
 - (b) 435.5 Elevation Zone: Structures in the 435.5 Elevation Zone should be generally centered in the lease area -- equal distance from both leased side yard boundary lines -- behind the primary structure on the leasing property and outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (J), Specifications for Permitted Land Uses.
 - (c) 425.5 Elevation Zone: Structures located in the 425.5 Elevation Zone should be generally centered along the shoreline -- equal distance from both the leased side yard boundary lines -- behind the primary structure of the leasing property.
 - (d) Administrative Exception for the 435.5 & 425.5 Elevation Zone. In cases where it is [1] not feasible to construct a structure in the center of the lease area or along the shoreline, [2] will increase the view corridor or benefit the surrounding properties by not centering a structure in the lease area, or [3] where centering the structure will create an undue hardship to the property owner leasing the lease area, the Director of Planning and Zoning or his/her designee may approve an administrative exception to allow an alternate location that is not generally centered in the lease area as long as the location for the proposed structure is outside of the view clear zone. In approving these requests, the Director of Planning and Zoning or his/her designee shall consider the impact of the proposed structure on the adjacent property owners.
- (3) Building Materials. The permitted building materials shall be as stipulated in Subsection (J), Specifications for Permitted Land Uses, and as permitted by the City Council through a Specific Use Permit (SUP); however, the use of canvas, cloth, or like materials shall be prohibited within the takeline area. In addition, loose ground materials (e.g. sand, fill, pea gravel) that could be used for trails, paths, play areas, active sports activities, or as exposed landscape bedding material are prohibited.
- (4) Trees. In order to plant or remove a tree in the takeline area, a Treescape Plan showing the exact location, size (i.e. trunk diameter and height), and common name of the tree to be planted or removed will be required to be submitted to the Parks and Recreation Department. A permit to plant or remove a tree may be approved administratively by the Director of Parks and Recreation or his/her designee, or forwarded to the Parks and Recreation Board for approval. In reviewing a request to plant or remove a tree, the following criteria shall apply:
- (a) Planting Trees. Trees are permitted to be planted within the 438.0 Elevation Zone pending they are [1] not a variety specifically listed in the prohibited tree list contained in Section 03, Tree Planting Guidelines and Requirements, of Appendix C, Landscaping Guidelines and Requirements, and [2] they are not located within the view clear zone outlined Subsection (E), Visual Measurements. The Director of Parks and Recreation or his/her designee may grant an exception to allow a tree to be planted in the view clear zone where it is determined that the tree will not decrease the visibility of the lake or shoreline for the adjacent properties. In making this determination, the Director of Parks and Recreation shall consider the size of the proposed tree at maturity.
 - (b) Removing Trees. Trees are permitted to be removed only if they are determined to be damaged or diseased, or if they create a hazardous or dangerous condition that could endanger the public health, safety or welfare of the general public.
- (5) Temporary Structures in the Takeline Area. Temporary structures (e.g. portable residential barbecue grills and ranges, trampolines, etc.) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with Subsection 06.15(J)(6).
- (G) Residential Sublease Agreement. A Residential Sublease Agreement is an agreement between a property owner and the City of Rockwall that grants the property owner certain rights to the exclusive use of the takeline area. A Residential Sublease Agreement shall be required to build certain structures within the takeline area. It shall be a violation of the zoning

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code to build or maintain a structure in the takeline area without a valid *Residential Sublease Agreement*. An owner in violation of this section shall be subject to the requirements of Section 01, Penalties, of Article 12, Enforcement, of the Unified Development Code (UDC). The following shall be the costs associated with a *Residential Sublease Agreement*:

Lease	Fees
New Lease (<i>i.e. New Never Leased by Current Owner</i>) ²	\$200.00
Annual Renewal of a Lease	\$100.00
Change of Ownership of a Valid Lease	\$50.00
Reinstatement of an Expired Lease (<i>i.e. Same Property Owner</i>) ³	\$500.00

NOTES:

- ¹: To be subject to these new fees, a new lease entered into after January 4, 2021 will be required (*i.e. the effective date of the amendment adopting these fees*).
- ²: A lease is considered to be new under the following circumstances: [1] the property has never had a valid lease agreement, or [2] the property had a valid lease under different ownership but that lease agreement expired prior to the current owner taking possession of the property.
- ³: A lease is considered to be a reinstatement when it lapses or expires under the current ownership, and then the same owner requests a new lease.

- (H) Permitted Uses. All of the uses permitted within the *Lake Ray Hubbard Takeline Overlay (TL OV) District* shall adhere to all other applicable codes and permitting requirements of the City of Rockwall. For a list of permitted land uses see Subsection (J), Specifications for Permitted Land Uses, or Subsection 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards.
- (I) Specific Use Permits (SUPs). A Specific Use Permit (SUP) may be requested for: [1] any use that is not listed in Subsection (J), Specifications for Permitted Land Uses or [2] any structure that does not adhere to the requirements stipulated for that use or structure as required by Subsection (J), Specifications for Permitted Land Uses; however, a request for a Specific Use Permit (SUP) cannot be requested if a dimensional, material, size, or location standard stipulated in Subsection (J), Specifications for Permitted Land Uses, or Subsection (F), General Requirements, is expressly prohibited. In addition, no requests can be made that violate the view corridor requirements stipulated in Subsection (E), Visual Measurements. A Specific Use Permit (SUP) may be requested for water related land uses that are not specifically addressed in Subsection (J), Specifications for Permitted Land Uses, (*e.g. jet ski lift*) pending the applicant provides a letter of consent from the City of Dallas prior to making the application. In considering a Specific Use Permit (SUP) request, the City Council shall consider how the proposed request [1] impacts adjacent properties, and [2] adheres to the intent of the Lake Ray Hubbard Takeline Overlay (TL OV) District.
- (J) Specifications for Permitted Land Uses. See Subsection 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards, for a summary of the development standards for each of the following conditional uses.
- (1) Barbecue Pit.
 - (a) Definition. A *barbecue pit* is a permanent fireplace structure over which meat, poultry and other foods are roasted (*for Fire Pit see Subsection 06.15(J)(9)*).
 - (b) Prerequisites. A *barbecue pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
 - (c) Elevation Zone. A *barbecue pit* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
 - (d) Conditional Use Standards. A *barbecue pit* can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (*i.e. natural gas or propane*).
 - (e) Construction Standards.
 - (1) Building Materials. A *barbecue pit* must be constructed utilizing a combination of natural stone, brick, concrete, and/or iron grating.
 - (2) Height. A *barbecue pit* shall not exceed a maximum of six (6) feet in height.

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- (3) Size. A *barbecue pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *barbecue pit* should not exceed a maximum size of eight (8) feet in length by three (3) feet in width.
- (f) Setback Requirements. A *barbecue pit* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *barbecue pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *barbecue pit* must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



- ❶: A MINIMUM AND MAXIMUM OF THREE (3) FEET IN LENGTH;
- ❷: A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET IN WIDTH;
- ❸: A MAXIMUM OF SIX (6) FEET;

(2) Boathouse.

- (a) Definition. A *boathouse* is a roofed structure affixed to the end of an adjoining *fixed pier*, with a main waterside opening, containing an operating boatlift, and which is built to house and protect a watercraft and boat related equipment.
- (b) Prerequisites. A *boathouse* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed a *fixed pier*.
- (c) Conditional Use Standards. *Boathouses* are used for storing boats that have a fuel efficiency rating greater than 95%; however, boathouses may also be used to store sailboats. *Boathouses* will not be used for storing any other type of items except boats and boat-related equipment. In addition, *Boathouses* shall not be used as a habitable dwelling structure, or shelter for domestic or wild animals. All *boathouses* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth

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decided by a structural engineer; however, a *boathouse* shall not be designed to prevent public access to an area of water. Accessories placed on the flat surface of a *boathouse* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(d) Elevation Zone. A *boathouse* shall be allowed in the following zones:

- (1) 438.0: Not Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Permitted.

(e) Construction Standards.

- (1) Building Materials. All *boathouse* constructed below the 437.0-foot mean sea level contour shall use only pilings and materials approved by the City of Rockwall and the City of Dallas. *Boathouses* shall be constructed utilizing composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with high-tech plastic materials*) -- *products equivalent to Trex brand are preferred* -- for decking, galvanized metal/iron/steel or aluminum (*with a minimum color rating of AAMA 2604*) for the support posts, all aforementioned materials and cedar or iron wood for the roof beams, and standing seam metal for the roof with a pre-finished color. Support posts may be wrapped in composite material. Water repellent sealants shall not be used to treat any cedar or ironwood used for roof beams. All fasteners binding materials together must be made out of stainless steel.
- (2) Height. A *boathouse* shall be a minimum of 16-feet and a maximum of 21-feet in height as measured from the top of the fixed pier's catwalk to the vertex of the *boathouse's* cupola; however, in no case should a *boathouse* exceed one (1) story in height.
- (3) Size. The footprint of the exterior sides of a *boathouse* will measure a minimum of eight (8) feet in width by 30-feet in length and a maximum of 12-feet in width and 30-feet in length. *Boathouses* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (*i.e. 435.5*).
- (4) Roof. A *boathouse* will have a hip roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] two (2) cupolas each with hip roofs at either end of the top of the main hip roof. Cupolas will be designed to allow updraft air and winds to vent outward, and shall measure three (3) feet by four (4) feet. All *boathouse* roofs shall be built with a minimum of a 2:1 roof pitch and will not have an overhang greater than 18-inches. *Boathouses* shall not incorporate a deck or platform.
- (5) Lighting. Interior lighting for a *boathouse* will be directed downward from the ceiling of the structure and at the stored watercraft. Exterior lighting for a *boathouse* will be directed downwards toward the fixed pier with light fixtures incorporated either into the roof's overhang or the structure's columns. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public.
- (6) Additional Construction Standards.
 - (a) Deck Ladder. A deck ladder is permitted to be constructed inside a *boathouse*.
 - (b) Storage Unit. A *boathouse* can incorporate one (1) storage unit measuring 72-inches in length by 20-inches in depth by 20-inches in height. Storage units shall be placed on the outer dockside, and shall only be used for storing boat-related equipment. The storage of fossil fuels and/or hazardous materials is prohibited.
 - (c) Boat or Watercraft Lift(s). A *boathouse* must incorporate either one (1) regular boat lift or two (2) personal watercraft boat lifts. All boat or watercraft lifts must be able to hoist a watercraft above the 438.0-foot mean sea level contour, and be maintained in good operating condition. All watercrafts must be stored under the roof of the *boathouse*.
 - (d) Pilings. The approved pilings used to support a *boathouse* must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
 - (e) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
 - (f) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue,

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or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(7) Location. All *boathouses* are required to be located in the water of the *Lake*. View corridor restrictions do not apply to *boathouses*; however, a *boathouse* should generally be located in line with the primary structure on the leasing property (i.e. generally centered on the lot). *Boathouses* shall not be designed to prevent or restrict public access to any portion of water within the *Lake*.

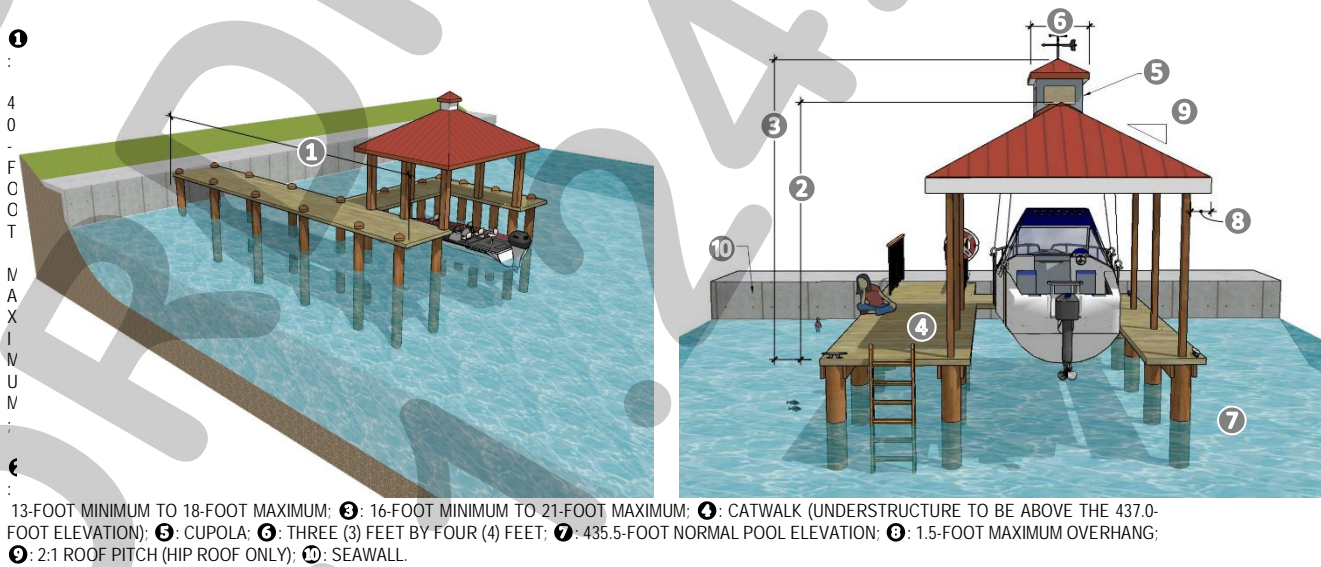
(f) Setback Requirements. A *boathouse* must adhere to the following setbacks:

- (1) Takeline Setback: 0-feet
- (2) Leased Side Yard Setback: 10-feet
- (3) Maximum Distance from Seawall: 40-feet

(g) Additional Requirements.

- (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *boathouse* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
- (2) Compliance with Applicable Codes. A *boathouse* must comply with all other applicable City of Rockwall codes.
- (3) Address. All *boathouses* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No *boathouse* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.



(3) Covered Patio.

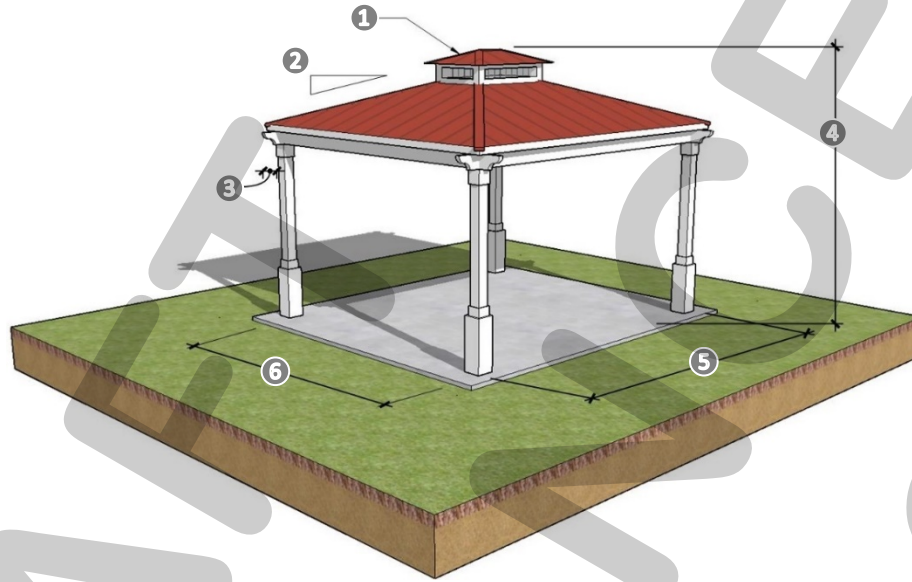
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- (a) Definition. A covered patio is a standalone structure that provides shade and/or rain coverage for a patio or deck. Covered patios have a solid roof.
- (b) Prerequisites. A covered patio may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a seawall along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A covered patio shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A covered patio shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.
- (e) Construction Standards.
- (1) Building Materials. A covered patio must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. The roof of the structure should generally match the color of the roof on the primary structure, and be constructed using clay tiles, standing seam metal, slate shingles, concrete shingles, or ceramic shingles. Canvas, cloth, or mesh attachments to the structure shall be prohibited.
 - (2) Height. A covered patio shall not exceed a maximum height of 15-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the mid-point of the pitched roof.
 - (3) Size. A covered patio shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.
 - (4) Roof. A covered patio will have a hip or gable roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] a clerestory built into the center of the main hip roof. Cupolas and clerestories will be designed to allow updraft air and winds to vent outward, and shall be proportional to the main roof. All covered patios should be built with a minimum of a 4:1 roof pitch. The roof shall not have an overhang greater than 18-inches.
 - (5) Location. A covered patio located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. Covered patios shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A covered patio must adhere to the following setbacks:
- (1) Takeline Setback: 6-Feet (*from the Concrete Cap of the Seawall*)
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a covered patio must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
 - (2) Compliance with Applicable Codes. A covered patio must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The covered patio shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

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❶: CUPOLA OR CLERESTORY; ❷: 4:1 MINIMUM ROOF PITCH; ❸: 18-INCHES MAXIMUM OVERHANG; ❹: 15-FEET MAXIMUM HEIGHT; ❺: 20-FEET MAXIMUM; ❻: 12-FEET MAXIMUM;

(4) Deck.

- (a) Definition. A *deck* is a roofless structure anchored to the ground that consists of planks running in a horizontal pattern and creating a flat surface area.
- (b) Prerequisites. A *deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *deck* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a *Seawall* has been constructed).
 - (3) 425.5: Not Permitted (see *Dock Deck* in Subsection 06.15(J)(5)).
- (d) Conditional Use Standards. A *deck* shall not incorporate walls or other none transparent structures to function as handrails or counter space.
- (e) Construction Standards.
 - (1) Building Materials. A *deck* must be constructed of composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Handrails incorporated into a *deck* in the *438.0 Elevation Zone* shall be made of wrought iron or decorative metal. Handrails are not permitted in the *435.5 Elevation Zone*.
 - (2) Height. A *deck* shall not exceed a maximum height of 24-inches above grade.
 - (3) Size. A *deck* shall not exceed a maximum area of 1,000 SF.
 - (4) Location. A *deck* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Decks* shall not be placed in the view clear zone of a neighbor's view corridor.
 - (5) Foundation. A *deck* shall be anchored into the ground using concrete posts and footings as a foundation appropriate for the load and size of the proposed *deck*.
- (f) Setback Requirements. A *deck* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet

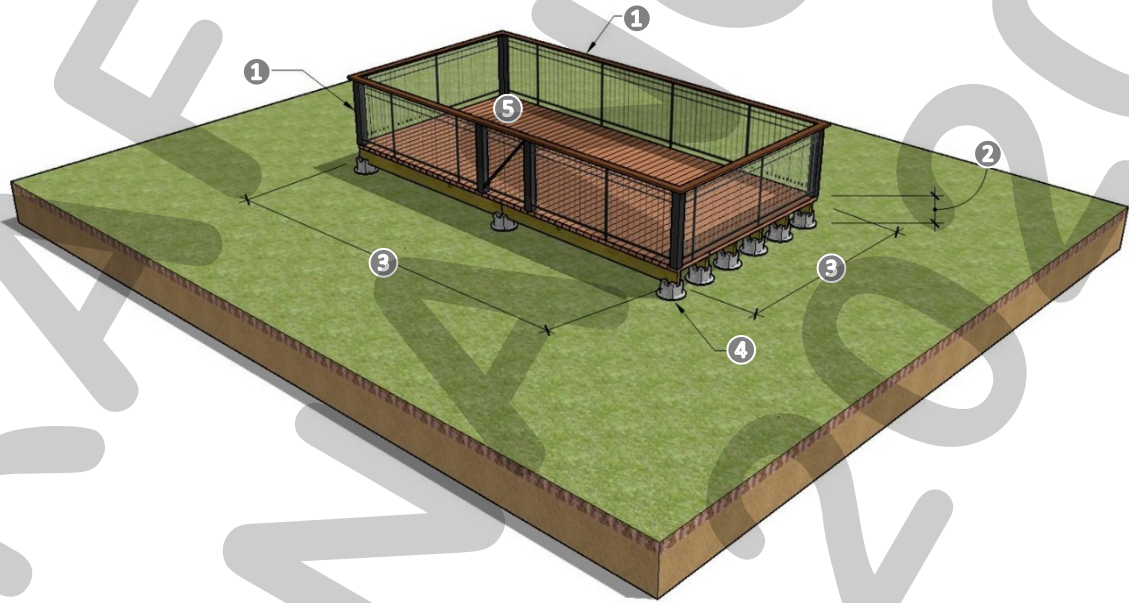
Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
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(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *deck* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *deck* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *deck* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



①: WROUGHT IRON OR DECORATIVE METAL; ②: MAXIMUM OF 24-INCHES OR TWO (2) FEET ABOVE GRADE; ③: (L) X (W) SHALL NOT BE GREATER THAN 1,000 SF; ④: CONCRETE POSTS AND FOOTINGS FOR FOUNDATION; ⑤: COMPOSITE DECKING MATERIALS.

(5) Dock Deck.

- (a) Definition. A *dock deck* is a flat floor surface area built over the water adjoining the end of a *fixed pier*.
- (b) Prerequisites. A *dock deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed *fixed pier*.
- (c) Elevation Zone. A *dock deck* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] dock deck lighting that is either embedded in or on a pole, [4] locker box, and/or [5] power source station. A table may also be placed on the edge or in the center of a *dock deck*. A watercraft is only allowed to moor at any portion of a *dock deck* for no more than 156-consecutive hours during any given week. All *dock decks* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *dock deck* shall not be designed to prevent public access to an area of water. *Dock decks* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories

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placed on the flat surface of a *dock deck* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(e) Construction Standards.

(1) Building Materials. The catwalk and/or *dock deck* and any benches built on these structures shall utilize only composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Any railings built on a *dock deck* shall be constructed of composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or steel tubing railings. *Dock decks* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Dock decks* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *dock decks* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.

(2) Height. No pole structures incorporated into a *dock deck* shall be higher than eight (8) feet above the flat floor surface with no more than four (4) pole structures allowed.

(3) Size. The footprint of the exterior sides of a *dock deck* adjoining a fixed pier shall be a minimum of eight (8) feet by ten (10) feet (i.e. 80 SF) and a maximum of 12-feet by 30-feet (i.e. 360 SF). *Dock decks* shall not extend more that 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).

(4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of a *dock deck* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed along the periphery of a *dock deck*.

(5) Additional Construction Standards.

(a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-feet mean sea level. Vertical rub rails are required on all concrete piers and pilings.

(b) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-feet mean sea level.

(c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(6) Location. View corridor restrictions do not apply to *dock decks*. *Dock decks* shall not be allowed on land.

(f) Setback Requirements. A *dock deck* must adhere to the following setbacks:

(1) Takeline Setback: 0-feet

(2) Leased Side Yard Setback: 10-feet

(3) Maximum Distance from Seawall: 40-feet

(g) Additional Requirements.

(1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *dock deck* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas,

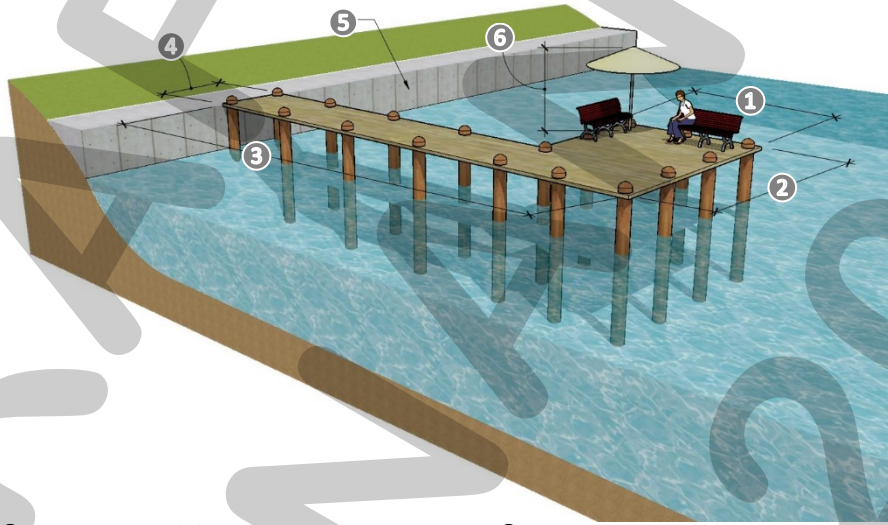
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US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

- (2) Compliance with Applicable Codes. A dock deck must comply with all other applicable City of Rockwall codes.
- (3) Address. All dock decks shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the Lake to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No dock deck shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.

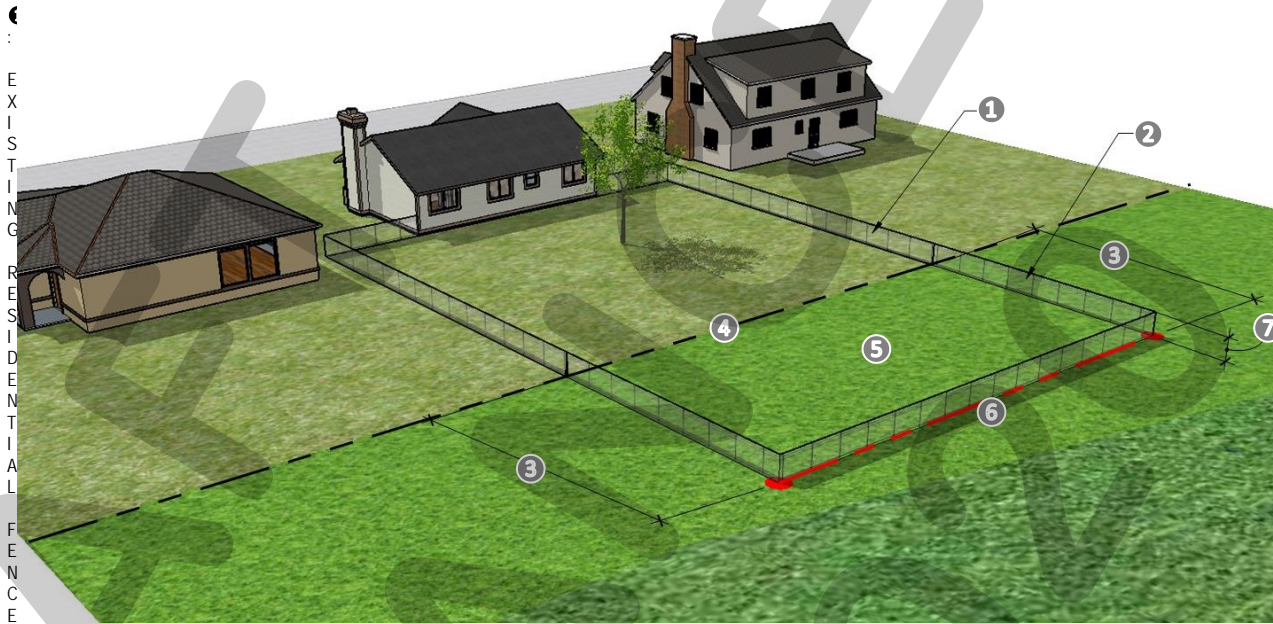


❶: MINIMUM OF TEN (10) FEET AND A MAXIMUM OF 30-FEET; ❷: MINIMUM OF EIGHT (8) FEET AND A MAXIMUM OF 12-FEET; ❸: 40-FOOT MAXIMUM; ❹: SIX (6) FOOT MAXIMUM; ❺: SEAWALL; ❻: EIGHT (8) FOOT MAXIMUM;

(6) Fence.

- (a) Definition. A fence is a barrier, railing, or other upright structure, enclosing a specific area to mark a boundary or control access.
- (b) Prerequisites. A fence may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A fence shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A fence shall only be allowed to enclose an area beginning at the *Takeline* corners (i.e. the rear property line corners of the property leasing the take area), extending 45-feet along the lease line, and connecting the two (2) points in a straight line (see example below).

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ON THE LEASING PROPERTY: ①: WROUGHT IRON OR BLACK TUBULAR STEEL FENCE; ②: MAXIMUM OF 45- FEET ALONG THE LEASE LINE OF THE TAKELINE; ③: REAR PROPERTY LINE/BEGINNING OF THE TAKELINE; ④: 438.0 ELEVATION ZONE; ⑤: THE STRAIGHT-LINE CONNECTION BETWEEN THE TWO (2), 45-FOOT POINTS; ⑥: MAXIMUM OF 48-INCHES OR FOUR (4) FEET.

(e) Construction Standards.

- (1) Building Materials. A fence shall *only* be constructed of wrought iron or black tubular steel.
- (2) Height. A fence shall not exceed a maximum height of 48-inches from grade.
- (3) Location. A fence shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A fence must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

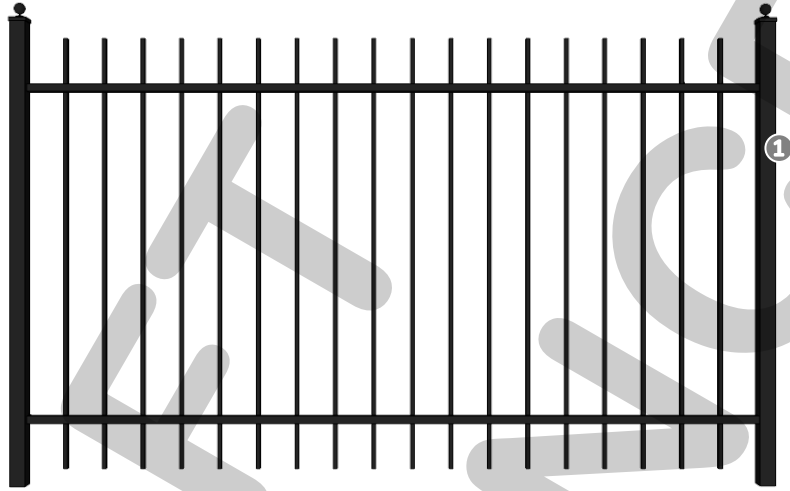
(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a fence must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A fence must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.

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①: FOUR (4) FOOT WROUGHT IRON FENCE

(7) Flagpole.

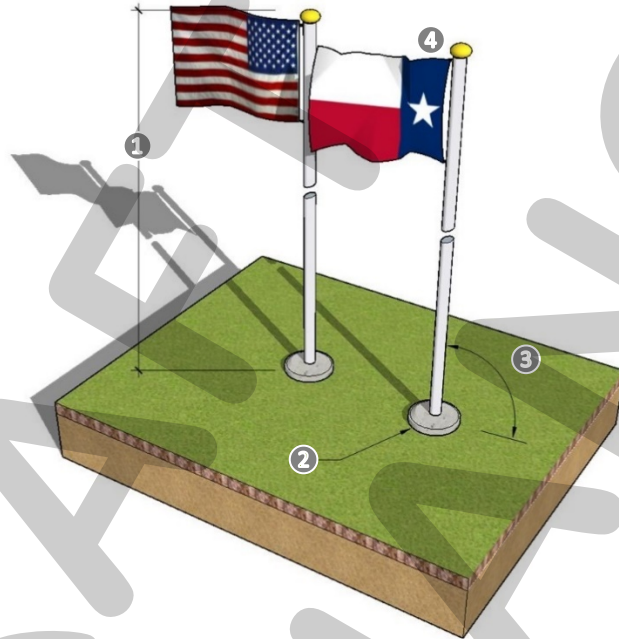
- (a) Definition. A *flagpole* is an upright pole or staff, constructed at a 90-degree angle to the finished grade, which is used to raise a flag.
- (b) Prerequisites. A *flagpole* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *flagpole* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A maximum of two (2) *flagpoles*, with one (1) flag on each pole shall be permitted within a lease area. The United States of America and State of Texas flags measuring a maximum of six (6) feet by four (4) feet will be the only flags permitted to be flown along the takeline. Lighting in association with a *flagpole* shall be prohibited.
- (e) Construction Standards.
 - (1) Building Materials. A *flagpole* shall *only* be constructed of either stainless steel or aluminum.
 - (2) Height. A *flagpole* shall not exceed a maximum height of 20-feet from grade.
 - (3) Size. At the ground base a *flagpole* shall measure a minimum size of five (5) inches and a maximum size of eight (8) inches.
 - (4) Location. A *flagpole* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Flagpoles* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *flagpole* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a *flagpole* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *flagpole* must comply with all other applicable City of Rockwall codes.

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- (3) Emergency Response. The *flagpole* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



①: MAXIMUM OF 20-FEET FROM GRADE; ②: AT THE BASE THE FLAGPOLE CAN BE A MINIMUM OF FIVE (5) INCHES AND A MAXIMUM OF EIGHT (8) INCHES; ③: MAINTAINED TO BE 90-DEGREES FROM GRADE; ④: FLAGPOLES ARE PERMITTED ONE (1) FLAG A MAXIMUM OF FOUR (4) FEET BY SIX (6) FEET;

(8) Fixed Pier.

- (a) Definition. A *fixed pier* is a structure with a catwalk that extends from the shoreline out into the body of water with the structure being used to moor and land watercraft.
- (b) Prerequisites. A *fixed pier* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, and has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *fixed pier* shall be allowed in the following zones:
- (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Each eligible property adjacent to the takeline will be permitted one (1) fixed pier with an adjoining dock deck and/or boathouse. *Fixed piers* can be designed to be in an 'I', 'T', 'L' or 'U' shape (see Subsection 06.15(J)(8)(h)). Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] cleats, [4] dock lighting, [5] locker box, and/or [6] power source station. A watercraft is only allowed to moor at any portion of a *fixed pier* for no more that 156-consecutive hours during any given week. All *fixed pier* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *fixed pier* shall not be designed to prevent public access to an area of water. *Fixed piers* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a catwalk of a *fixed pier* must be placed in an orderly manner that allows for the safe movement of people.
- (e) Construction Standards.

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- (1) **Building Materials.** The catwalk and any benches built on these structures shall utilize only composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Any railings built on a *fixed pier* shall be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or steel tubing railings. *Fixed piers* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Fixed piers* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *fixed piers* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.
- (2) **Height.** No pole structures incorporated into a *fixed pier* shall be higher than eight (8) feet above the flat floor surface with no more than two (2) pole structures allowed.
- (3) **Size.** The catwalk of a *fixed pier* will be a maximum of six (6) feet in width, as measured at a 90-degree angle to the main *fixed pier's* length, and will not enclose any portion of the water to allow the free movement of water underneath. *Fixed piers* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) **Lighting.** Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of the catwalk of a *fixed pier* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed at the end of a *fixed pier*.
- (5) **Additional Construction Standards.**
 - (a) **Pilings.** The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
 - (b) **Catwalks.** The catwalk of a *fixed pier* will be allowed within nine (9) feet of the normal pool elevation of 435.5-foot mean sea level. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
 - (c) **Safety Reflectors.** All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside end of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (6) **Location.** View corridor restrictions do not apply to *fixed piers*.
- (f) **Setback Requirements.** A *fixed pier* must adhere to the following setbacks:
 - (1) **Takeline Setback:** 0-feet
 - (2) **Leased Side Yard Setback:** 10-feet
 - (3) **Maximum Distance from Seawall:** 40-feet
- (g) **Additional Requirements.**
 - (1) **Dredging.** Dredging of the lake area is allowed for the berthing of a motorized boat into a *fixed pier* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials

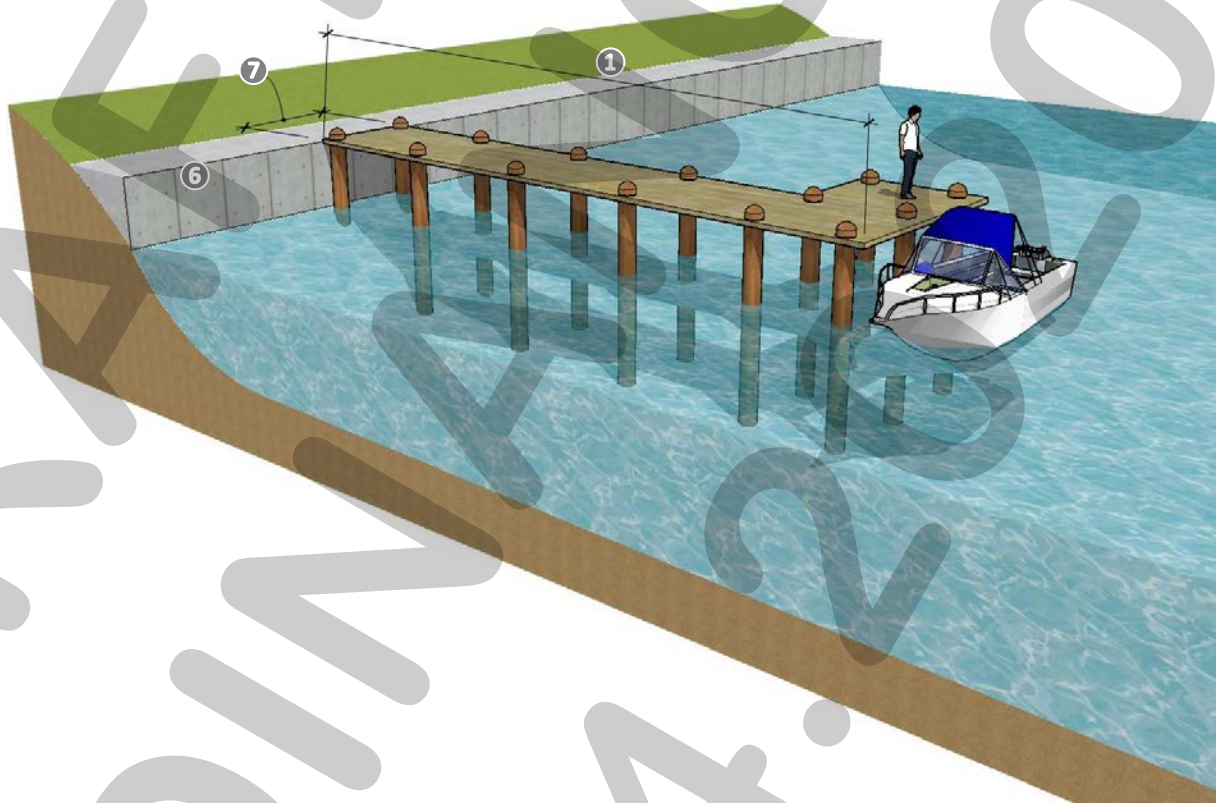
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must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

- (2) Compliance with Applicable Codes. A fixed pier must comply with all other applicable City of Rockwall codes.
- (3) Address. All fixed pier shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the Lake to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No fixed pier shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.



1: 40-FOOT MAXIMUM; 2: PIER IN AN 'I' SHAPE; 3: PIER IN A 'T' SHAPE; 4: PIER IN A 'L' SHAPE; 5: PIER IN A 'U' SHAPE; 6: SEAWALL; 7: SIX (6) FOOT MAXIMUM

(9) Fir
e
Pit.

(a) Limitation.

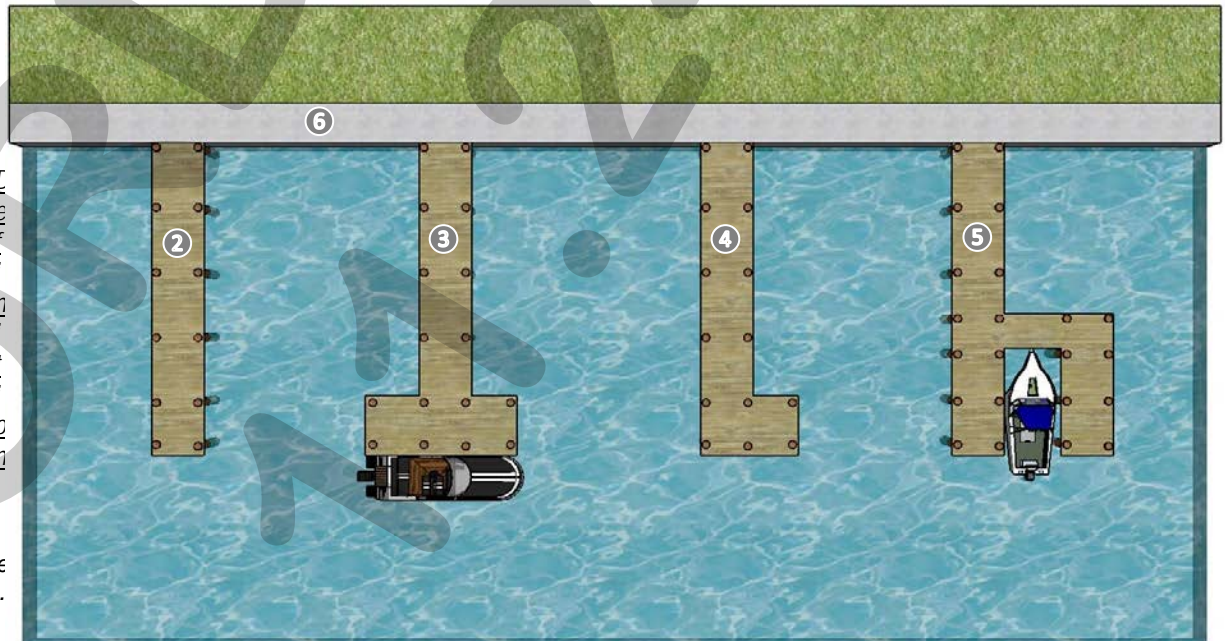


Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
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- A fire pit is a permanent fireplace that is dug into the ground or is in a freestanding structure in which a contained fire is made.
- (b) Prerequisites. A fire pit may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. A fire pit shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a Seawall has been constructed).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A fire pit can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (i.e. natural gas or propane).
- (e) Construction Standards.
- (1) Building Materials. The surround (i.e. the area used to contain the fire) for a fire pit must be constructed utilizing a combination of natural stone, brick, and/or concrete.
 - (2) Height. A fire pit shall not exceed a maximum of 36-inches in height.
 - (3) Size. A fire pit shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a fire pit should not exceed a maximum size of five (5) feet in length by five (5) feet in width.
- (f) Setback Requirements. A fire pit must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a fire pit must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
 - (2) Compliance with Applicable Codes. A fire pit must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



❶: NATURAL STONE, BRICK, AND/OR CONCRETE; ❷: MINIMUM SIZE OF THREE (3) FEET BY THREE (3) FEET AND A MAXIMUM SIZE OF FIVE (5) FEET BY FIVE (5) FEET; ❸: MAXIMUM HEIGHT OF 36-INCHES OR THREE (3) FEET.

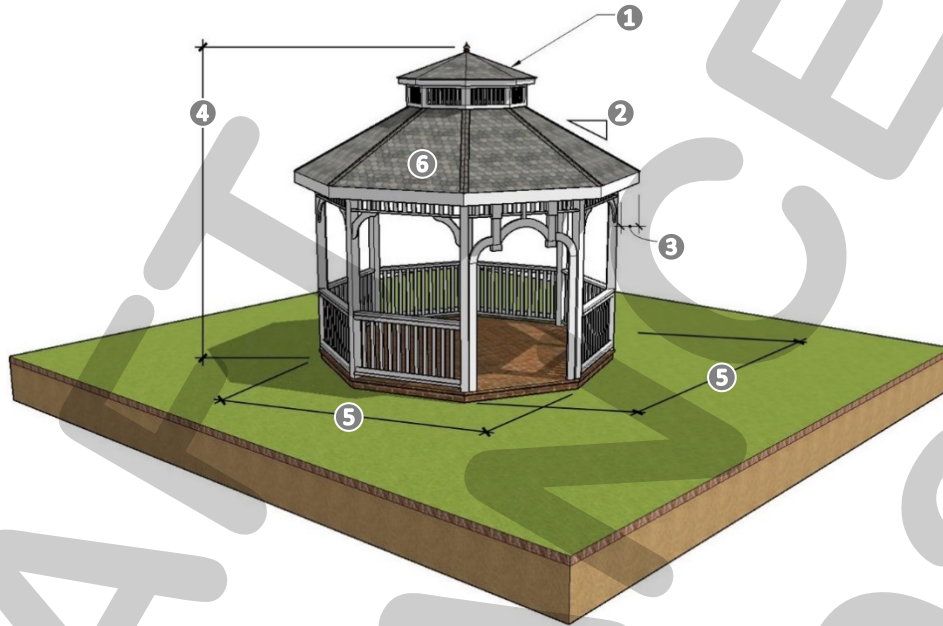
(10) Gazebo.

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**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
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- (a) Definition. A gazebo is a permanent stand-alone structure with a roof and trellis structure open on all sides with places for sitting.
- (b) Prerequisites. A gazebo may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A gazebo shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a Seawall has been constructed).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A gazebo shall not be used as a habitable dwelling structure, storage facility, deck, or shelter for domestic or wild animals.
- (e) Construction Standards.
- (1) Building Materials. A gazebo built in the 438.0 Elevation Zone must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. The side trellis of the gazebo may be built using wood; however, canvas, cloth, or mesh attachments to the structure shall be prohibited. A gazebo built in the 435.5 Elevation Zone shall only be built out of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. A gazebo will be constructed using steel reinforced concrete piers.
 - (2) Height. A gazebo shall not exceed a maximum height of 15-feet without a clerestory and 18-feet with a clerestory/cupola. The height of the gazebo shall be measured from grade to the vertex of the gazebo's main roof or clerestory/cupola roof. In either case a gazebo shall not be larger than one (1) story or incorporate a balcony.
 - (3) Size. A gazebo shall not exceed a maximum size of 12-feet by 12-feet or 144 SF.
 - (4) Roof. The roof of the gazebo shall be a hipped roof, gable roof, or hip and/or gable roof with or without a clerestory/cupola, and have a slope of 2:1. The roof shall not have an overhang greater than 18-inches. In addition, the roof of the gazebo can match the roof of the primary structure on the leasing property; otherwise, the roof shall be built out of a prefinished standing seam galvanized metal roof. If a clerestory/cupola is incorporated it shall be centered at the top of the main hip roof.
 - (5) Location. A gazebo located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Gazebos shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A gazebo must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a gazebo must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
 - (2) Compliance with Applicable Codes. A gazebo must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The gazebo shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

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1: CUPOLA OR CLERESTORY; 2: 2:1 MINIMUM ROOF PITCH; 3: 1.5-FOOT MAXIMUM OVERHANG; 4: 18-FOOT MAXIMUM HEIGHT WITH A CUPOLA OR CLERESTORY AND 15-FOOT WITHOUT A CUPOLA OR CLERESTORY; 5: 12-FOOT MAXIMUM; 6: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(11) Landing and Stairs.

- (a) Definition. A landing is the area of a floor near the top or bottom step of a stair. A stair is a set of steps leading from one floor of an area to another.
- (b) Prerequisites. A landing and stairs may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 or 425.5 Elevation Zones* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A landing and stairs shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a *Seawall* has been constructed).
 - (3) 425.5: Permitted (if a *Seawall* has been constructed).

NOTE: A landing and stairs located in the *425.5 Elevation Zone* is permitted beside the lake but not upon or over the lake.

- (d) Conditional Use Standards. A landing and stairs shall be allowed to be constructed in conjunction with a retaining wall if the retaining wall exceeds three (3) feet in height measured from the adjacent grade to the top of the wall.
- (e) Construction Standards.
 - (1) Building Materials. A landing and stairs shall be constructed of wrought iron or black tubular steel, natural stone, brick, and/or concrete.
 - (2) Height. A landing and stairs shall not exceed the height of the adjacent retaining wall.
 - (3) Size. A landing and stairs shall be limited to eight (8) feet by eight (8) feet measured at the top of the adjacent retaining wall and the staircase shall be parallel to the retaining wall with a maximum width of a six (6) foot projection from the wall.
 - (4) Location. A landing and stairs shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A landing and stairs must adhere to the following setbacks:

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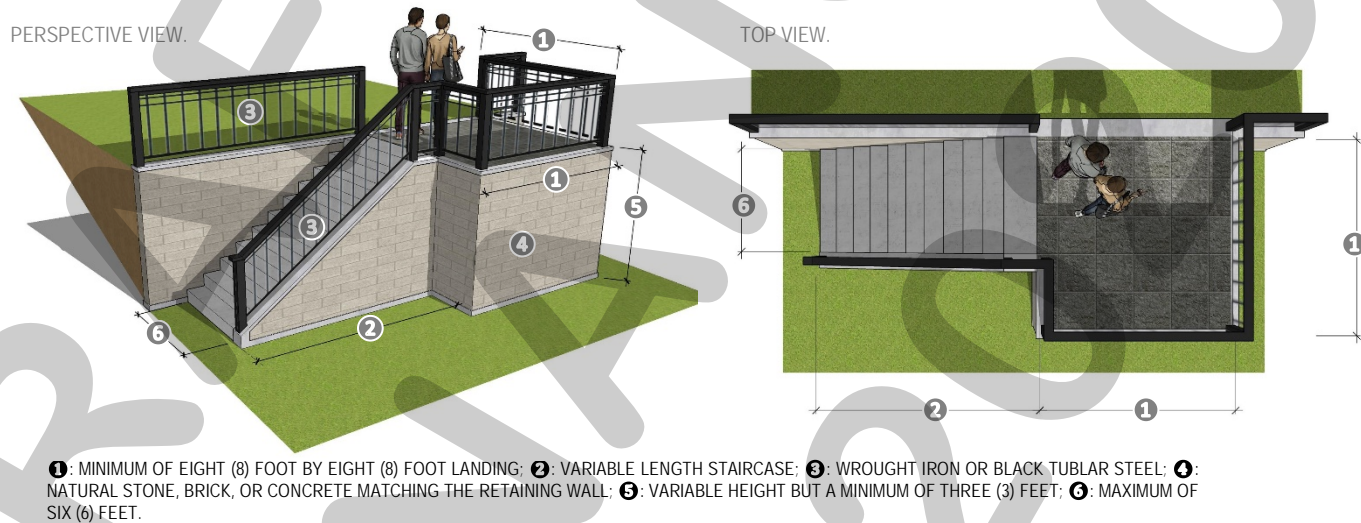
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- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 5-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *landing and stairs* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *landing and stairs* must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.



(12) Landscaping and Retaining Walls.

- (a) Definition. *Landscaping* is the minor modification or altering of the surrounding takeline area terrain and shoreline with trees, shrubs, ground cover, and native stone or interlocking retaining walls.
- (b) Prerequisites. *Landscaping and retaining walls* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. *Landscaping and retaining walls* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.

NOTE: Remedial *landscaping* in the 425.5 Zone is permitted when the intent is to maintain the integrity of the shoreline. This will require the approval of the Director of Parks and Recreation.

- (d) Conditional Use Standards. *Landscaping and retaining walls* shall compliment and be integrated into the existing woodlands, wetlands, and general aesthetic of the takeline area. *Landscaping* shall not consist of hedge or shrub rows, or any plantings that may restrict views or lead to the siltation and/or erosion of the shoreline. The use of pesticides, herbicides, fungicides, or preservatives is *strictly prohibited*. All landscaping must comply with the requirements of Article 08, Landscaping and Fence Standards, of the Unified Development Code (UDC). For information regarding planting or removing trees see Subsection (F)(4) above.

(e) Construction Standards.

- (1) Building Materials. *Retaining walls* shall be finished in native stone and will only be allowed in the 438.0 Elevation Zone and the 435.5 Elevation Zone. The use of mulch is prohibited in all zones with the exception

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of the 438.0 Elevation Zone. The use of railroad ties, treated wood, pea gravel -- *with the exception of using it as a base* --, and brick shall be prohibited.

- (2) Height. Retaining walls as part of landscaping will be limited to less than three (3) feet.
- (3) Location. Landscaping and retaining walls shall not hinder the view clear zone of an adjacent neighbor's view corridor. Landscaping shall not exceed six (6) feet in height in the view clear zone.

(f) Setback Requirements. Retaining walls must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 6-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of landscaping and retaining walls must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. Landscaping and retaining walls must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. Landscaping and retaining walls shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(13) Municipal Utilities.

(a) Definition. Municipal utilities represent all local utilities that consist of cable lines, pipelines, and wiring already existing and planned running through the take area used by both the local community and the region's communities to facilitate the distribution and collection of communications, water, electricity, natural gas, and waste byproducts.

(b) Elevation Zone. Municipal utilities shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted.
- (3) 425.5: Permitted.

(c) Conditional Use Standards. All municipal utilities' infrastructure is permitted within the take area. Municipal utilities shall be placed underground.

(d) Setback Requirements. Municipal utilities must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(e) Additional Requirements.

- (1) Compliance with Applicable Codes. Municipal utilities must comply with all other applicable City of Rockwall codes.

(14) Outdoor Lighting.

(a) Definition. Outdoor lighting is a structure or system of structures, fixtures, and/or devices used to provide artificial nighttime lighting over a defined broad area, on buildings and monuments, on docks for safety, and to emphasize landscaping but not directed to the detriment of the traveling public or surrounding residents in the light's path.

(b) Prerequisites. Outdoor lighting may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) Elevation Zone. Outdoor lighting shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Not Permitted.

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- (3) 425.5: Not Permitted.

NOTE: Catwalk lighting in the 425.5 Elevation Zone is the only permitted *outdoor lighting* allowed below the 438.0 Elevation Zone.

- (d) Conditional Use Standards. Systems and structures associated with *outdoor lighting* include artificial landscape lighting, dock lighting, monument lighting, and flood lights. Cobra and florescent light fixtures are *not* allowed on poled structures. All lights are to have shields which deflect light downward. The operation of search or spot lighting shall be prohibited.
- (e) Photometric Plan. A photometric plan describing compliance with the provisions of Article 07, Performance Standards, of the Unified Development Code (UDC) shall be submitted to the Director of Planning and Zoning or his/her designee prior to the issuance of a building permit for *outdoor lighting*. This plan shall be prepared by an appropriate lighting professional (e.g. *lighting engineer, architect, or other qualified lighting designer*). Upon installation of the lighting, the lighting professional shall provide a letter certifying that the lighting is installed in accordance with the approved photometric plan. The Director of Planning and Zoning, or his/her designee, shall have the authority to interpret and determine compliance with the photometric plan and the Unified Development Code (UDC). The Planning and Zoning Commission may grant an exception to the provisions of the Unified Development Code (UDC) when strict compliance with the requirements of this section will result in substantial financial hardship or inequity, so long as such exception is without harm to the public. Decisions of the Planning and Zoning Commission may be appealed to the City Council in accordance with the procedures outline in Section 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC).
- (f) Construction Standards.
- (1) Building Materials. *Outdoor lighting* poles must be constructed of aluminum or steel. Wood and/or concrete poles are prohibited.
- (2) Height. The height of *outdoor lighting* shall range from light fixtures embedded into a catwalk periphery to a 12-foot maximum for post structures on land for broader illumination. Poled outdoor light fixtures within the 438.0 Elevation Zone should be no taller than one-third (1/3) the distance to a neighboring property and should not exceed 12-feet.
- (3) Location. *Outdoor lighting* fixtures shall not be placed in the view clear zone of a neighbor's view corridor; however, view corridor restrictions do not apply for *outdoor lighting* associated with boathouses, dock decks, or fixed piers except as described for each use due to brightness and glare to surrounding neighbors and the traveling public.
- (g) Setback Requirements. *Outdoor lighting* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet
- (h) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of *outdoor lighting* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. *Outdoor lighting* must comply with all other applicable City of Rockwall codes.
- (3) Municipal or Government Installed Lighting. *Outdoor lighting* installed by and/or for a governmental agency for a public benefit that is used for activities for the public benefit (e.g. *rights-of-way, ball fields, airports, and/or parks*) shall be exempted from the requirements of this section; however, parking lot lighting for these activities shall meet the requirements of the Unified Development Code (UDC).

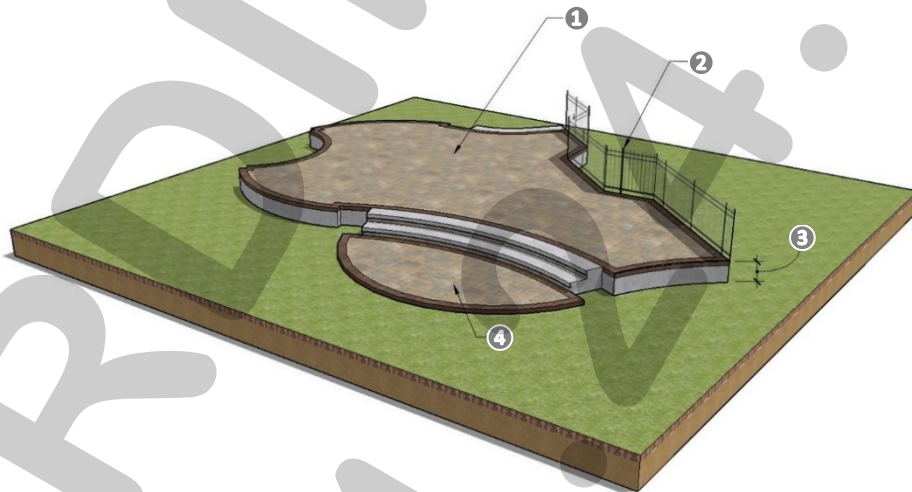
(15) Patio.

- (a) Definition. A *patio* is a paved, tiled, or rocked outdoor area that is generally used for dining or recreation.
- (b) Prerequisites. A *patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

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- (c) Elevation Zone. A *patio* shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *patio* shall not incorporate walls or other none transparent structures to function as handrails or counter space.
- (e) Construction Standards:
- (1) Building Materials. A *patio* must be constructed with natural stone. Handrails incorporated into a *patio* in the 438.0 Elevation Zone shall be made of wrought iron or decorative metal. Handrails are not permitted in the 435.5 Elevation Zone.
 - (2) Height. A *patio* shall not exceed a maximum height of 12-inches above grade.
 - (3) Size. A *patio* shall not exceed a maximum area of 1,000 SF.
 - (4) Location. *Patios* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *patio* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements:
- (1) Earth Work. Earth work required for the construction of a *patio* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *patio* must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The *patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



①: NATURAL STONE; ②: WROUGHT IRON OR BLACK TUBULAR STEEL; ③: MAXIMUM OF 12-INCHES OR ONE (1) FOOT; ④: PATIO AREA SHALL NOT BE GREATER THAN 1,000 SF

(16) Pergola.

- (a) Definition. A *pergola* is a stand along structure consisting of parallel columns supporting an open roof of girders and cross rafters.

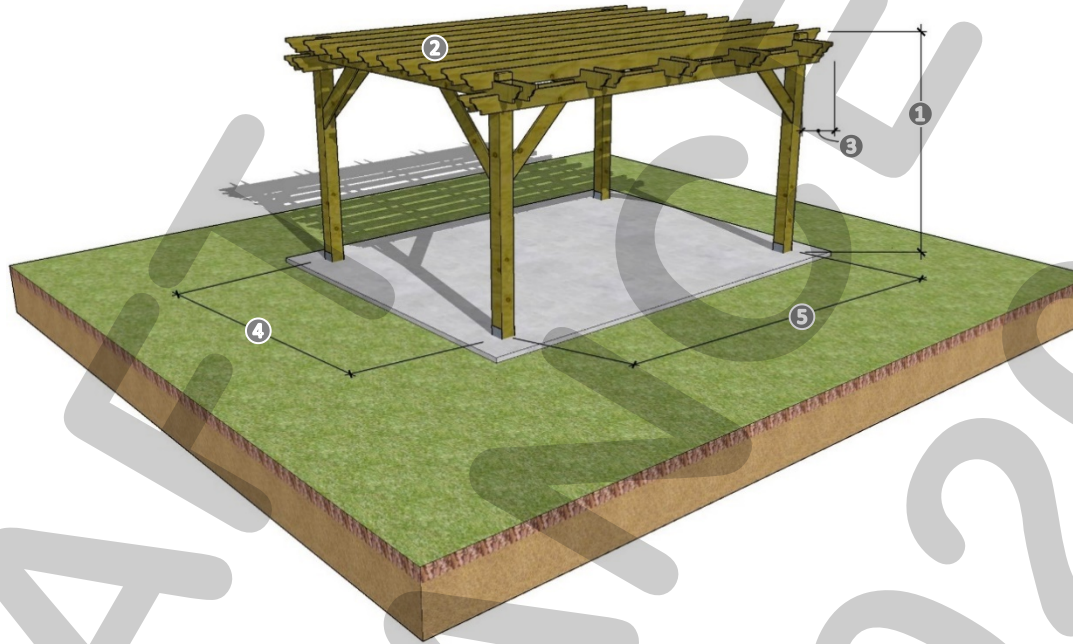
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- (b) Prerequisites. A pergola may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A pergola shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a Seawall has been constructed).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A pergola shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.
- (e) Construction Standards.
- (6) Building Materials. A pergola constructed within the 438.0 Elevation Zone must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. A pergola constructed within the 435.5 Elevation Zone must be constructed using composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or metal. Canvas, cloth, or mesh attachments to the structure shall be prohibited.
 - (7) Height. A pergola shall not exceed a maximum height of 12-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the highest point of the structure.
 - (8) Size. A pergola shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.
 - (9) Roof. The roof of the pergola shall not have an overhang greater than 18-inches.
 - (10) Location. A pergola located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Pergolas shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A pergola must adhere to the following setbacks:
- (3) Takeline Setback: 0-Feet
 - (4) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (4) Earth Work. Earth work required for the construction of a pergola must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (5) Compliance with Applicable Codes. A pergola must comply with all other applicable City of Rockwall codes.
 - (6) Emergency Response. The pergola shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

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❶: 12-FOOT MAXIMUM HEIGHT; ❷: OPEN ROOF OF GIRDERS OR RAFTERS; ❸: 1.5-FOOT MAXIMUM OVERHANG; ❹: 12-FOOT MAXIMUM; ❺: 20-FOOT MAXIMUM; ❻: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

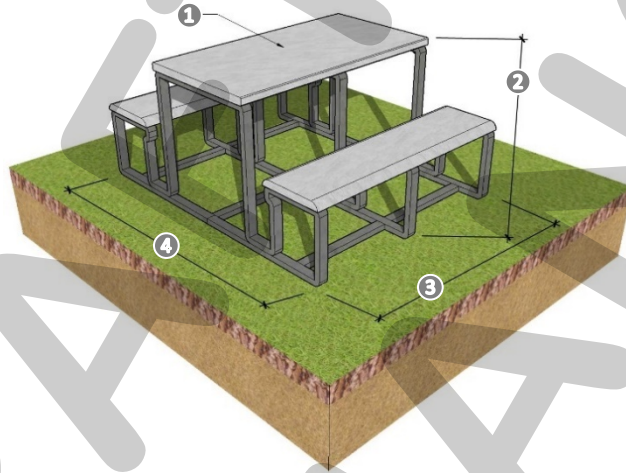
(17) Picnic Table.

- (a) Definition. A picnic table is a permanent outdoor structure used for outdoor dining.
- (b) Prerequisites. A picnic table may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. A picnic table shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A picnic table must be a minimum of 12-feet from a barbecue pit or fire pit, and shall be open to the air (i.e. no roof covering) unless combined with a covered patio or pergola. A picnic table shall be built on level terrain.
- (e) Construction Standards.
- (1) Building Materials. The surface area of the picnic table shall be constructed out of concrete, brick, or native stone. Picnic tables constructed with wood shall be prohibited.
 - (2) Height. A picnic table shall not exceed a maximum of 36-inches in height.
 - (3) Size. A picnic table shall not exceed a maximum size of ten (10) feet in length by eight (8) feet in width.
 - (4) Location. A picnic table located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Picnic tables shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A picnic table must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.

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- (1) Earth Work. Earth work required for the construction of a picnic table must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A picnic table must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The picnic table shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



❶: SURFACE OF THE PICNIC TABLE SHALL BE CONCRETE, BRICK, OR NATIVE STONE; ❷: NOT TO EXCEED 36-INCHES OR THREE (3) FEET; ❸: EIGHT (8) FOOT MAXIMUM; ❹: TEN (10) FOOT MAXIMUM.

(18) Private Play Structure.

- (a) Definition. A *private play structure* is a permanent outdoor structure used by children for play, which is installed by the private property owner.
- (b) Prerequisites. A *private play structure* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *private play structure* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *private play structure* can consist of arched ladders, vertical ladders, horizontal ladders, clatter bridge, timber structures, slides, fort and slide playset, climbers, play walls, play climbers, play pods, moon houses, jungle gyms, see-saws, merry-go-rounds, domes, rocket riders, tire swings, buoy balls, monkey bars, drums, chin-up bars, trampoline and rock walls; however, sandboxes and/or sand play areas shall not be permitted.
- (e) Construction Standards.
 - (1) Building Materials. A *private play structure* shall be built out of aluminum, galvanized steel, rubber, and/or water-resistant wood; however, railroad ties and treated lumber are prohibited. The exterior color of a *private play structure* should blend and incorporate the same hues and tones of the surrounding landscaping.
 - (2) Height. A *private play structure* shall not exceed a maximum of eight (8) feet in height.
 - (3) Size. All *private play structures* will be situated in a collected area that is a maximum of 1,000 SF in area.
 - (4) Location. *Private play structures* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *private play structures* must adhere to the following setbacks:

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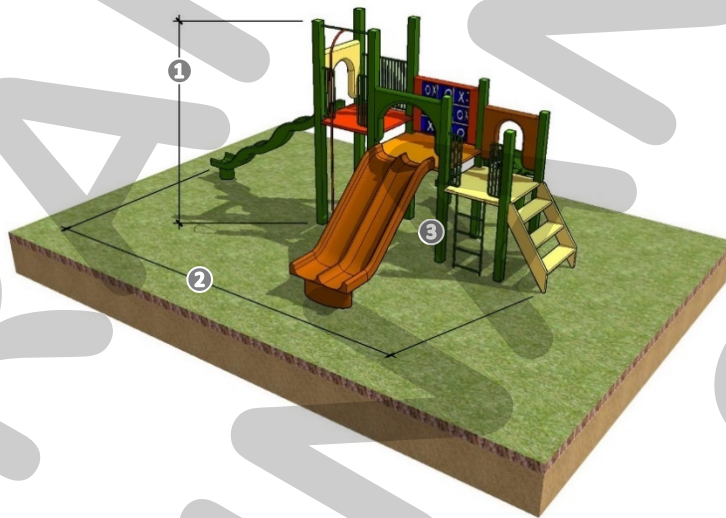
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- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *private play structures* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private play structure* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *private play structure* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



❶: MAXIMUM OF EIGHT (8) FEET IN HEIGHT; ❷: TOTAL SQUARE FOOTAGE SHALL NOT EXCEED A MAXIMUM OF 1,000 SF; ❸: EXTERIOR COLOR SHOULD BLEND WITH THE SURROUNDING LANDSCAPING.

(19) Private Utilities.

- (a) Definition. *Private utilities* are a system of underground cable line, pipelines, and wiring installed by the leasing property owner to maintain and operate improvements in the take area.
- (b) Prerequisites. *Private utilities* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. *Private utilities* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. *Private utilities* are required to be buried in accordance with Chapter 38, *Subdivisions*, of the City of Rockwall's Municipal Code of Ordinances. No overhead private utility lines are permitted in the lease area. *Private utilities* containing natural gas, propane, gasoline, oil, diesel, or similar types of compounds shall not be permitted within the lease area. No part of any *On-Site Sanitary Sewer System* (OSSF) or any other private wastewater system or appurtenances shall be permitted within the lease area.
- (e) Construction Standards.
 - (1) Building Materials. *Private utilities* shall only be constructed out of materials permitted by the City's Engineering Department.

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- (2) Location. Private utilities within 20-feet of the normal pool elevation shoreline (i.e. 435.5) shall be built to handle load factors associated with emergency and service vehicles. Private utilities containing electricity and communication lines built into structures over the water shall not be allowed below the 436.5-foot mean sea level elevation.
- (f) Setback Requirements. Private utilities must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 0-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of private utilities must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A private utility must comply with all other applicable City of Rockwall codes.
 - (3) Damage to the System. Any damage or destruction to any private utility by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.
- (20) Private Walkways.
- (a) Definition. Private walkways can be a single path or a network of paths installed by the leasing property owner in the takeline area.
 - (b) Prerequisites. Private walkways may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.
 - (c) Elevation Zone. Private walkways shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a Seawall has been constructed).
 - (3) 425.5: Not Permitted.
 - (d) Conditional Use Standards. Private walkways with steps are permitted (see *Landing and Stairs* in Subsection 06.15(J)(11)).
 - (e) Construction Standards.
 - (1) Building Materials. Private walkways shall be constructed using native stone, brick and/or rectangle pavers; however, private walks shall not consist of loose stone, gravel, sand, asphalt, or concrete.
 - (2) Height. Private walkways shall be flush with the surrounding grade, or work within the gradient present of the surrounding grade.
 - (3) Size. Private walkways shall be no greater than 48-inches in width.
 - (4) Location. Private walkways may encroach into an existing easement or right-of-way, encroach into an identified future easement or right-of-way, or encroach into an identified or set aside access path, provided that the property owner or sublease is responsible for repair and/or replacement of the walks in the event they are damaged or removed by the City or other public entity as a result of the necessary use of, or work within or around, said easements. An existing and future easement running through a lease property will be allowed to substitute for the 12-foot wide primary access right-of-way path provided it is 12-foot wide, suitable for access, and will connect to adjacent access paths.
 - (f) Setback Requirements. Private walkways must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 10-Feet
 - (g) Additional Requirements.

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- (1) Earth Work. Earth work required for the construction of *private walkways* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private walkway* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private walkway* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(21) Seawall.

- (a) Definition. A *seawall* is an engineered concrete or steel structure at the water's edge that is typically designed to curb shoreline erosion where it is installed.
- (b) Prerequisites. A *seawall* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *seawall* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.

NOTE: Seawalls are only permitted along the shoreline.

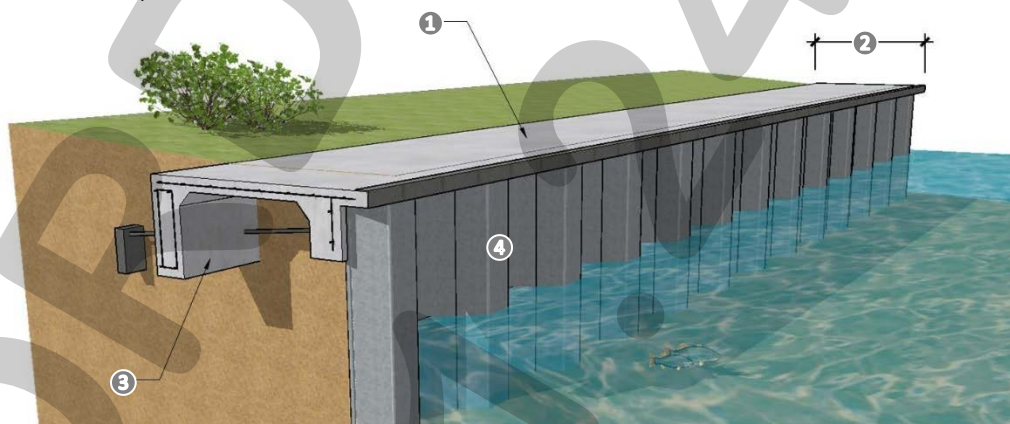
(d) Construction Standards.

- (1) Concrete Cap. A six (6) foot wide concrete cap must be constructed along the entire length of the erosion control structure. In order to allow the backfill material to properly settle, the construction of the concrete cap may be delayed for several weeks/months after the construction of the erosion control structure; however, in no case should the construction of the concrete cap be delayed for a time period exceeding one (1) year from the date of construction of the erosion control structure.

(e) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *seawalls* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *seawall* must comply with all other applicable City of Rockwall codes.

(f) Visual Representation.



1: CONCRETE WALKWAY; 2: SIX (6) FOOT MINIMUM; 3: 24-INCH BY TEN (10) INCH BEAM WITH #3 REBAR ON 18-INCH CENTERS; 4: RETAINING WALL.

(22) Sprinkler/Irrigation System.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (h) Definition. A sprinkler/irrigation system is an underground irrigation network used to water and maintain trees, shrubs, grounds, and the foundations of improvements.
- (i) Prerequisites. A sprinkler/irrigation system may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (j) Elevation Zone. A sprinkler/irrigation system shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.

Note: The prohibition of sprinkler/irrigation systems in the 425.5 Elevation Zone does not include the pumps or lines necessary to pump raw water, when a property owner has been granted permission to do so from the City of Dallas.

- (k) Conditional Use Standards. A sprinkler/irrigation system must be connected to the leasing property owner's existing water supply source with approved backflow prevention devices.
- (l) Construction Standards.
 - (1) Building Materials. A sprinkler/irrigation system shall only be constructed utilizing Schedule 40 PVC pipe.
 - (2) Height. The heads of a sprinkler/irrigation system used for shrubs shall extend no higher than three (3) feet from the average base of the surrounding terrain within a three (3) foot radius of the head.
 - (3) Location. A sprinkler/irrigation system shall be allowed up to one (1) foot of the normal pool elevation shoreline (i.e. 435.5) provided no part of the system could potentially result in lake siltation erosion.
- (m) Setback Requirements. A sprinkler/irrigation system must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 0-Feet
- (n) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a sprinkler/irrigation system must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
 - (2) Compliance with Applicable Codes. A sprinkler/irrigation system must comply with all other applicable City of Rockwall codes.
 - (3) Damage to the System. Any damage or destruction to any part of a sprinkler/irrigation system by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

Exhibit 'B'

Section 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards, of Article 05, Development Standards, of the Unified Development Code (UDC)

LAND USE ¹	CONDITIONAL USE REFERENCE SEE SUBSECTION 06.15(U)	PRE-REQUISITES L: SUBLEASE; S: SEAWALL; FP: FIXED PIER	ELEVATION ZONES			MINIMUM SIZE (FEET OR SQUARE FEET)	MAXIMUM SIZE (FEET, INCHES, OR SQUARE FEET)	MINIMUM HEIGHT (FEET OR INCHES)	MAXIMUM HEIGHT (FEET)	SIDE YARD SETBACK (FEET)	BUILDING MATERIALS NS: NATURAL STONE B: BRICK C: CONCRETE CM: COMPOSITE MATERIALS GM: GALVANIZED METAL IR: IRON SS: STAINLESS STEEL S: STEEL M: METAL A: ALUMINUM CW: CEDAR RW: REDWOOD IW: IRONWOOD SSM: STANDING SEAM METAL WR: WROUGHT IRON R: RUBBER
			438.0 P: PERMITTED X: NOT PERMITTED	435.5	425.5						
BARBECUE PIT	(1)	L	P	X	X	3' x 3'	8' x 3'	0'	6'	6'	NS, B, C, AND IR
BOAT HOUSE ^{2, 4, 5, & 15}	(2)	L, S, & FP	X	X	P	8' x 30'	12' x 30'	16'	21'	10'	CM FOR CATWALK AND DECKING; GM, IR, S, OR A FOR THE SUPPORTS ³ ; CM, GM, IR, S, A, CW, IW, OR RW FOR ROOF BEAMS; AND SSM FOR THE ROOF
COVERED PATIO ^{5 & 15}	(3)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	15' ^{6 & 7}	20'	CW, IW, & RW IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE; SSM FOR THE ROOF
DECK ^{5 & 18}	(4)	L & S ¹⁶	P	P	X	0'	1,000 SF	2' OR 24"	1'	20'	CM FOR THE DECKING, C FOOTINGS FOR FOUNDATION, AND WR FOR FENCING/RAILING
DOCK DECK ^{2 & 5}	(5)	L, S, & FP	X	X	P	8' x 10'	12' x 30'	0'	8' ⁸	10'	CM
FENCE	(6)	L	P	X	X	0'	45'	4'	4'	0'	WR
FLAGPOLE ^{5 & 9}	(7)	L & S ¹⁶	P	P	X	5" BASE	8" BASE	0'	20'	6'	SS OR A
FIXED PIER ^{2 & 5}	(8)	L & S	X	X	P	0'	6' x 40'	0'	8' ¹⁰	10'	CM FOR CATWALK AND DECKING; CM OR S FOR RAILINGS
FIRE PIT	(9)	L & S ¹⁶	P	X	X	3' x 3'	5' x 5'	0'	3'	6'	NS, B, AND C
GAZEBO ^{5 & 15}	(10)	L & S ¹⁶	P	P	X	0'	12' x 12'	0'	15'/18' ^{7 & 11}	20'	CW, RW, IW, CM, OR M IN THE 438.0 ELEVATION ZONE; AND CM OR M IN THE 435.5 ELEVATION ZONE
LANDING AND STAIRS	(11)	L & S ¹⁷	P	P	P	0'	8' x 8' x 6'	3'	SAME AS RETAINING WALL	5'	NS, B, AND C FOR THE STAIRS; WR OR BLACK S FOR THE RAILINGS AND/OR FENCE
PATIO ^{5 & 18}	(15)	L	P	P	X	0'	1,000 SF	0'	1'	20'	NS FOR THE DECK AREA AND WR FOR RAILINGS
PERGOLA ⁵	(16)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	12' ⁷	20'	CW, RW, IW, OR CM IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE
PICNIC TABLE	(17)	L	P	P	X	0'	8' x 10'	0'	3' OR 36"	6'	NS, B, AND C
PRIVATE PLAY STRUCTURE	(18)	L	P	X	X	0 SF	1,000 SF	0'	8'	20'	A, GM, R, CW, RW, AND IW
PRIVATE WALKWAYS	(20)	L & S ¹⁶	P	P	X	0'	48" WIDE	0'	FLUSH WITH GRADE	10'	NS, B, AND RECTANGULAR PAVERS
LANDSCAPING AND RETAINING WALLS ^{12 & 13}	(22)	L	P	P	X	NOTES:					
MUNICIPAL UTILITIES	(13)	NONE	P	P	P	1: FOR ALL LAND USES CHECK SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT FOR ADDITIONAL REQUIREMENTS AND RESTRICTIONS.					
OUTDOOR LIGHTING	(14)	L	P	X	X	2: BOATHOUSES, FIXED PIERS, DOCK DECKS, OR ANY COMBINATION OF THESE STRUCTURES MAY NOT EXTEND MORE THAN 40-FEET INTO THE WATER FROM THE 435.5 ELEVATION CONTOUR.					
PRIVATE UTILITIES	(19)	L	P	P	X	3: REQUIRES A HIP ROOF, A MINIMUM OF 2:1 ROOF PITCH, WITH ONE (1) CUPOLA (3' x 4') IN THE MIDDLE OF THE ROOF OR TWO (2) CUPOLAS (3' x 4') AT EACH END OF THE ROOF.					
SEAWALL	(21)	L	X	X	P	4: SUPPORT POSTS MAY BE WRAPPED IN A COMPOSITE MATERIAL.					
SPRINKLER/ IRRIGATION SYSTEM ¹⁴	(22)	L	P	P	X	5: THE STRUCTURE SHALL BE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE ON THE LEASING PROPERTY IF LOCATED IN THE 435.5 OR 425.5 ELEVATION ZONES (IF PERMITTED IN THE ZONE).					
						6: REQUIRES A HIP OR GABLE ROOF WITH A CUPOLA OR CLERESTORY AND A MINIMUM ROOF PITCH OF 4:1.					
						7: SHALL NOT EXCEED ONE (1) STORY OR BE USED AS A ROOF TOP DECK.					
						8: EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN					

FOUR (4) POLE STRUCTURES ALLOWED.
⁹: A MAXIMUM OF TWO (2) FLAG POLES ARE PERMITTED AND ONLY THE UNITED STATES OF AMERICA AND TEXAS FLAGS ARE TO BE FLOWN.
¹⁰: EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN TWO (2) POLE STRUCTURES ALLOWED.
¹¹: REQUIRES A HIP OR GABEL ROOF OR A HIP AND/OR GABEL ROOF, WITH A MINIMUM ROOF PITCH OF 2:1, AND THAT IS A MAXIMUM OF 15-FEET WITHOUT A CLERESTORY OR CUPOLA OR 18-FEET WITH A CLERESTORY OR CUPOLA.

Exhibit 'B'

*Section 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards, of
Article 05, Development Standards, of the
Unified Development Code (UDC)*

- 12: REMEDIAL LANDSCAPING ALLOWED IN THE 425.5 ELEVATION ZONE WITH THE INTENT TO MAINTAIN THE INTEGRITY OF THE SHORELINE.
- 13: RETAINING WALLS THAT ARE A PART OF LANDSCAPING ARE LIMITED TO LESS THAN THREE (3) FEET IN HEIGHT.
- 14: HEADS SHOULD EXTEND NO HIGHER THAN THREE (3) FEET FROM THE AVREAGE BASE OF THE SURROUND TERRIAN WITHIN A THREE (3) FOOT RADIUS OF THE HEAD.
- 15: ROOF OVERHANGS SHALL NOT EXCEED 18-INCHES.
- 16: A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 ELEVATION ZONE.
- 17: A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 OR 425.5 ELEVATION ZONES.
- 18: HANDRAILS ARE PROBITED IN THE 435.5 ELEVATION ZONE.

DRAFT
ORDINANCE
17.24.2020

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: Z2020-048
PROJECT NAME: SUP for Residential Infill at 701 N. TL Townsend
SITE ADDRESS/LOCATIONS: 701 N. TL Townsend Drive

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	11/20/2020	Approved w/ Comments

11/20/2020: I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email Hlee@rockwall.com.

M.3 For reference, include the case number (Z2020-048) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that {1} consists of five (5) or more lots, {2} that is 90% or more developed, and {3} that has been in existence for more than ten (10) years. In this case, the subject property is located adjacent to the Harris Subdivision, which was established on June 4, 1960, and consists of 8 lots, and is 100% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... (and) all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision." Conformance to this requirement will be evaluated by staff and acted upon by the Planning and Zoning Commission and City Council.

M.6 Please review the attached Draft Ordinance prior to the November 24, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than December 1, 2020. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 1, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 8, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on November 24, 2020.

I.8 The projected City Council meeting dates for this case will be December 21, 2020 (1st Reading) and January 4, 2021 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Needs Review

11/18/2020: M - Update the floodplain cross-section elevations with the attached updates.

M - Property will need to replat.

M - Label driveway spacing. Minimum spacing allowed is 50'.

- M - Must show the floodplain boundary on the grading plan.
- M - Must meet erosion hazard setback requirements from creek. No structures within erosion hazard setback.
- M- No fill or excavation in floodplain.
- M - Must show the proposed connection for water and sewer services.
- M-If you cut the road for water and/or sewer service full concrete panels will be replaced.

The following items are for your information for the building permit or engineering if required.

General Items:

- I - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- I - 10' Utility Easement required along all street ROW.
- I - No fences in or crossing any easements.

Drainage Items:

- I - Must have detention for developments in the Squabble Creek Basin.
- I - Will need to update the flood study for the site if touching the floodplain boundary.
- M - Finish floor to be 2.0 ft above the highest adjacent floodplain water surface elevation for the lot. (Min FF 538.25)
- M - Must show the floodplain boundary on the grading plan.
- M - Must meet erosion hazard setback requirements from creek. No structures within erosion hazard setback.
- M- No fill or excavation in flood plain

Water and Wastewater Items:

- M - Must show the proposed connection for water and sewer services.
- I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)
- M-If you cut the road for water and/or sewer service full concrete panels will be replaced

Roadway Paving Items:

- I - Required 10' utility easement required along all street frontage.
- M - Min 50' spacing for driveway from driveway to south. May need variance if trying to keep out floodplain to prevent flood study.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	11/16/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/06/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/17/2020	Approved w/ Comments

11/17/2020: Address will be 701 N. TL Townsend Dr, Rockwall, TX 75087*.

Make sure address is prominently displayed on structure and at the driveway so emergency services can easily find the location.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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11/16/2020: No comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 701 N. T.L. TOWNSEND DRIVE

Subdivision RICHARD HARRIS SUBDIVISION #5 Lot 1 Block A

General Location BETWEEN 619 RENFRO & 703 N. TL TOWNSEND

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF-7

Current Use VACANT

Proposed Zoning SF-7

Proposed Use RESIDENTIAL

Acreage 0.2342

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Brenda Kennedy

Applicant Brenda Kennedy

Contact Person Brenda Kennedy

Contact Person Brenda Kennedy

Address 1630 Shores Blvd

Address 1630 Shores Blvd

City, State & Zip Rockwall 75087

City, State & Zip ROCKWALL 75087

Phone 214-384-3234

Phone 214-384-3234

E-Mail brenda.kennedy@ebby.com

E-Mail brenda.kennedy@ebby.com

NOTARY VERIFICATION [REQUIRED]

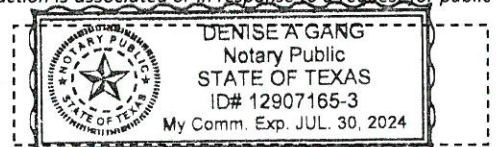
Before me, the undersigned authority, on this day personally appeared Brenda Kennedy [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 30th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 30th day of October, 2020


Owner's Signature _____

Notary Public in and for the State of Texas _____



My Commission Expires July 30, 2024

0 20 40 80 120 160 Feet

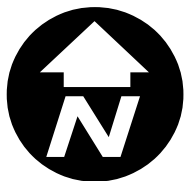
Z2020-048- SUP FOR 701 N. TL TOWNSEND DRIVE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

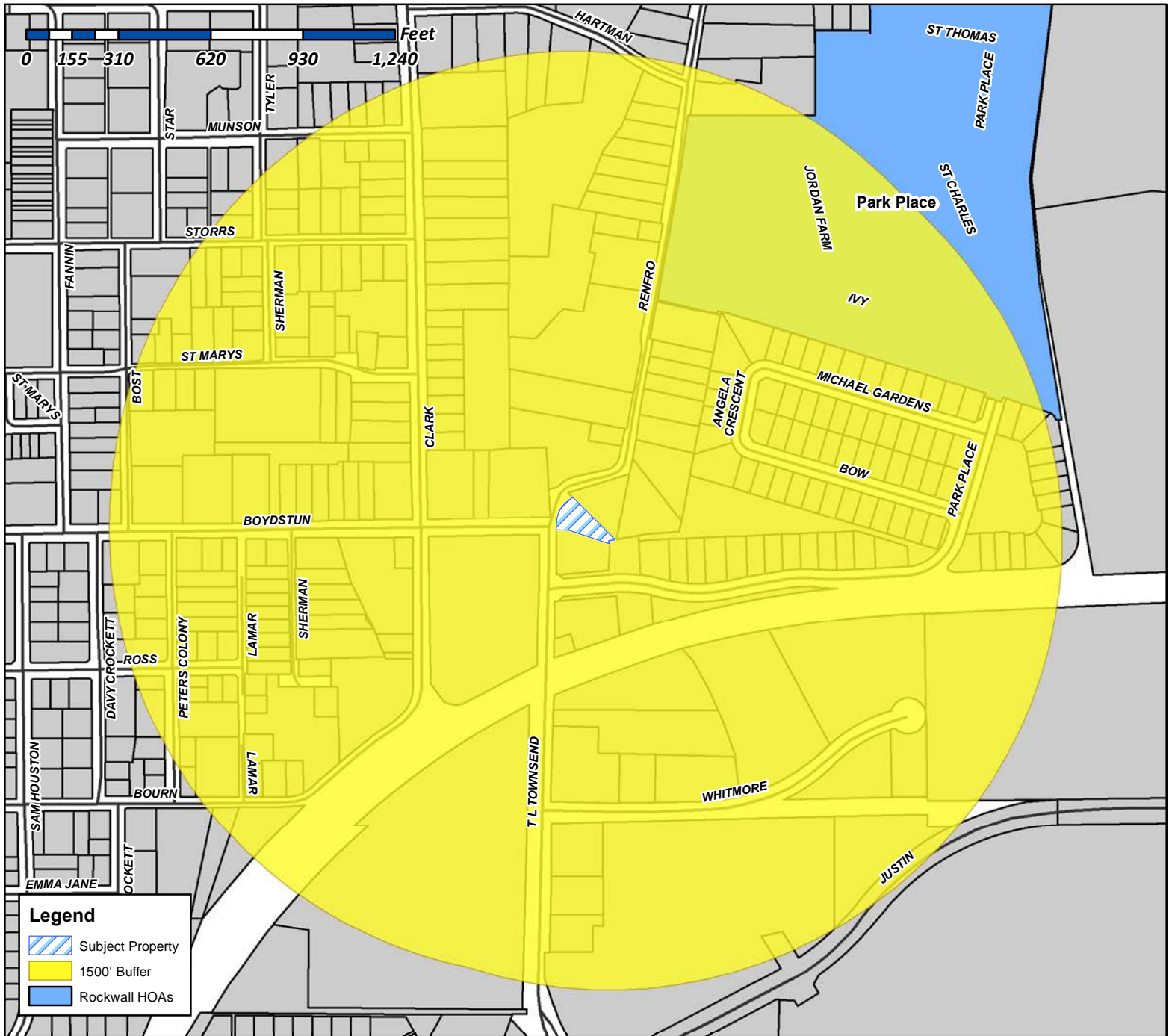




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive



Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745

Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, November 18, 2020 2:30 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (11.12.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-048 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

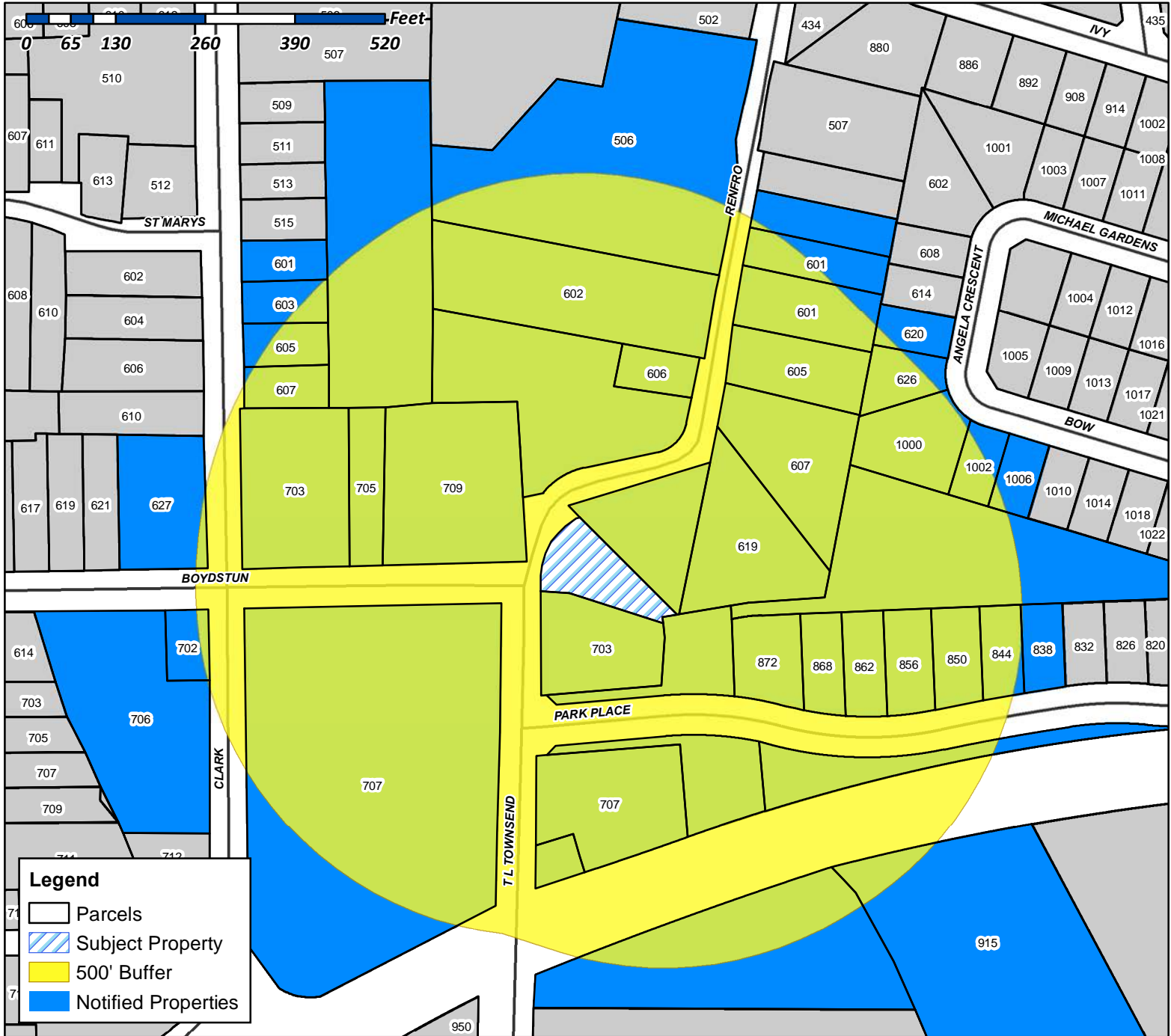
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City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

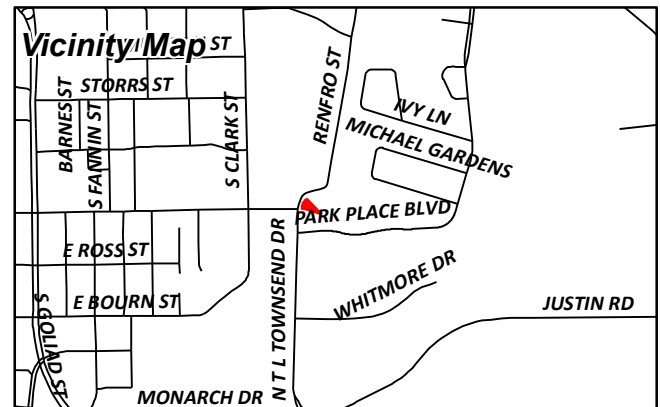
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Legend

- Parcels
- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive



Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745

KENNEDY BRENDA K
1630 SHORES BLVD
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A
1000 BOW ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
1002 BOW ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
1006 BOW ST
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

HARRIS RICHARD & JUDY
210 GLENN AVE
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A
4 MANOR CT
HEATH, TX 75032

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY
5505 RANGER DR
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
601 RENFRO ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

RIVERA SARA ELIA
603S CLARK ST
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D
605 RENFRO ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
606 RENFRO ST
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA
607 MOUNTCASTLE DR
ROCKWALL, TX 75087

HARRINGTON DEBORAH
607 RENFRO ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
620 ANGELA CRESCENT
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA
626 ANGELA CRESCENT
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND
VICTORIA NGOC TRAN-KNOWLES
627 EAST BOYDSTUN AVENUE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
627 SORITA CIR
HEATH, TX 75032

HARSTROM STUART & SUSAN
675 DANIELLE CT
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
702 S CLARK ST
ROCKWALL, TX 75087

HARRIS RICHARD & JUDY
703 TOWNSEND DR
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
% DOUGLAS A KAUFMANN
706 S CLARK ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT COMPANY
707 TOWNSEND
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
707 S CLARK
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

COX GERALD GLEN & ROSALBA
815 T L TOWNSEND SUITE 101
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
838 PARK PLACE BLVD
ROCKWALL, TX 75087

HARSTROM STUART & SUSAN
844 PARK PLACE BLVD
ROCKWALL, TX 75087

HUSSONG BRETT AND LAUREN
850 PARK PLACE BLVD
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY
856 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
862 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
868 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
872 PARK PLACE BLVD
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
880 IVY LANE
ROCKWALL, TX 75087

COUNTY OF ROCKWALL
915 WHITMORE
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-048: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-048: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

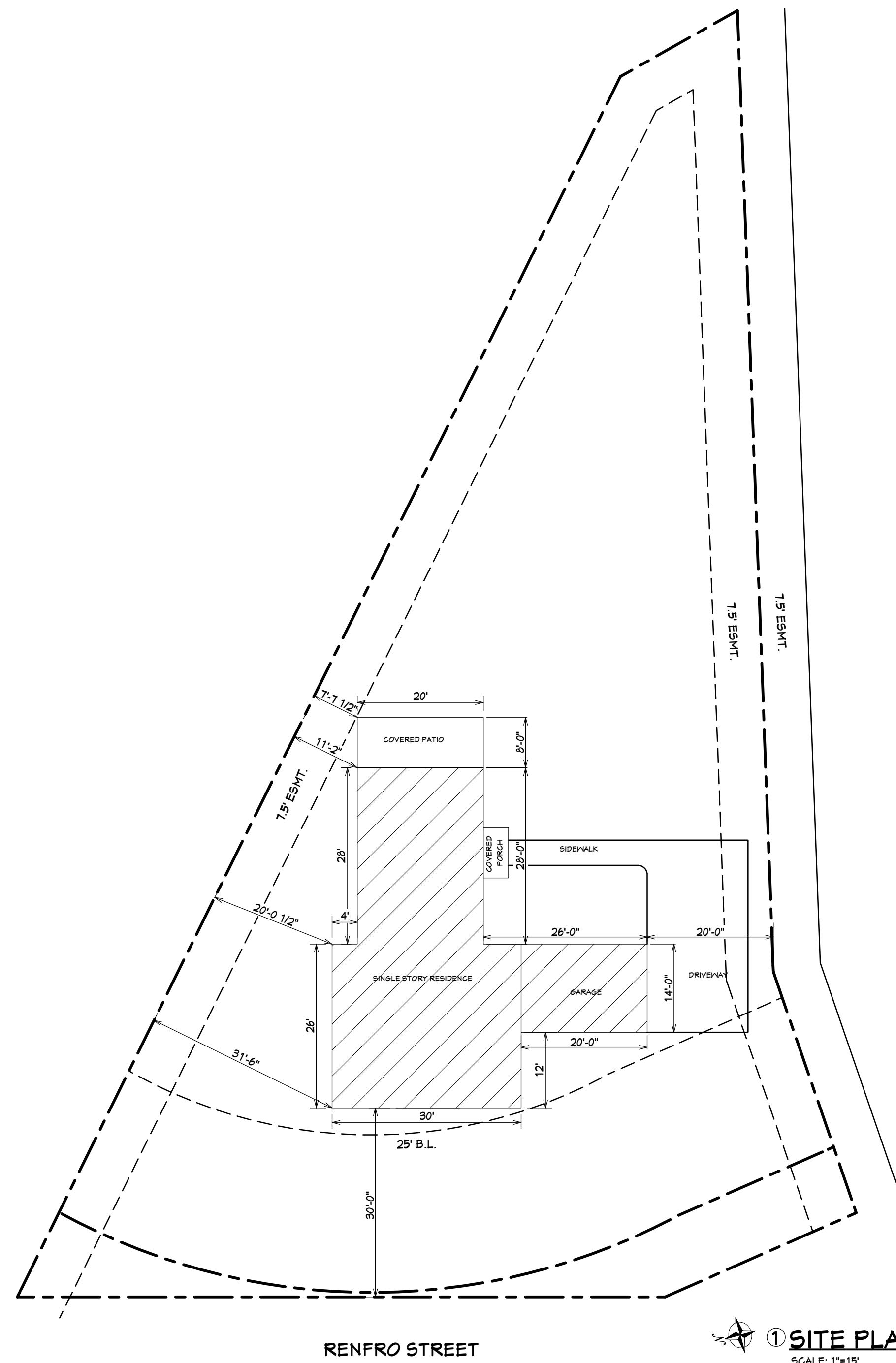
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

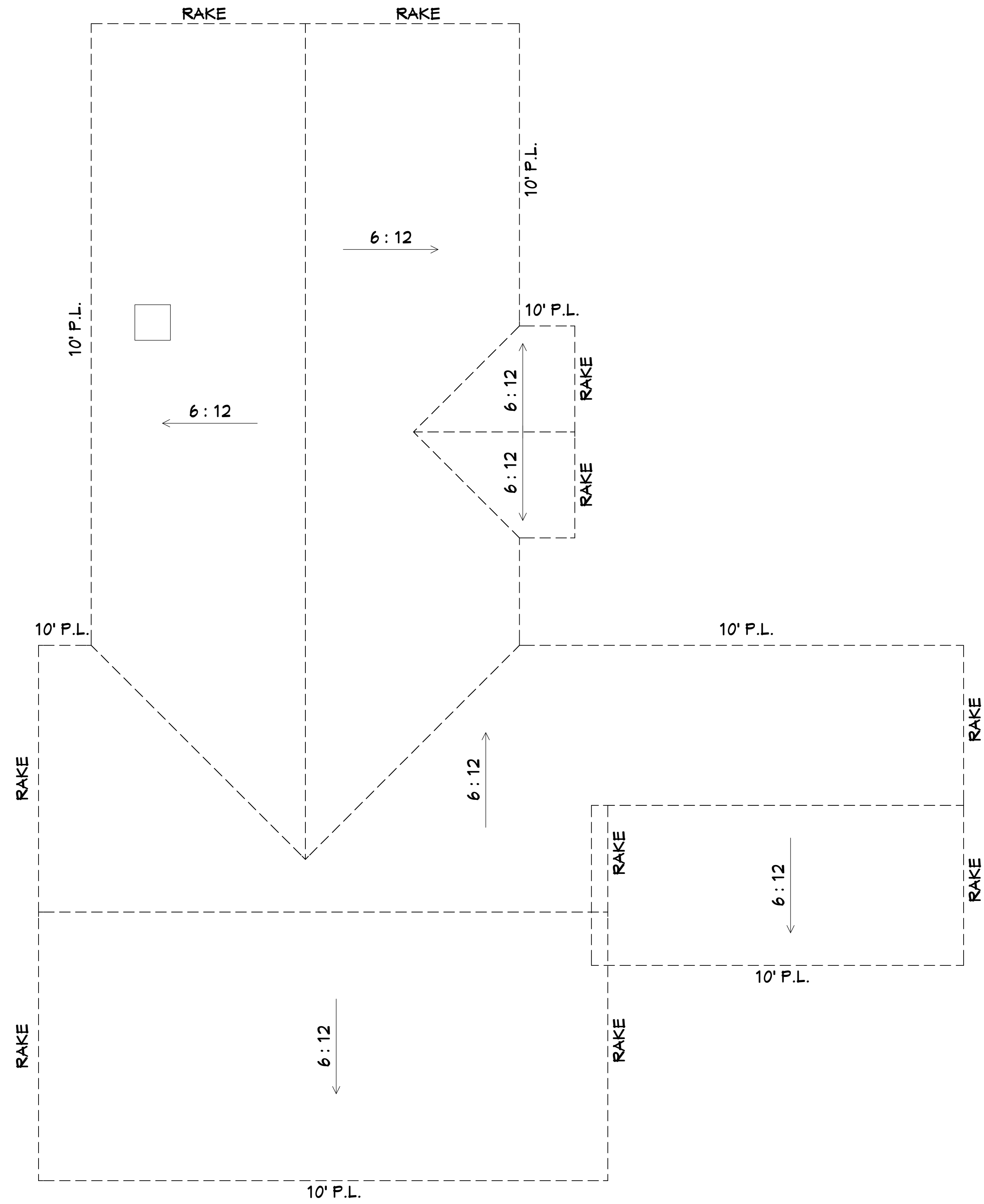
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



RENFRO STREET

① SITE PLAN
SCALE: 1"=15'

- NOTE:
1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZIGN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
 2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.
 3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS



② ROOF PLAN
SCALE: 1/4"=1'

PLANS FOR:
BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE:
SITE PLAN / ROOF PLAN

SHANNON NEWSOM MARK NEWSOM
CADAZIGN
3704 CR 2523
ROYSE CITY, TEXAS 75118
469-938-9863
DRAWN BY:

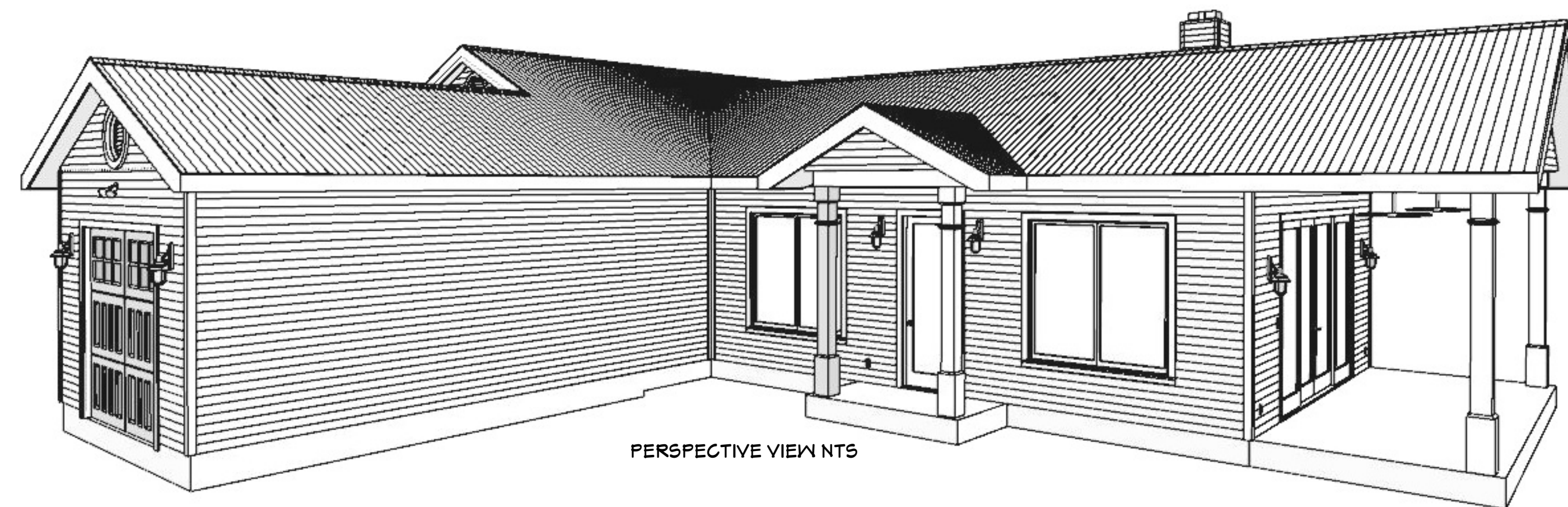
DATE:
4/15/2020

SCALE:
AS SHOWN

SHEET:

A-2

KENNEDY RESIDENCE: BRENDA KENNEDY



GENERAL NOTES:

1. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
2. DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
4. CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTORS PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
5. ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.
6. CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVER EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
7. CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
8. DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
9. SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
10. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

CONTRACTOR NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2 x 4 U.N.O.
2. ALL INTERIOR WALLS SHALL BE 2 x 4 U.N.O.
3. ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
4. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
5. SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
6. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
7. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
8. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

Layout Page Table

Label	Title
A-1	COVER PAGE
A-2	SITE PLAN AND ROOF PLAN
A-3	ELEVATIONS
A-4	FLOOR PLAN / ELECTRICAL PLAN

PLANS FOR:
BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE: COVER PAGE

SHANNON NEWSOM MARK NEWSOM
CADAZIGN
3704 CR 2522
ROYSE CITY, TEXAS 75118
469-558-9863

DRAWN BY:

DATE:
4/15/2020

SCALE:
AS SHOWN

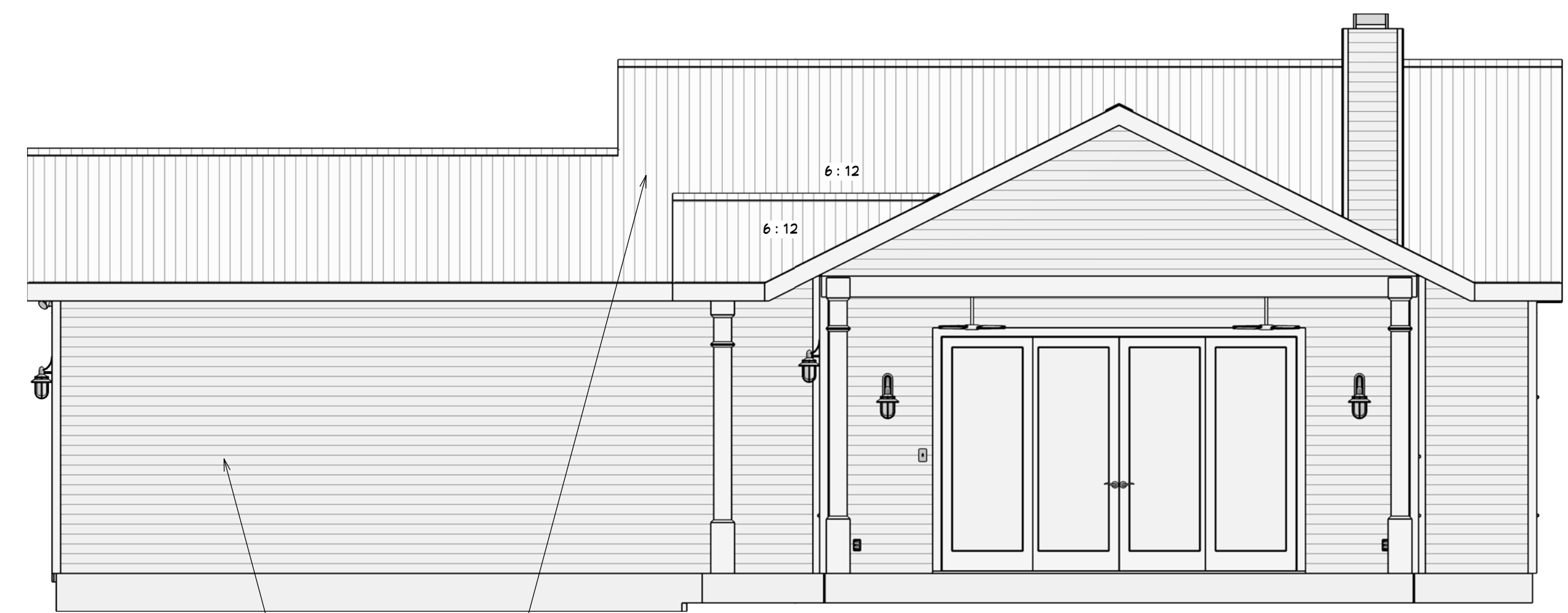
SHEET:

A-1



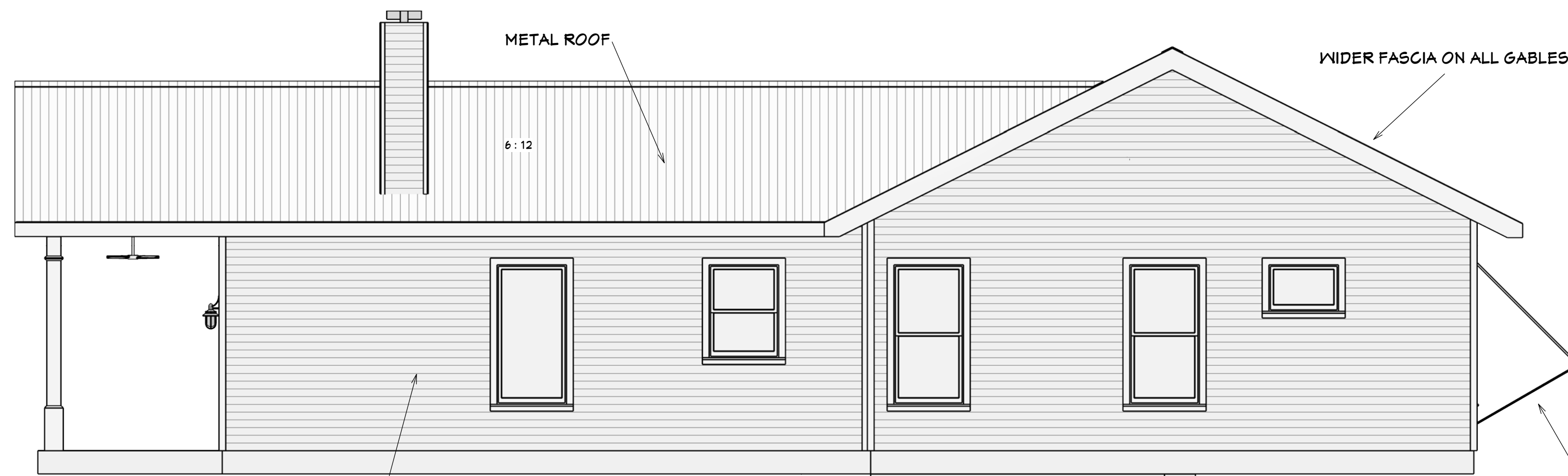
ALL SHUTTERS TO BE HINGED AT TOP AS SHOWN
 PAINTED SIDING
 METAL ROOF

1 FRONT ELEVATION
 SCALE: 1/4"=1'



PAINTED SIDING
 METAL ROOF

2 REAR ELEVATION
 SCALE: 1/4"=1'



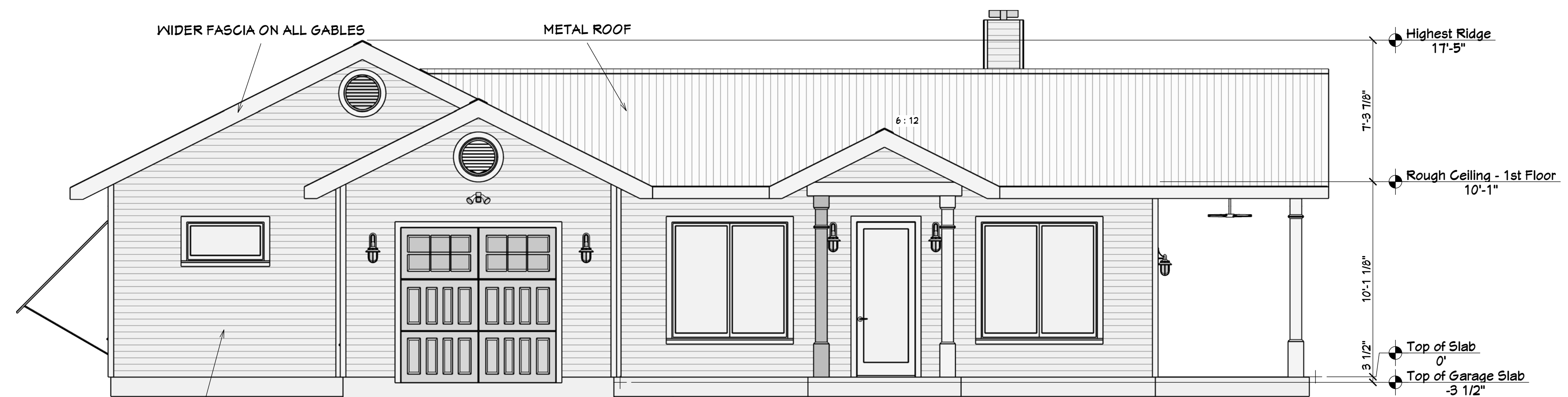
PAINTED SIDING

METAL ROOF

WIDER FASCIA ON ALL GABLES

3 LEFT ELEVATION
 SCALE: 1/4"=1'

ALL SHUTTERS TO BE HINGED AT TOP AS SHOWN



PAINTED SIDING

WIDER FASCIA ON ALL GABLES

METAL ROOF

4 RIGHT ELEVATION
 SCALE: 1/4"=1'

PLANS FOR:
 BRENDA KENNEDY
 RENFRO STREET
 ROCKWALL, TEXAS 75087

TITLE: ELEVATIONS

SHANNON NEWSOM MARK NEWSOM
CADAZIGN
 3704 CR 2522
 ROYSE CITY, TEXAS 75118
 469-558-9863

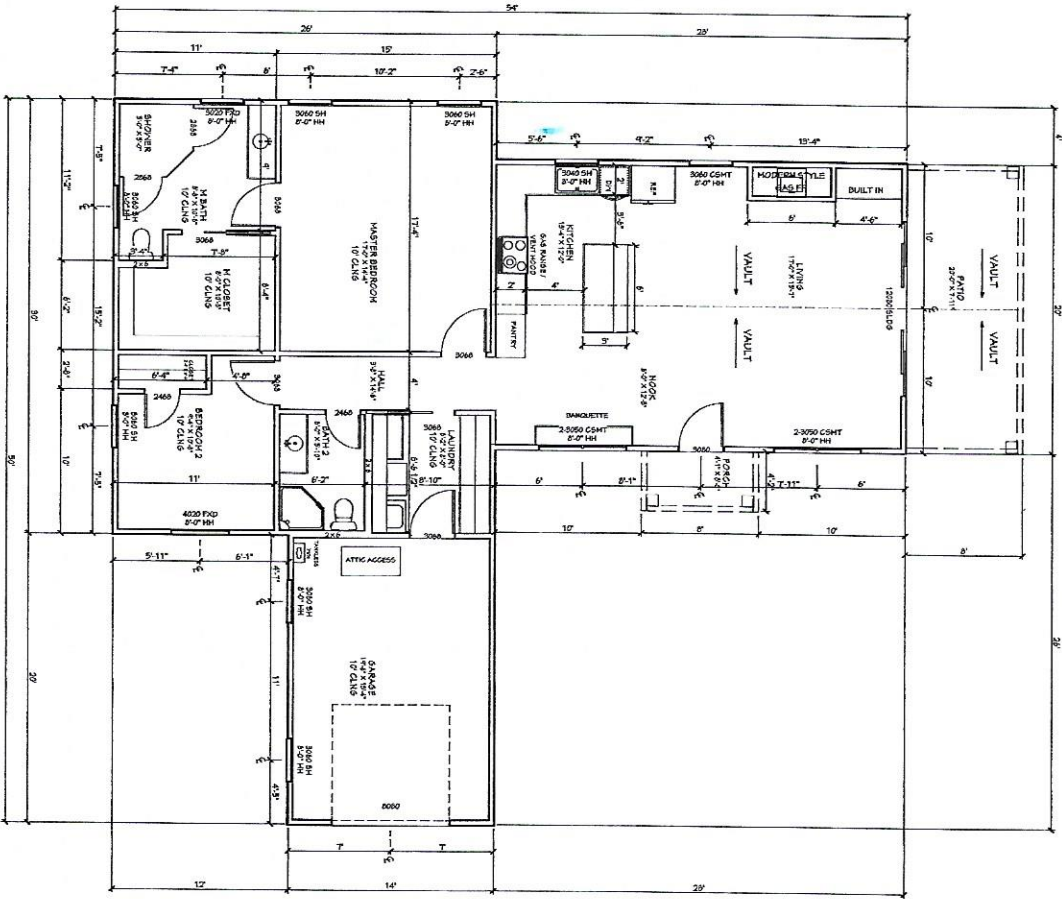
DRAWN BY:

DATE:
 4/15/2020

SCALE:
 AS SHOWN

SHEET:

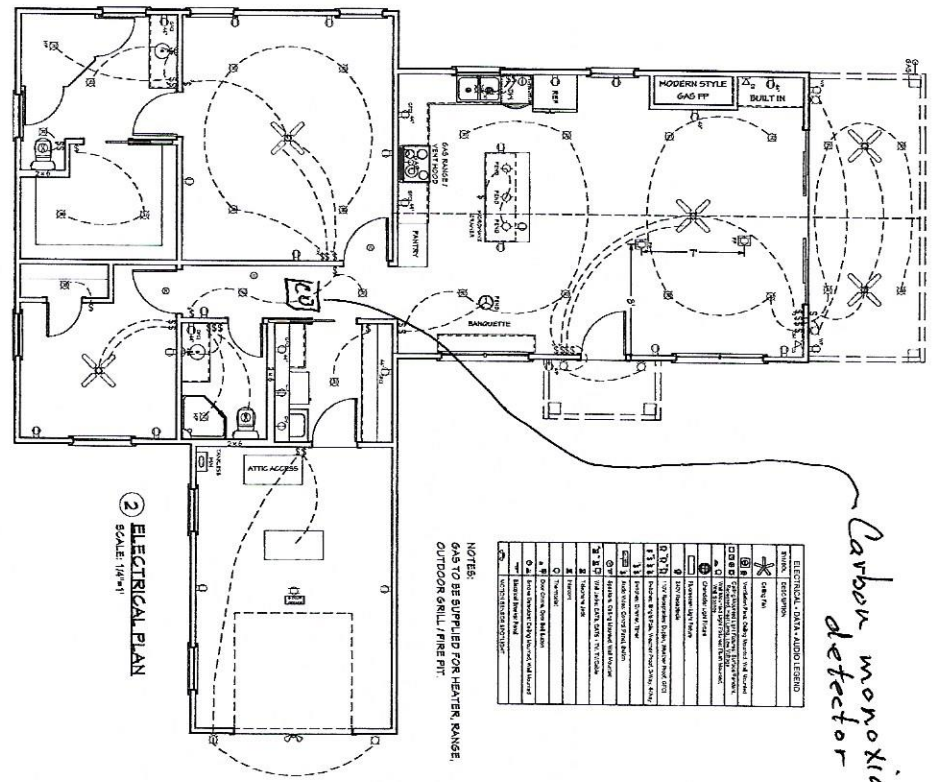
A-3



1 FLOOR PLAN
SCALE: 1/4"=1'



AREAS	
TOTAL LIVING AREA	1858 SQ. FT.
COVERED PORCH	32 SQ. FT.
COVERED PATIO	160 SQ. FT.
TOTAL SQ. FT.	1950 SQ. FT.



2 ELECTRICAL PLAN
SCALE: 1/4"=1'

ELECTRICAL DATA & AUDIO LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	120V 15A BRN
(Symbol)	120V 20A BRN
(Symbol)	120V 30A BRN
(Symbol)	120V 40A BRN
(Symbol)	120V 50A BRN
(Symbol)	120V 60A BRN
(Symbol)	120V 75A BRN
(Symbol)	120V 100A BRN
(Symbol)	120V 150A BRN
(Symbol)	120V 200A BRN
(Symbol)	120V 250A BRN
(Symbol)	120V 300A BRN
(Symbol)	120V 350A BRN
(Symbol)	120V 400A BRN
(Symbol)	120V 450A BRN
(Symbol)	120V 500A BRN
(Symbol)	120V 550A BRN
(Symbol)	120V 600A BRN
(Symbol)	120V 650A BRN
(Symbol)	120V 700A BRN
(Symbol)	120V 750A BRN
(Symbol)	120V 800A BRN
(Symbol)	120V 850A BRN
(Symbol)	120V 900A BRN
(Symbol)	120V 950A BRN
(Symbol)	120V 1000A BRN

NOTES:
GAS TO BE SUPPLIED FOR HEAVEN RANGE,
OUTDOOR GRILL, FIRE PIT.

Carbon monoxide detector

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
611 E Boydston Avenue	Single-Family Home	2013	1,712	N/A	Brick
613 E Boydston Avenue	Single-Family Home	2013	1,712	N/A	Brick
615 E Boydston Avenue	Single-Family Home	2016	2,403	N/A	Stone/Siding
619 E Boydston Avenue	Single-Family Home	2017	1,172	N/A	Brick/Stucco
621 E Boydston Avenue	Single-Family Home	2017	1,906	N/A	Brick
627 E Boydston Avenue	Single-Family Home	2018	1,970	N/A	Brick
709 E Boydston Avenue	Single-Family Home	1980	1,120	1,180	Siding
506 Renfro Street	Single-Family Home	1975	1,058	284	Siding
507 Renfro Street	Single-Family Home	1961	1,856	450	Siding
601 Renfro Street	Single-Family Home	1925	1,000	720	Siding
602 Renfro Street	Single-Family Home	1975	1,796	N/A	Siding
605 Renfro Street	Single-Family Home	1975	1,605	192	Siding
606 Renfro Street	Single-Family Home	1925	1,342	N/A	Siding
607 Renfro Street	Single-Family Home	1998	1,520	N/A	Siding
619 Renfro Street	Single-Family Home	2002	1,567	N/A	Siding
701 N TL Townsend Drive	RCAD Indicates Vacant			Subject Property	N/A
703 N TL Townsend Drive	Single-Family Home	1975	934	1,092	Siding
703 E Boydston Avenue	Other	1980	N/A	N/A	N/A
707 S Clark Street	Other	N/A	N/A	N/A	N/A
	Averages:	1970	1,380		



611 E Boydston Avenue



613 E Boydston Avenue



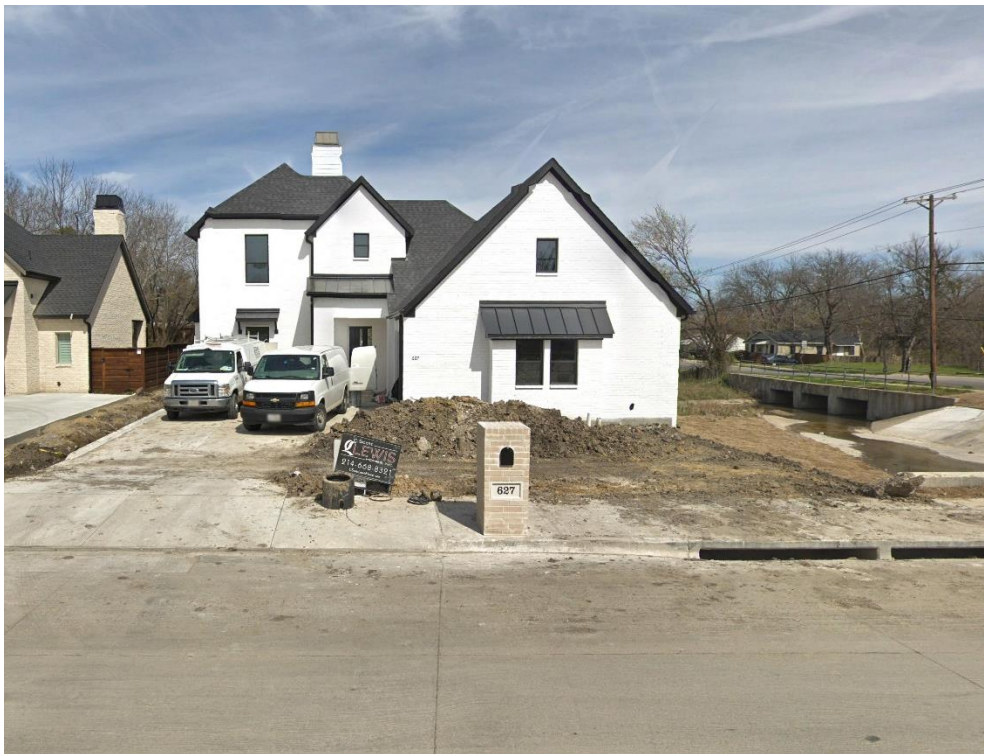
615 E Boydston Avenue



619 E Boydston Avenue



621 E Boydston Avenue



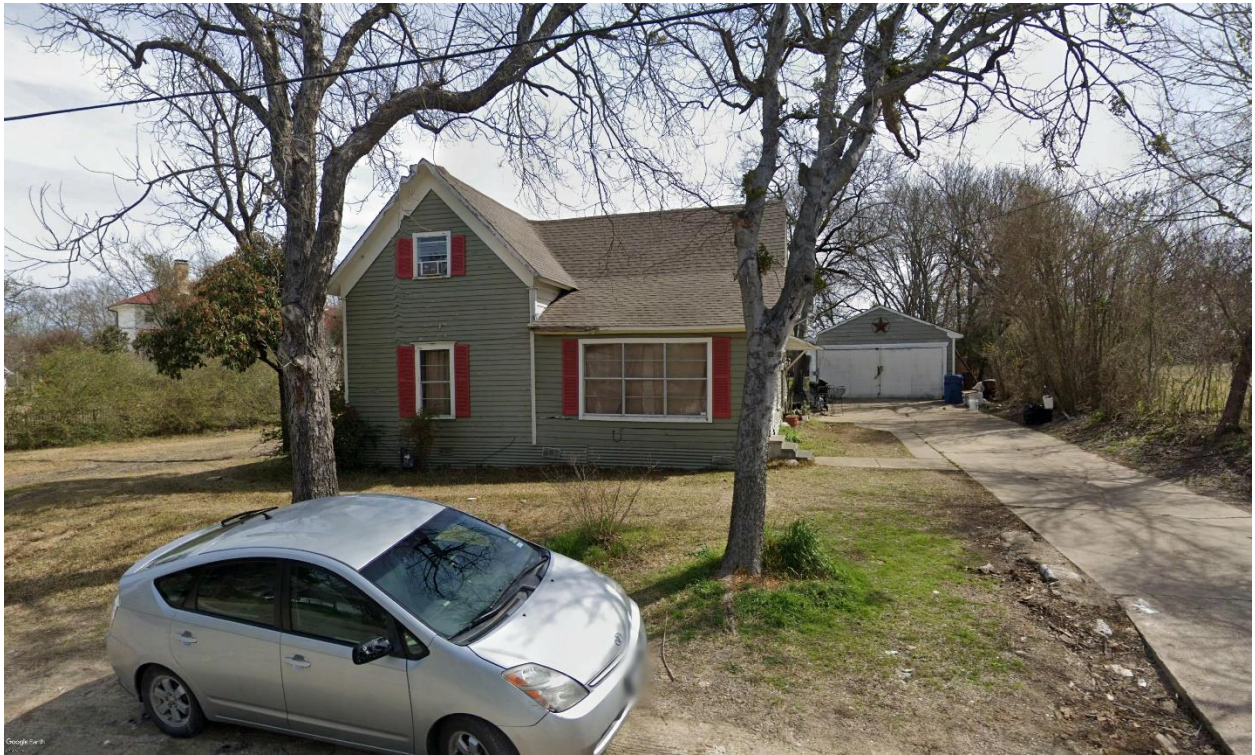
627 E Boydston Avenue



709 E Boydston Avenue



506 Renfro Street



507 Renfro Street



601 Renfro Street



602 Renfro Street



605 Renfro Street



606 Renfro Street



607 Renfro Street



619 Renfro Street



701 N TL Townsend Drive



703 N TL Townsend Drive



703 E Boydston Avenue



707 S Clark Street

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.34-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, RICHARD HARRIS SUBDIVISION #5, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brenda Kennedy for the approval of a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow the construction of a single-family home on a 0.34-acre tract of land being described as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T.L. Townsend Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow for the construction of a single-family home adjacent to established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family*

7 (SF-7) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

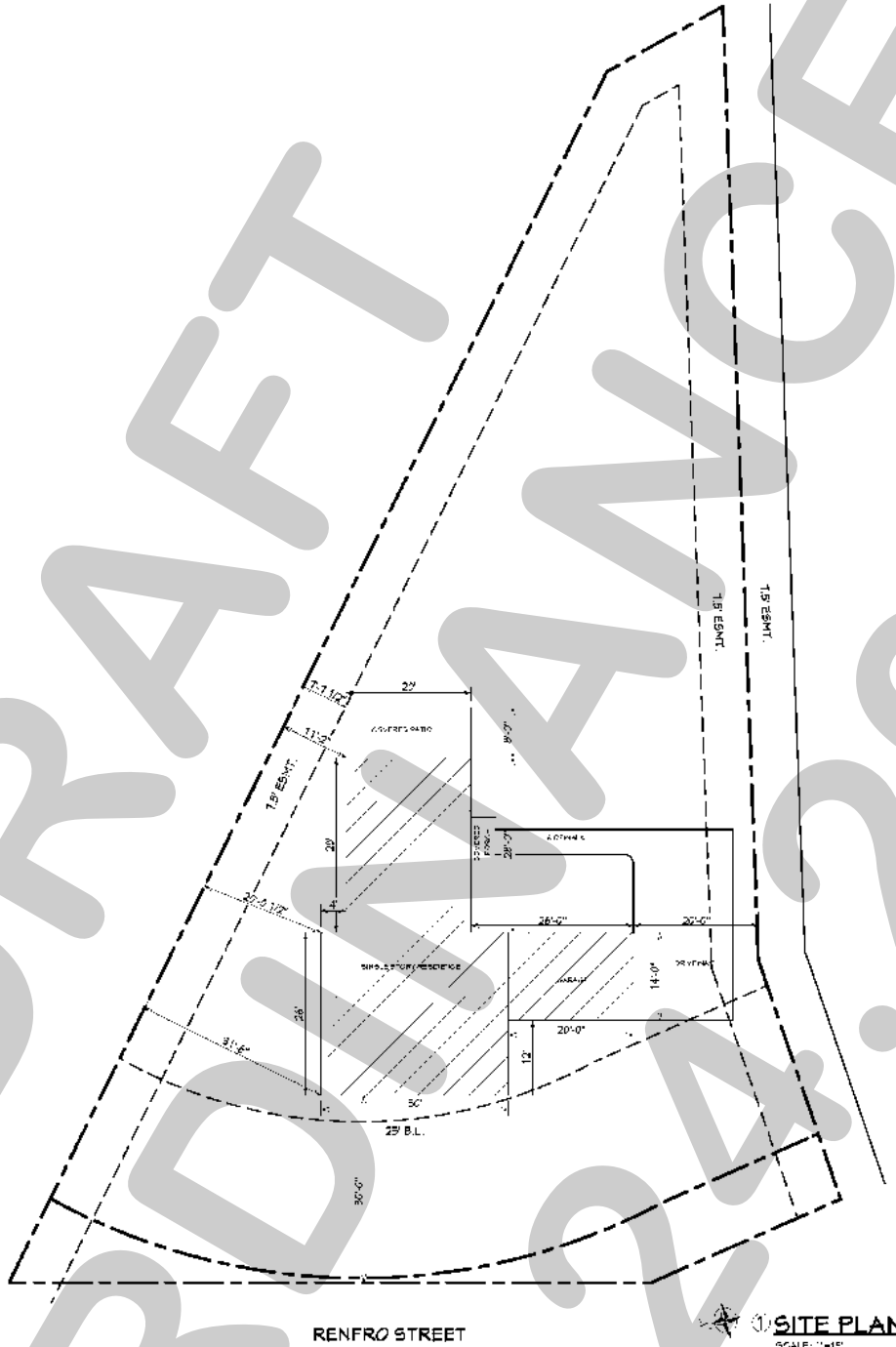
Exhibit 'A'
Location Map and Survey

Address: 701 N. Townsend Drive

Legal Description: Lot 1, Block A, Richard Harris Subdivision #5

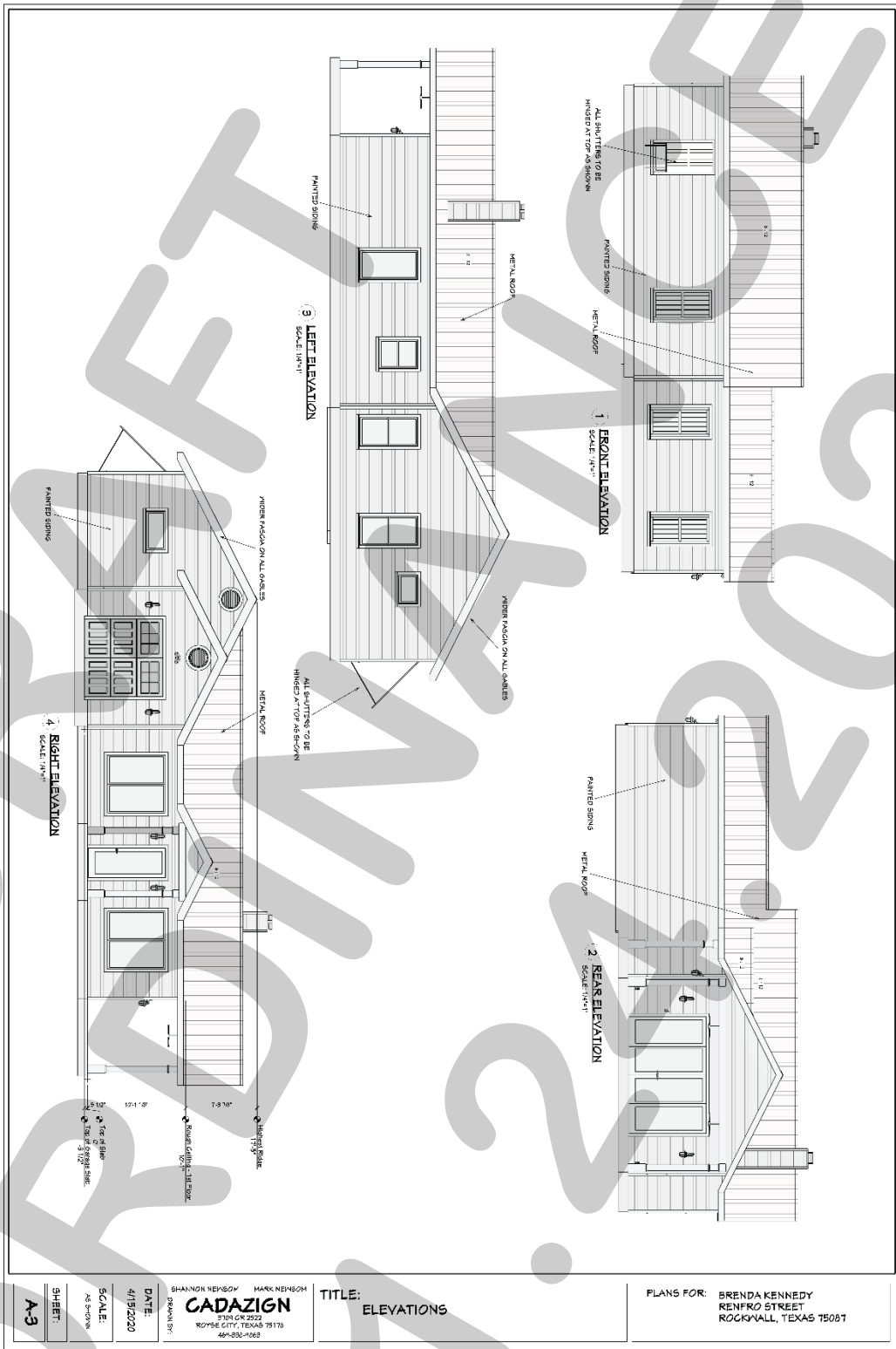


**Exhibit 'B':
Residential Plot Plan**



- NOTE:**
1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZIGN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
 2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.
 3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS

**Exhibit 'C':
Building Elevations**



SHEET: A-3	SCALE: AS SHOWN	DATE: 4/19/2020	DRAWN BY: SHANNON NEWBOW	CHECKED BY: MARK NEWBOW	TITLE: ELEVATIONS	PLANS FOR: BRENDA KENNEDY RENFRO STREET ROCKWALL, TEXAS 75087

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: Z2020-049
PROJECT NAME: SUP for 304 E. Bourn Street
SITE ADDRESS/LOCATIONS: 304 E BOURN ST, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	11/20/2020	Approved w/ Comments

11/20/2020: I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.344-acre parcel of land identified as Lot 48, Canup Addition of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, and addressed as 304 E. Bourn Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email Hlee@rockwall.com.

M.3 For reference, include the case number (Z2020-049) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that {1} consists of five (5) or more lots, {2} that is 90% or more developed, and {3} that has been in existence for more than ten (10) years. In this case, the subject property is located within the Canup Addition, which was established on July 14, 1995, consists of 33 total residential lots, and currently only has seven (7) vacant lots.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... (and) all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision." Conformance to this requirement will be evaluated by staff and acted upon by the Planning and Zoning Commission and City Council.

I.6 According to Subsection 04.01(B) of Section 4, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages, unless it is a J-Swing garage where the garage door is perpendicular to the street."

M.7 In this case, the garage is 9'-10" behind the front façade, and does not meet the requirements of the Unified Development Code (UDC). This garage configuration will require approval by the City Council as part of the Specific Use Permit (SUP) ordinance.

M.8 Please review the attached Draft Ordinance prior to the November 24, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than December 1, 2020. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 1, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 8, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on November 24, 2020.

I.10 The projected City Council meeting dates for this case will be December 21, 2020 (1st Reading) and January 4, 2021 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Needs Review

11/18/2020: M - Only one driveway allowed off E Bourn Street. Driveway must be concrete.

M - Must show the proposed service connections for water and sewer. full panel concrete replacement is required. Engineered traffic control plan will be required for lane closures.

One lane must be open at all times.

The following are for your information for the building permit process.

General Items:

I - Must meet City Standards of Design and Construction

I - Impact Fees (Water, Wastewater & Roadway)

I - Retaining walls 3' and over must be engineered.

I - All retaining walls must be rock or stone face. No smooth concrete walls.

I - 10' Utility Easement required along all street ROW.

Drainage Items:

I - Must include a grading plan for the building permit.

Water and Wastewater Items:

M - Must show the proposed connection for water and sewer services.

I - Sewer is located on the north side of Bourn Street. Full panel concrete replacement is required. Engineered traffic control plan will be required for lane closures. One lane must be open at all times.

I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)

Roadway Paving Items:

M - Only one driveway allowed off E Bourn Street. Driveway must be concrete.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	11/16/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/17/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/17/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/16/2020	Approved

11/16/2020: No comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-049

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 304 E. BOURN ST. ROCKWALL TX 75087

Subdivision _____ Lot 48 Block _____

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning _____ Current Use _____

Proposed Zoning _____ Proposed Use _____

Acreeage 0.34 Lots [Current] 1 Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB316Z the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>SARA HERNANDEZ</u>	<input type="checkbox"/> Applicant	<u>SARA HERNANDEZ</u>
Contact Person	_____	Contact Person	_____
Address	<u>4504 HAMPSHIRE BLVD</u>	Address	<u>4504 HAMPSHIRE BLVD</u>
City, State & Zip	<u>FORT WORTH, TX 76103</u>	City, State & Zip	<u>FORT WORTH, TX 76103</u>
Phone	<u>310-293-0093</u>	Phone	<u>310-293-0093</u>
E-Mail	<u>San-miguel1@hotma.l.com</u>	E-Mail	<u>San-miguel1@hotma.l.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Sara Hernandez [Owner] the undersigned, who stated the information on this application to be true and certified the following:

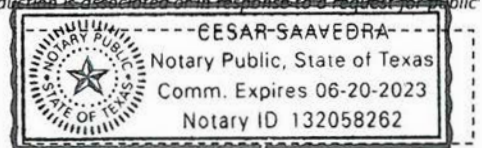
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 10 day of November, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated with a request for public information."

Given under my hand and seal of office on this the 10 day of November, 2020.

Owner's Signature


[Signature]

Notary Public in and for the State of Texas



My Commission Expires 06-20-2023

0 20 40 80 120 160 Feet

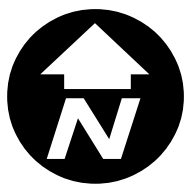
Z2020-049- SUP FOR 304 E. BOURN STREET
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

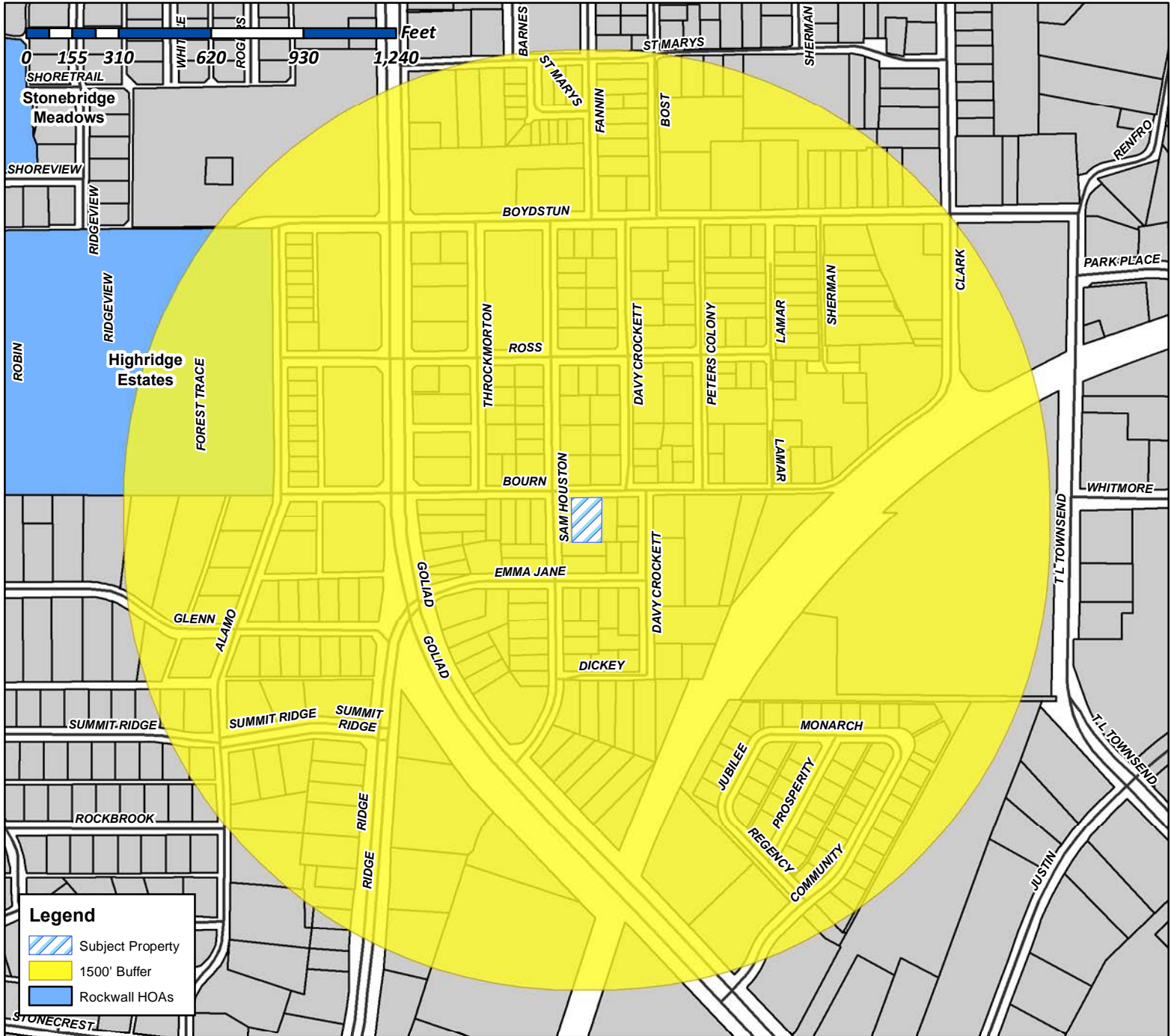




City of Rockwall

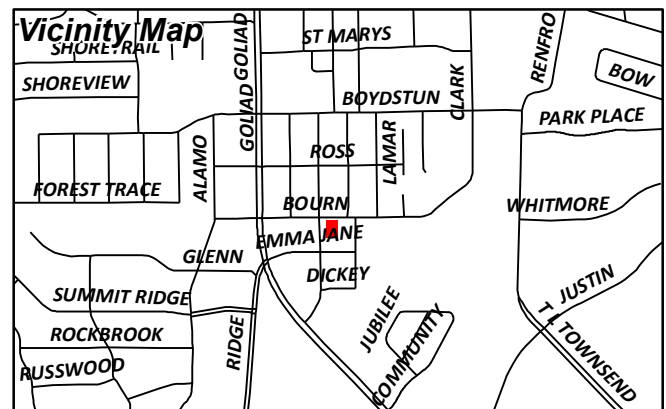
Planning & Zoning Department
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Case Number: Z2020-049
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 304 E. Bourn Street

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, November 18, 2020 2:30 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (11.13.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-049 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request Sam Hernandez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

This email was scanned by Bitdefender



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

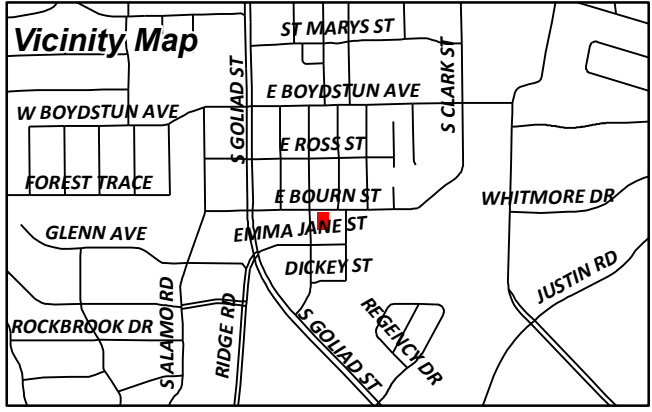
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Legend

- Parcels
- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2020-049
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 304 E. Bourn Street



Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745

EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

ERVIN RICHARD L & TERRI K
C/O SONIC
1001 S GOLIAD ST
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
1003 S GOLIAD
ROCKWALL, TX 75087

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
1005 SAM HOUSTON
ROCKWALL, TX 75087

PRICE ALVIN
1006 DAVY CROCKETT
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
1007 SAM HOUSTON
ROCKWALL, TX 75087

JONES EVELYN
1008 DAVY CROCKETT ST
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
1008 SAM HOUSTON
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

CASTILLO PEDRO
1009 SAM HOUSTON ST
ROCKWALL, TX 75087

EFENEY WILLIAM M
1009 S GOLIAD
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1010 SAM HOUSTON
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1012 SAM HOUSTON
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1013 S GOLIAD
ROCKWALL, TX 75087

ROHLF DAVID E
102 E ROSS AVE
ROCKWALL, TX 75087

ANDERSON ALLEN
1208 S LAKESHORE DR
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE
1500 ASHLEY CT
ROCKWALL, TX 75032

ESTATE OF JOHN L MCGUIRE AND RUBY
MCGUIRE
C/O LORA MITCHELL
1528 VERMONT AVE
LANCASTER, TX 75134

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

LRG GROUP LLC
202 E RUSK ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

HECKARD ALLEN
207 BOURNAVE
ROCKWALL, TX 75087

GE QIQING AND
JINGJING ZHANG
207 GASPAR
IRVINE, CA 92618

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

LIU HOWARD HEYUN
208 EMMA JANE ST
ROCKWALL, TX 75087

WAFFER JULIUS
3002 WELDON LN
ROYSE CITY, TX 75189

NEW CALDONIA BAPTIST CHURCH
301 E BOURNE AVE
ROCKWALL, TX 75087

VILLALOBOS JOSE MARVIN & JACKELIN IZELA
302 E ROSS
ROCKWALL, TX 75087

GE QIQING AND
JINGJING ZHANG
302 EMMA JANE
ROCKWALL, TX 75087

CASTLEROCK CUSTOM BUILDERS LLC
304 BOURN
ROCKWALL, TX 75087

DAVIDSON JEFFREY LEE & MELIZA IBARRA
304 E ROSS AVE
ROCKWALL, TX 75087

LIU HOWARD HEYUN
304 EMMA JANE
ROCKWALL, TX 75087

LRG GROUP LLC
306 BOURN AVE
ROCKWALL, TX 75087

JONES ARCHIE & JUANITA
308 E BOURN ST
ROCKWALL, TX 75087

ELLERD TERESA
308 EMMA JANE ST
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

BONNER JACK L AND VALERIE N
309 EMMA JANE ST
ROCKWALL, TX 75087

JONES LENA EST
C/O CHARLES R HUMPHREY
310 EMMA JANE
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

JONES LENA EST
C/O CHARLES R HUMPHREY
405 ER ELLIS
ROCKWALL, TX 75087

WALTER MARY
408 E BOURN ST
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

JOBE BRYAN
436 EMERSON DRIVE
ROCKWALL, TX 75087

LIU HOWARD HEYUN
4577 JAGUAR DR
PLANO, TX 75024

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

ZELADA WILLIAM
502 TWIN VIEW
HEATH, TX 75032

MATHIS MICHAEL L & DEBRA L
504 DICKEY ST
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
504 ROSS
ROCKWALL, TX 75087

SIMS VERNA MAE
506 DICKEY ST
ROCKWALL, TX 75087

RODRIGUEZ ROGELO & MARIA
507 DICKEY ST
ROCKWALL, TX 75087

BROWN GEORGIA
508 DICKEY ST
ROCKWALL, TX 75087

ZELADA WILLIAM
510 DICKEY ST
ROCKWALL, TX 75087

WAFFER JULIUS
512 DICKEY ST
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
6819 CLIFFWOOD DR
DALLAS, TX 75237

HEARD RHODA MAE
710 DAVY CROCKETT ST
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

BENNETT A L EST
C/O OLIVER LINVELL
712 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

ESTATE OF FRANKIE MAE ALLEN
80 THROCKMORTON
ROCKWALL, TX 75087

ESTATE OF JOHN L MCGUIRE AND RUBY
MCGUIRE
C/O LORA MITCHELL
800 SAM HOUSTON
ROCKWALL, TX 75087

LAFAYETTE ESTELLE
801 THROCKMORTON ST
ROCKWALL, TX 75087

JACKSON CALVIN
802 SAM HOUSTON ST
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

DIXON ALMA
804 SAM HOUSTON ST
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
805 SAM HOUSTON
ROCKWALL, TX 75087

ESTATE OF FRANKIE MAE ALLEN
805 THROCKMORTON
ROCKWALL, TX 75087

PROGRESS DALLAS LLC
806 SAM HOUSTON ST
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
807 THROCKMORTON
ROCKWALL, TX 75087

JONES MICHAEL G
808 SAM HOUSTON
ROCKWALL, TX 75087

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

LIVAY LLC
809 S GOLIAD
ROCKWALL, TX 75087

U S HOUSING AUTHORITY
809 SAM HOUSTON
ROCKWALL, TX 75087

STRANGE FREDERICK & PATRICIA
810 DAVY CROCKETT ST
ROCKWALL, TX 75087

BARRON BLAKELEIGH
811 DAVY CROCKETT ST
ROCKWALL, TX 75087

EDWARDS JASON
811SGOLIAD
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI
812 PETERS COLONY
ROCKWALL, TX 75087

HALL WILLA O
815 DAVY CROCKETT ST
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE
900 DAVY CROCKETT
ROCKWALL, TX 75087

HENRY PATRICK AND JOLENE C
901 DAVY CROCKETT ST
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MOORE TIMOTHY H & TRACEY PARK
901 S GOLIAD
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
902 DAVY CROCKETT
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

JOBE BRYAN
903 DAVY CROCKETT
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
903 S GOLIAD
ROCKWALL, TX 75087

DIXON MARSHALL WADE
905 SAM HOUSTON
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
905 S GOLIAD
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

ANDERSON ALLEN
907 SAM HOUSTON
ROCKWALL, TX 75087

STATE OF TEXAS
907 S GOLIAD
ROCKWALL, TX 75087

CAIN REVOCABLE FAMILY TRUST AND
CREDIT SHELTER TRUST AND SURVIVORS TRUST
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR
ROCKWALL, TX 75087

CANALES ZAMORA FAMILY TRUST
ROMAN FRANCISCO CANALES & ROSA MARIA
ZAMORA MIRANDA-TRUSTEE
P O BOX 291
FATE, TX 75132

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

PRICE ALVIN
P.O. BOX 196
ROCKWALL, TX 75087

ROHLF DAVID E
PO BOX 1137
ROCKWALL, TX 75087

PROGRESS DALLAS LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

NEW CALDONIA BAPTIST CHURCH
PO BOX 481
ROCKWALL, TX 75087

CASTLEROCK CUSTOM BUILDERS LLC
PO BOX 8333
GREENVILLE, TX 75404

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-049: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request Sam Hernandez for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-049: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

304 E BOURN ST. ROCKWALL TX 75087

CONTRACTOR SHALL VERIFY ALL
CONDITIONS AND DIMENSIONS AT
THE JOB SITE AND NOTIFY THE
DESIGNER OF ANY DIMENSIONAL
ERROR, OMISSIONS BEFORE
FABRICATING ANY WORK DO NOT
SCALE DRAWINGS

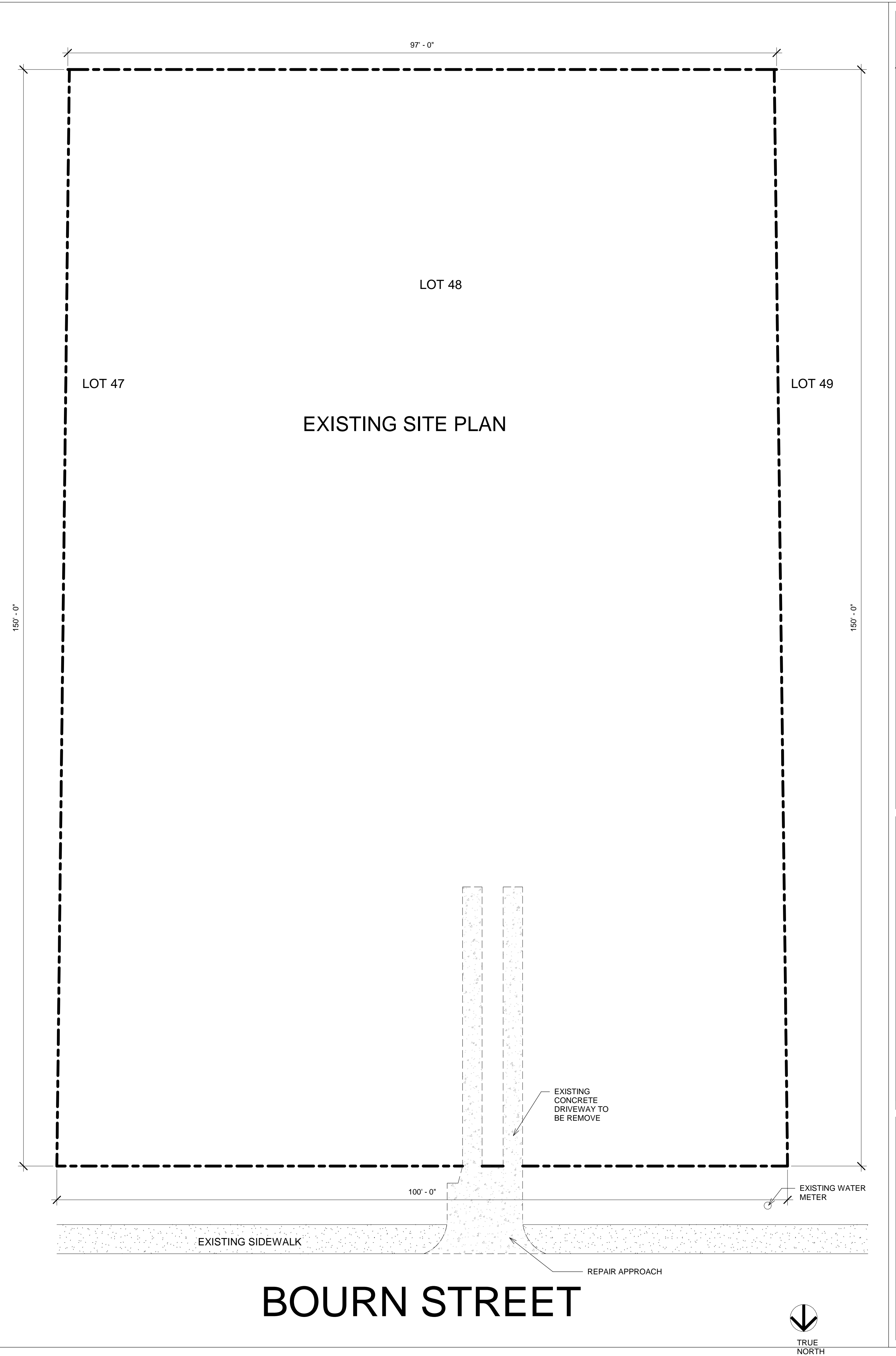
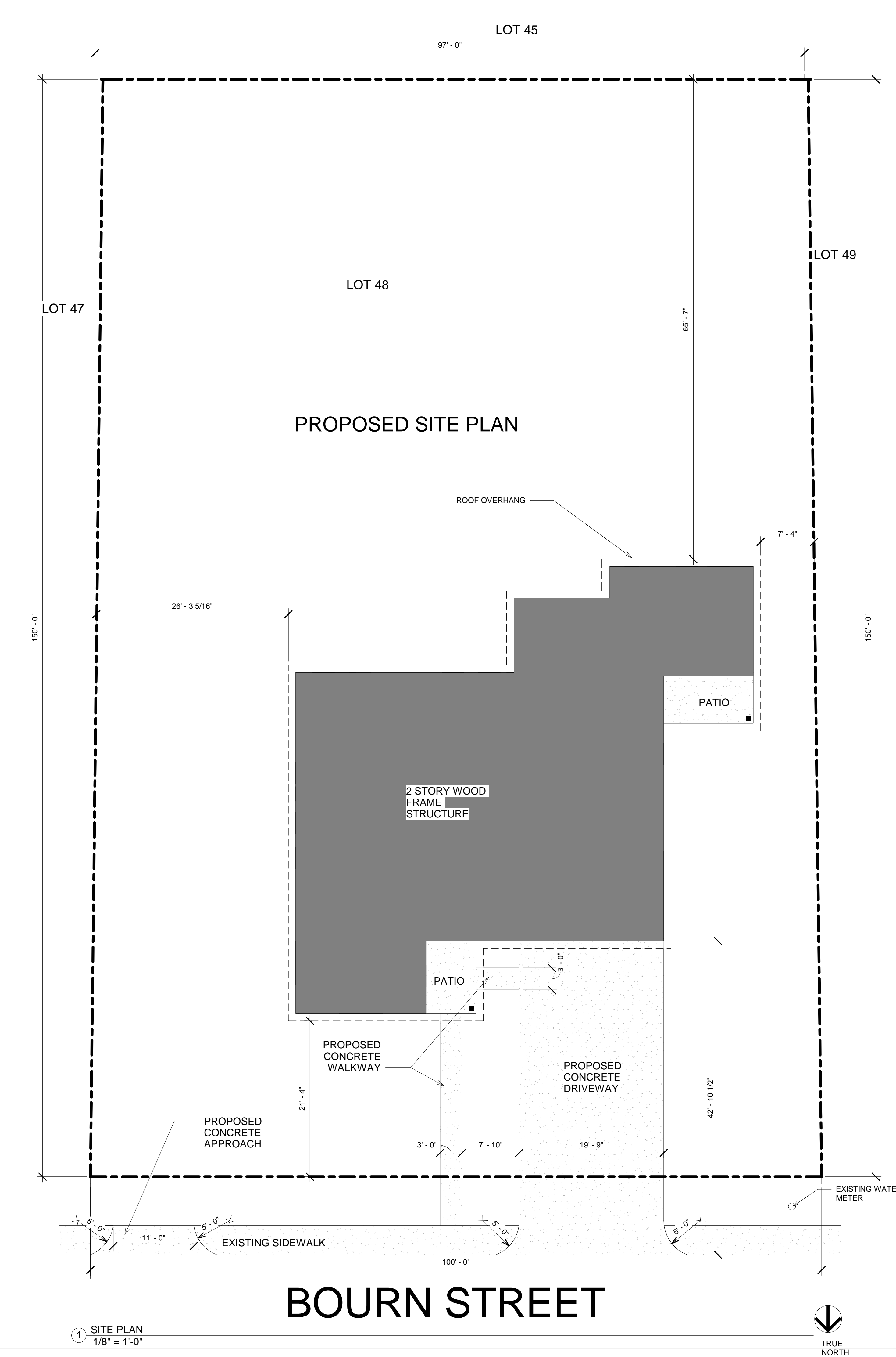
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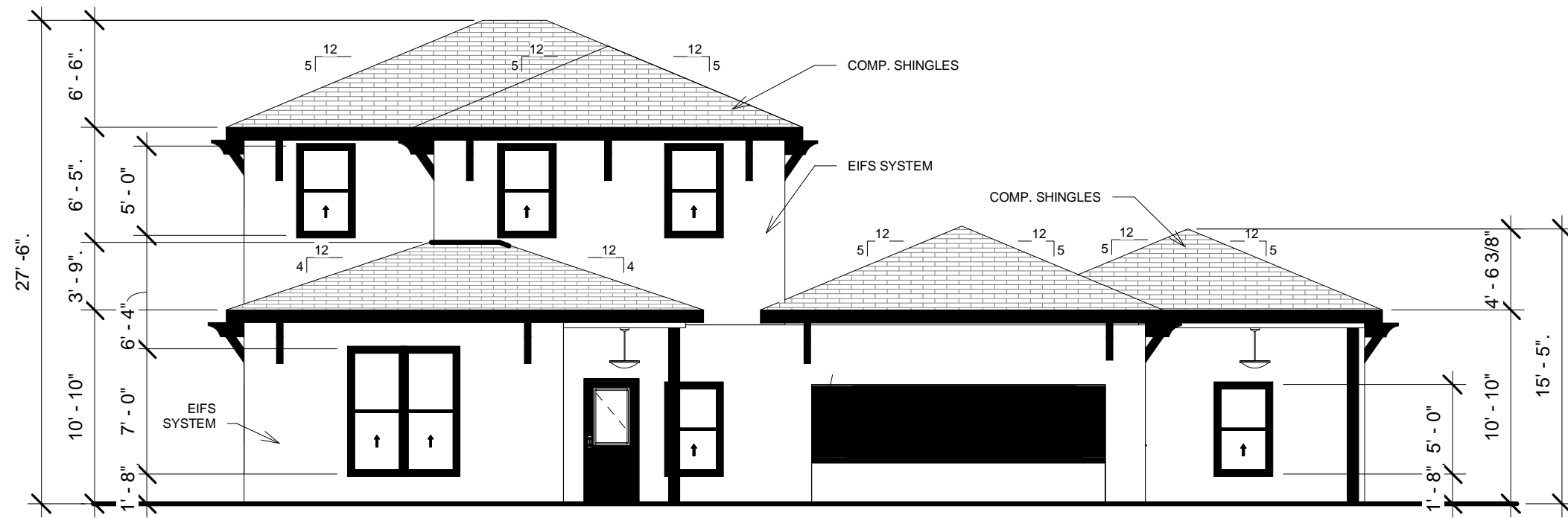
SITE PLAN

Project number
Date
Drawn by EFREN ESTRADA

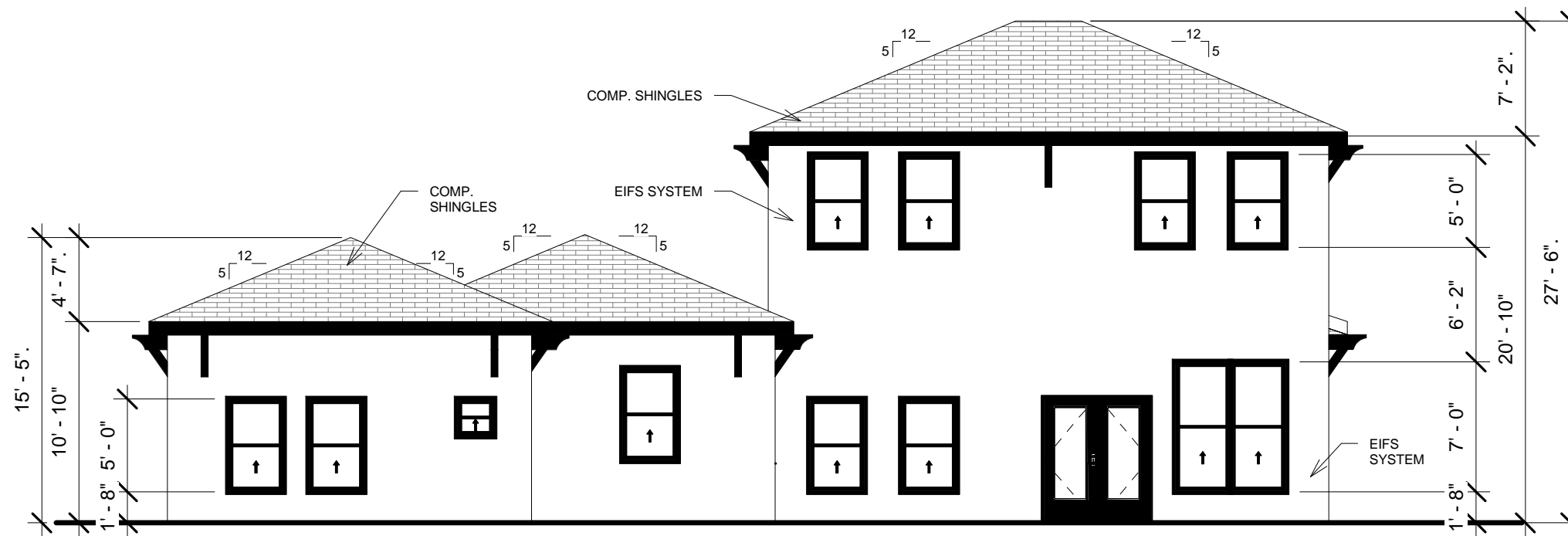
A12

Scale 1/8" = 1'-0"

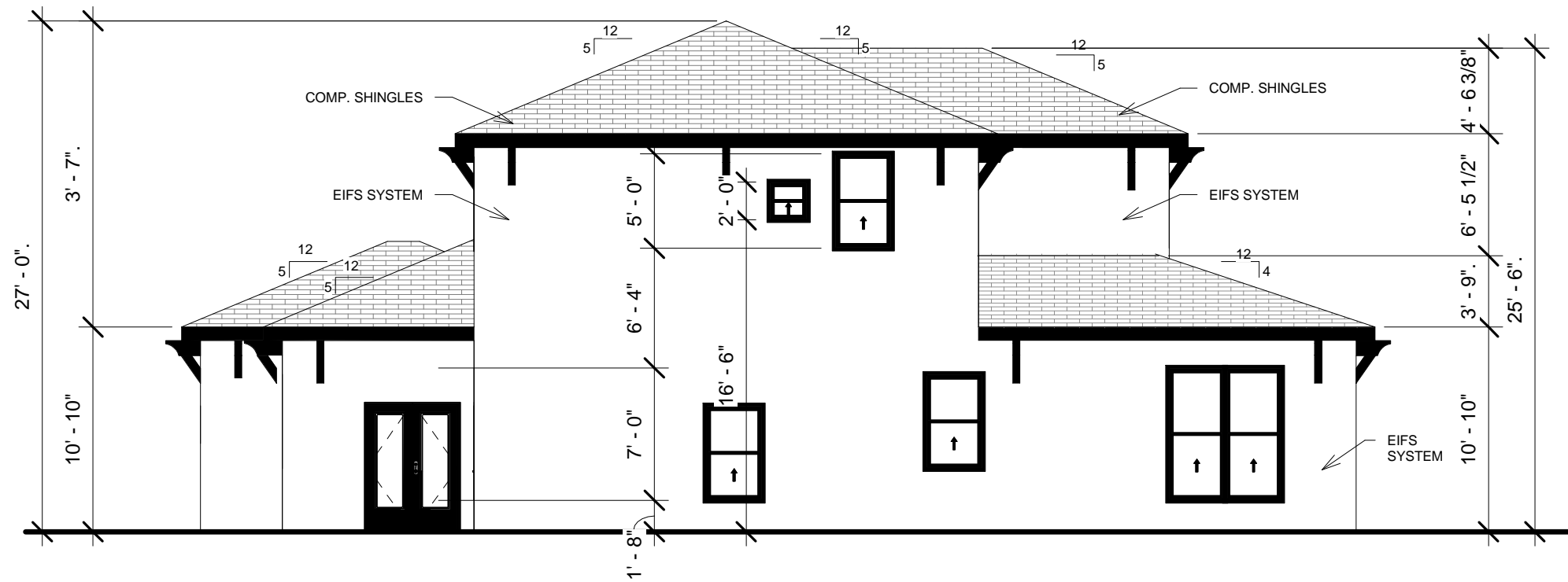




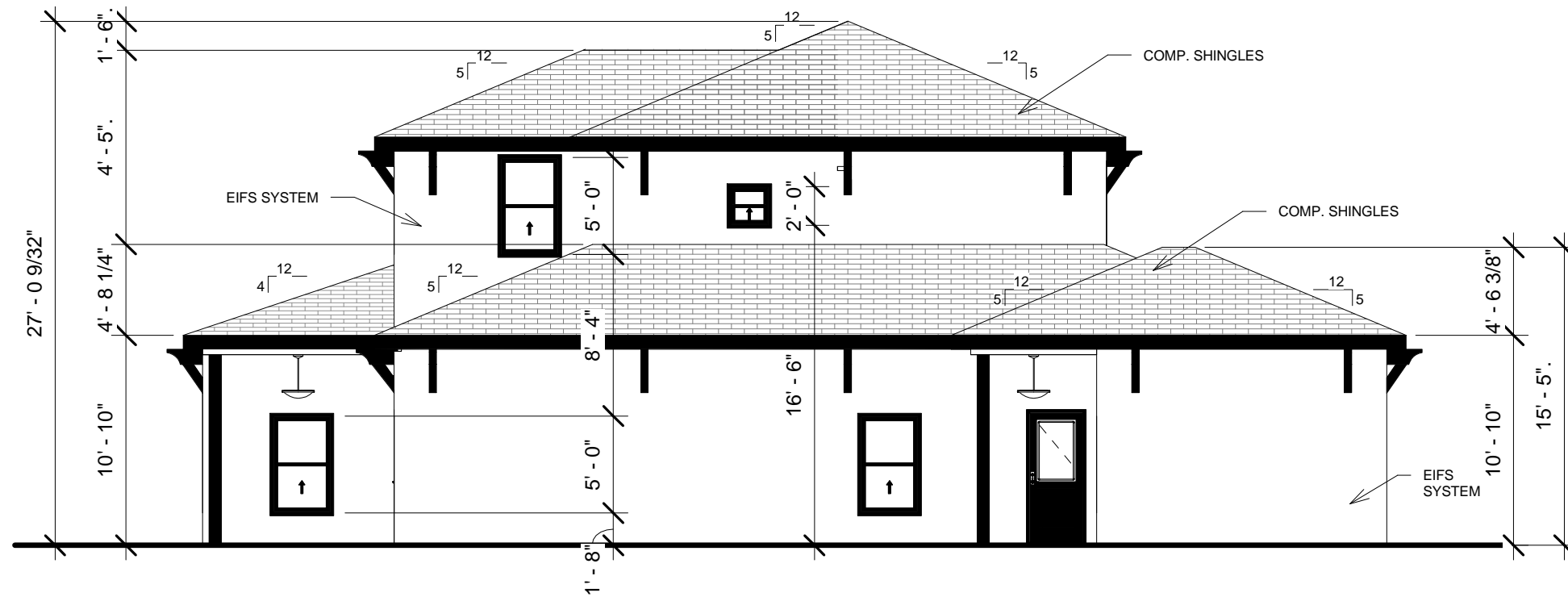
① FRONT
1/8" = 1'-0"



② BACK
1/8" = 1'-0"



① LEFT
1/8" = 1'-0"



② RIGHT
1/8" = 1'-0"

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
202 E Bourn Street	Single-Family Home	1987	1,508	100	Siding
203 E Bourn Street	Single-Family Home	1960	1,320	60	Brick/Wood Siding
204 E Bourn Street	Single-Family Home	1970	1,305	144	Brick
206 E Bourn Street	Single-Family Home	1996	1,300	N/A	Brick
207 E Bourn Street	Single-Family Home	1995	1,525	N/A	Brick
208 E Bourn Street	Single-Family Home	2003	1,680	160	Siding
301 E Bourn Street	House of Worship	-	3,578	N/A	Siding
304 E Bourn Street	RCAD Indicates Vacant		Subject Property		
306 E Bourn Street	Single-Family Home	1962	1,040	N/A	
308 E Bourn Street	Single-Family Home	1979	1,044	N/A	Siding
403 E Bourn Street	Multi-Family Home	2007	1,499	120	Siding
408 E Bourn Street	Single-Family Home	1998	1,130	180	Brick
501 E Bourn Street	Single-Family Home	1975	1,226	N/A	Siding
810 Davy Crockett	Single-Family Home	2003	1,732	284	Brick
811 Davy Crockett	Single-Family Home	1998	1,095	N/A	Brick
815 Davy Crockett	Single-Family Home	1998	1,150	N/A	Brick
902 Davy Crockett	Single-Family Home	1950	1,000	N/A	Siding
302 Emma Jane	Single-Family Home	2018	1,843	N/A	Brick
304 Emma Jane	Single-Family Home	2018	1,843	N/A	Brick
308 Emma Jane	Single-Family Home	2004	1,543	244	Brick
310 Emma Jane	Single-Family Home	1975	1,056	N/A	Siding
806 Sam Houston	Single-Family Home	2017	1,547	N/A	Brick
807 Sam Houston	Multi-Family Home	1969	1,200	N/A	Brick
808 Sam Houston	Single-Family Home	2015	1,154	N/A	Brick
905 Sam Houston	RCAD Indicates Vacant	-	-	-	Siding
906 Sam Houston	Single-Family Home	2004	1,974	N/A	Brick/Siding
907 Sam Houston	Single-Family Home	1997	928	240	Siding

Averages: 1992 1,449 170



202 E Bourn Street



203 E Bourn Street



204 E Bourn Street



206 E Bourn Street



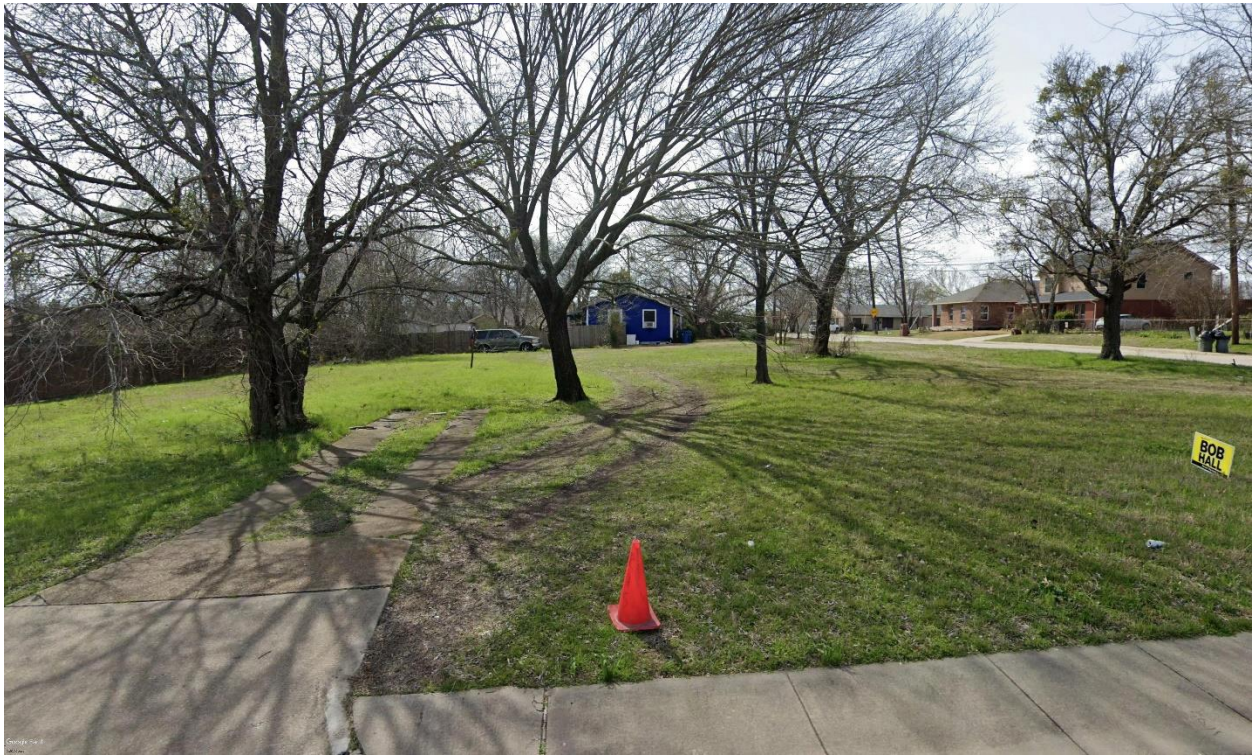
207 E Bourn Street



208 Bourn Street



301 E Bourn Street



304 E Bourn Street



306 E Bourn Street



308 E Bourn Street



403 E Bourn Street



408 E Bourn Street



501 E Bourn Street



810 Davy Crockett



811 Davy Crockett



815 Davy Crockett



902 Davy Crockett



302 Emma Jane



304 Emma Jane



308 Emma Jane



310 Emma Jane



806 Sam Houston



807 Sam Houston



808 Sam Houston



905 Sam Houston



906 Sam Houston



907 Sam Houston

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2342-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 48, CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Sam Hernandez for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.2342-acre parcel of land being described as Lot 48, Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential (SRO) Overlay, addressed as 304 E. Bourn Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and the Southside Overlay District of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] and to the requirements set forth in the Southside Overlay District - as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

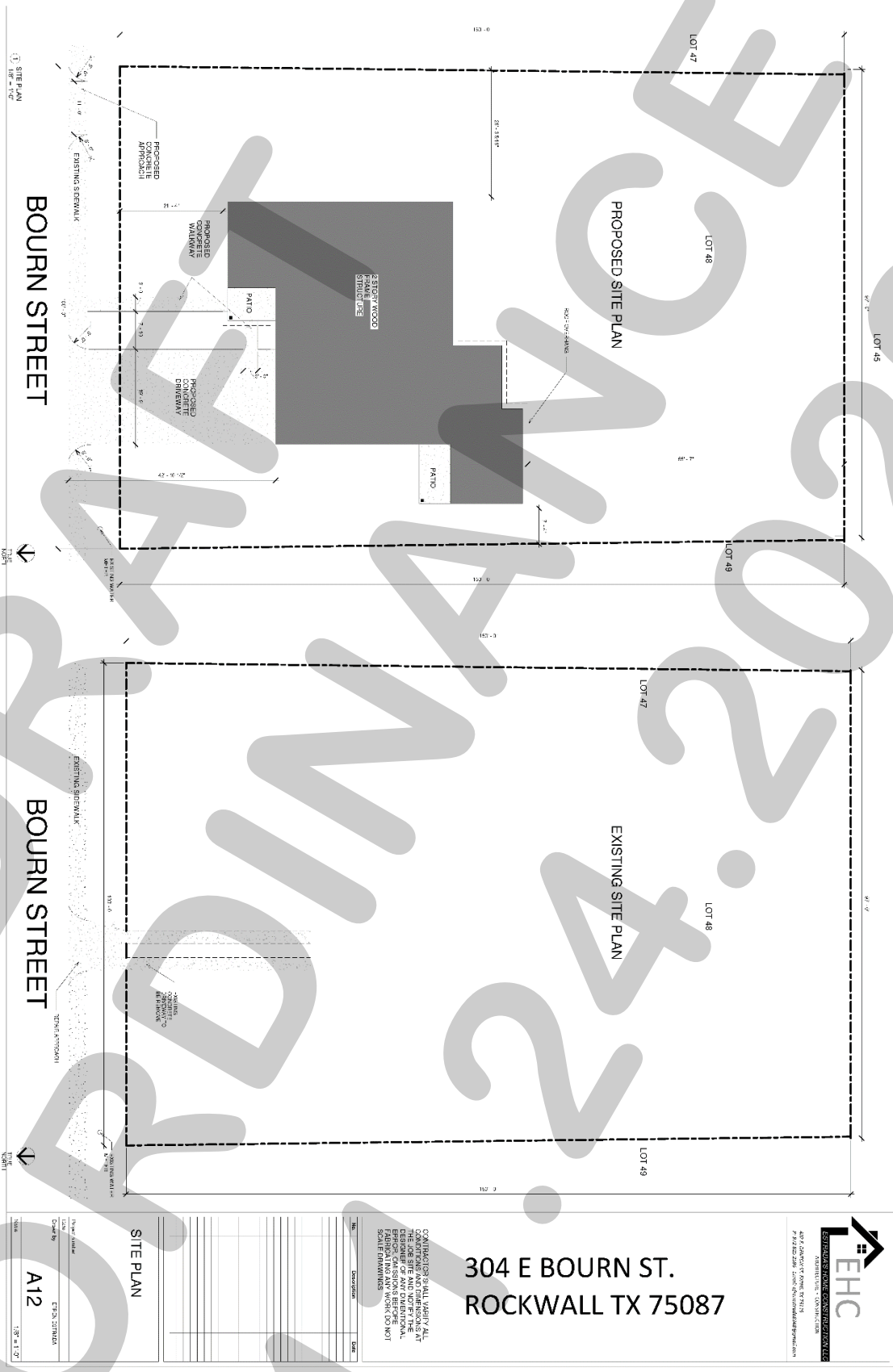
Exhibit 'A'
Location Map and Survey

Address: 304 E. Bourn Street

Legal Description: Lot 48, Canup Addition



**Exhibit 'B':
Residential Plot Plan**



DRAFT 24.2020

EHC

ENGINEERING & ARCHITECTURE

4825 East Parkway, Suite 200, Rockwall, TX 75087

Phone: (972) 241-1111 | Fax: (972) 241-1112

www.ehc-engineers.com

**304 E BOURN ST.
ROCKWALL TX 75087**

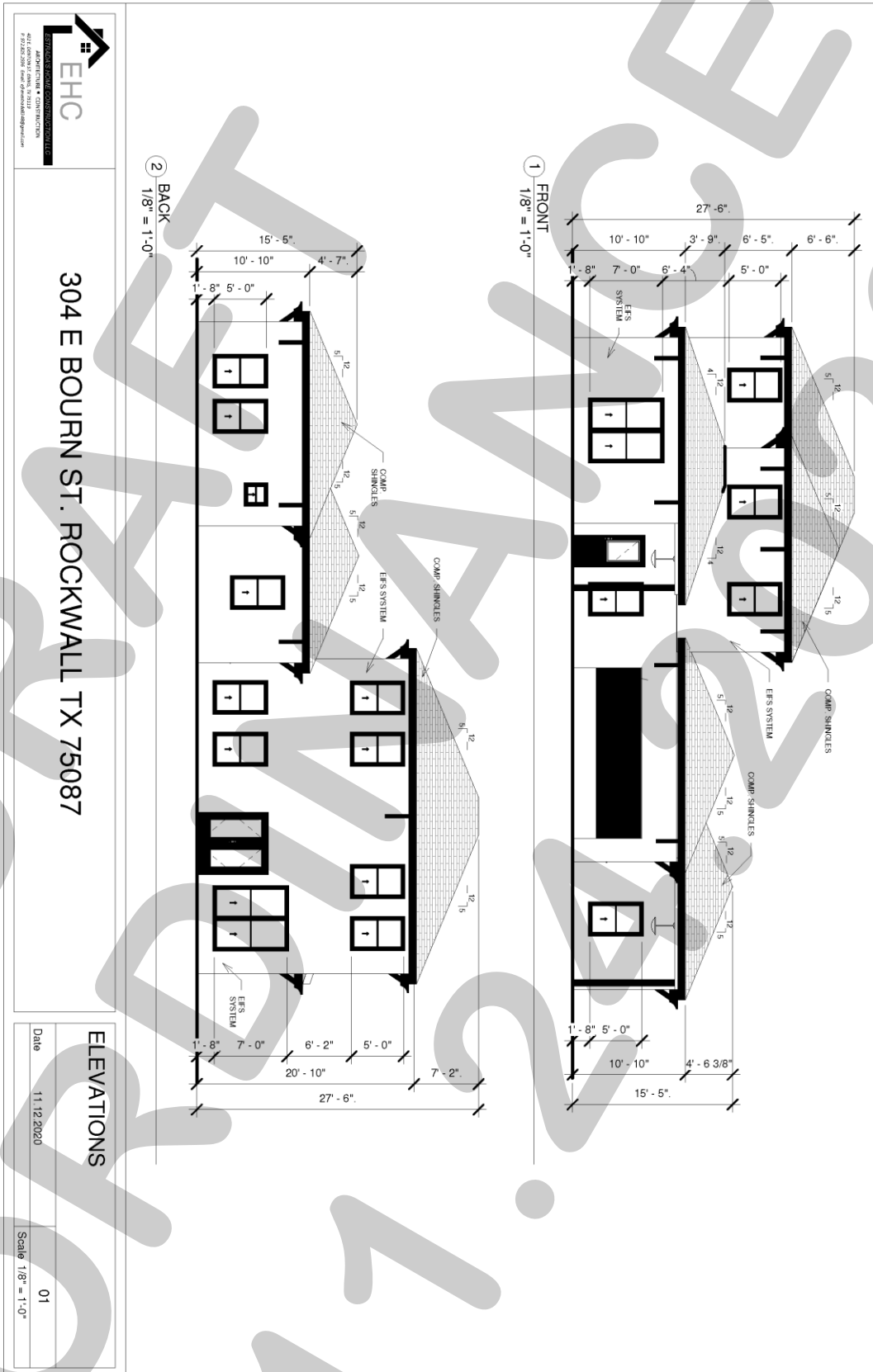
CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE TIME OF THE AND OBTAIN ALL NECESSARY APPROVALS BEFORE CONSTRUCTION BEGINS. THIS PLAN SHALL BE IN ACCORDANCE WITH ALL CITY ORDINANCES AND CITY OF ROCKWALL SCALE DIMENSIONS.

SITE PLAN

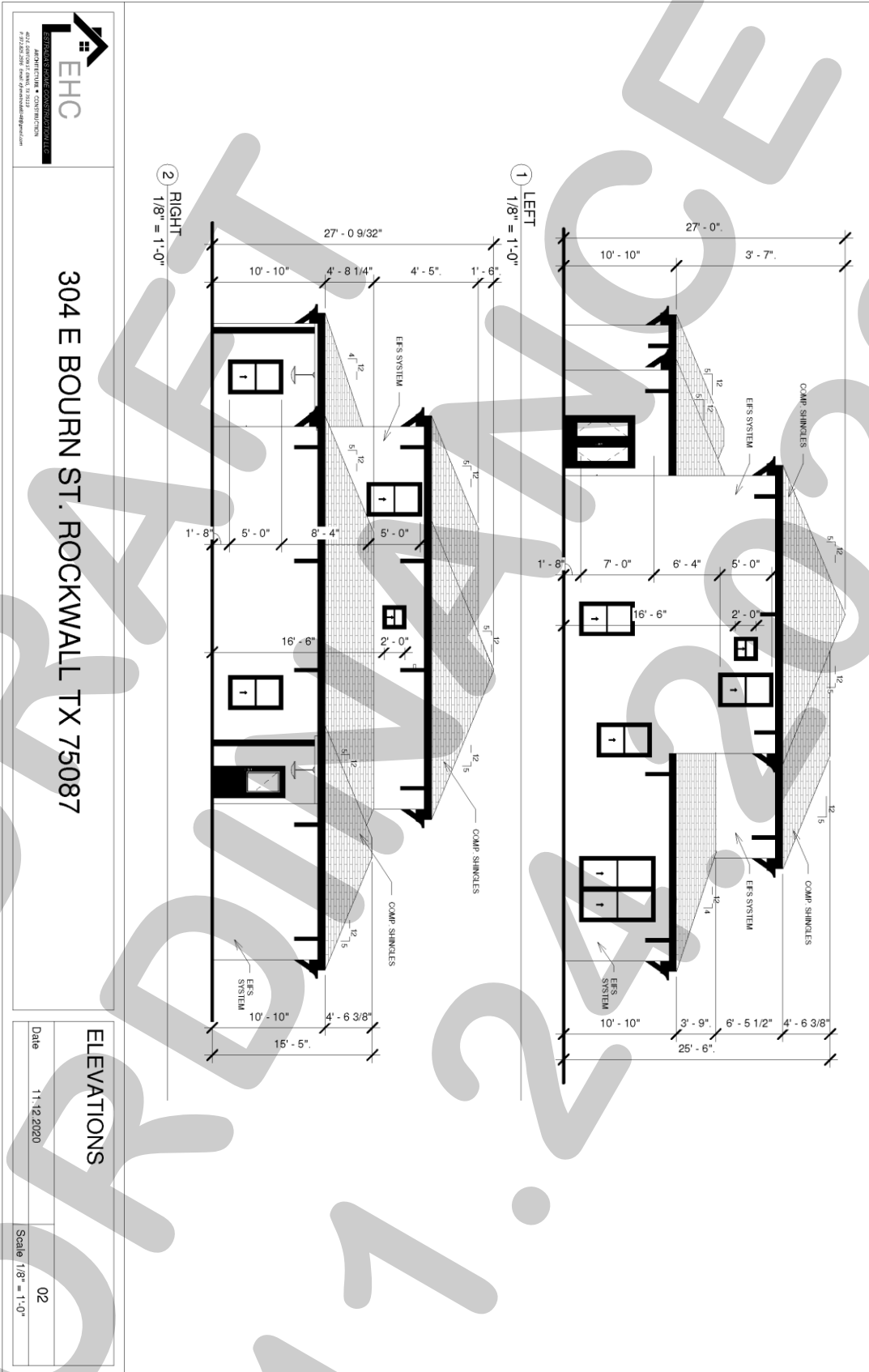
No.	Description	Scale

Name: A12
Title: SITE PLAN
Scale: 1/8" = 1'-0"

**Exhibit 'C':
Building Elevations**



**Exhibit 'C':
Building Elevations**



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: Z2020-050
PROJECT NAME: SUP for Residential Infill at 501 S. Clark
SITE ADDRESS/LOCATIONS: 501 S CLARK ST, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	11/20/2020	Approved w/ Comments

11/20/2020: I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B.F. Boydston Addition of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, and addressed as 501 S. Clark Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email Hlee@rockwall.com.

M.3 For reference, include the case number (Z2020-050) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that {1} consists of five (5) or more lots, {2} that is 90% or more developed, and {3} that has been in existence for more than ten (10) years. In this case, the subject property is located within 500 ft of an established subdivision (i.e. Mill Co., Richard Harris 2, and Dawson), which have existed more than 10 years, are more than 5 lots, and are more than 90% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... (and) all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision." Conformance to this requirement will be evaluated by staff and acted upon by the Planning and Zoning Commission and City Council.

I.6 According to Subsection 04.01(B) of Section 4, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages, unless it is a J-Swing garage where the garage door is perpendicular to the street."

M.7 In this case, the garage is 15 feet in front of the front façade, and does not meet the requirements of the Unified Development Code (UDC). This garage configuration will require approval by the City Council as part of the Specific Use Permit (SUP) ordinance.

M.8 Please review the attached Draft Ordinance prior to the November 24, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than December 1, 2020. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 1, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 8, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on November 24, 2020.

I.10 The projected City Council meeting dates for this case will be December 21, 2020 (1st Reading) and January 4, 2021 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Needs Review
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	11/16/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/17/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/17/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/16/2020	Approved
11/16/2020: No comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-050

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 501 S. Clark St. Rockwall, TX 75087

Subdivision _____ Lot 1 Block A

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning _____ Current Use _____

Proposed Zoning _____ Proposed Use _____

Acreage _____ Lots [Current] _____ Lots [Proposed] _____

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Kyle Bryan

Applicant Perry Bowen

Contact Person Perry Bowen

Contact Person Perry BOWER

Address 230 Myers Rd

Address 230 MYERS Rd

City, State & Zip HEATH, TX 75032

City, State & Zip HEATH, TX 75032

Phone 972-771-0986

Phone 409-446-5339

E-Mail pbowenhomes@sbccglobal.net

E-Mail pbowenhomes@sbccglobal.net

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Kyle Bryan [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of NOVEMBER, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated with a request for public information."

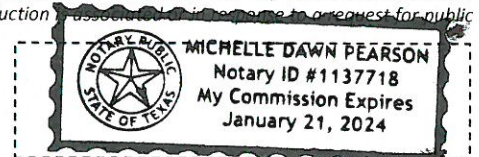
Given under my hand and seal of office on this the 13th day of November, 20 20.

Owner's Signature

Kyle Bryan

Notary Public in and for the State of Texas

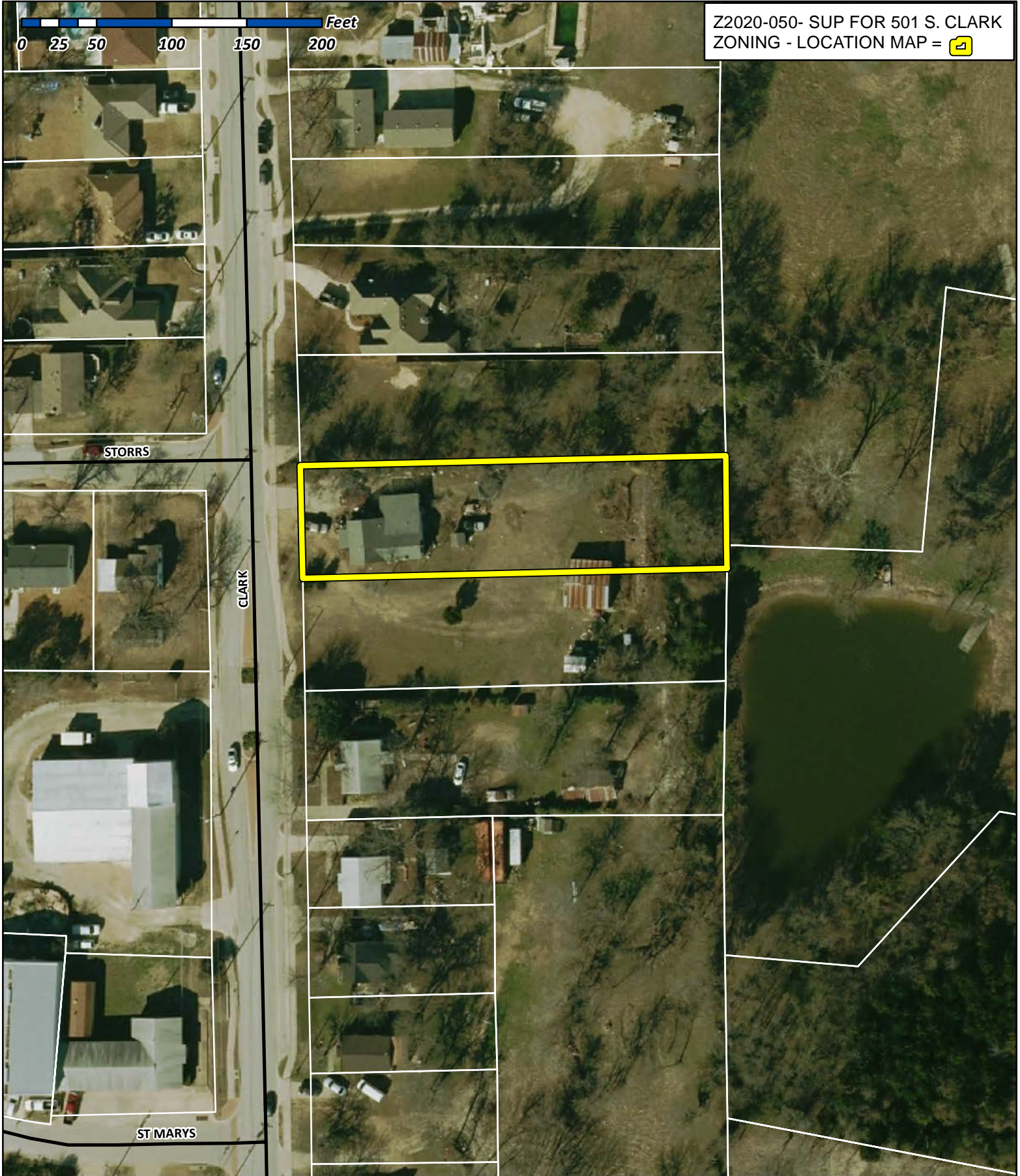
Michelle Dawn Pearson



My Commission Expires 1/24/2024

0 25 50 100 150 200 Feet

Z2020-050- SUP FOR 501 S. CLARK
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

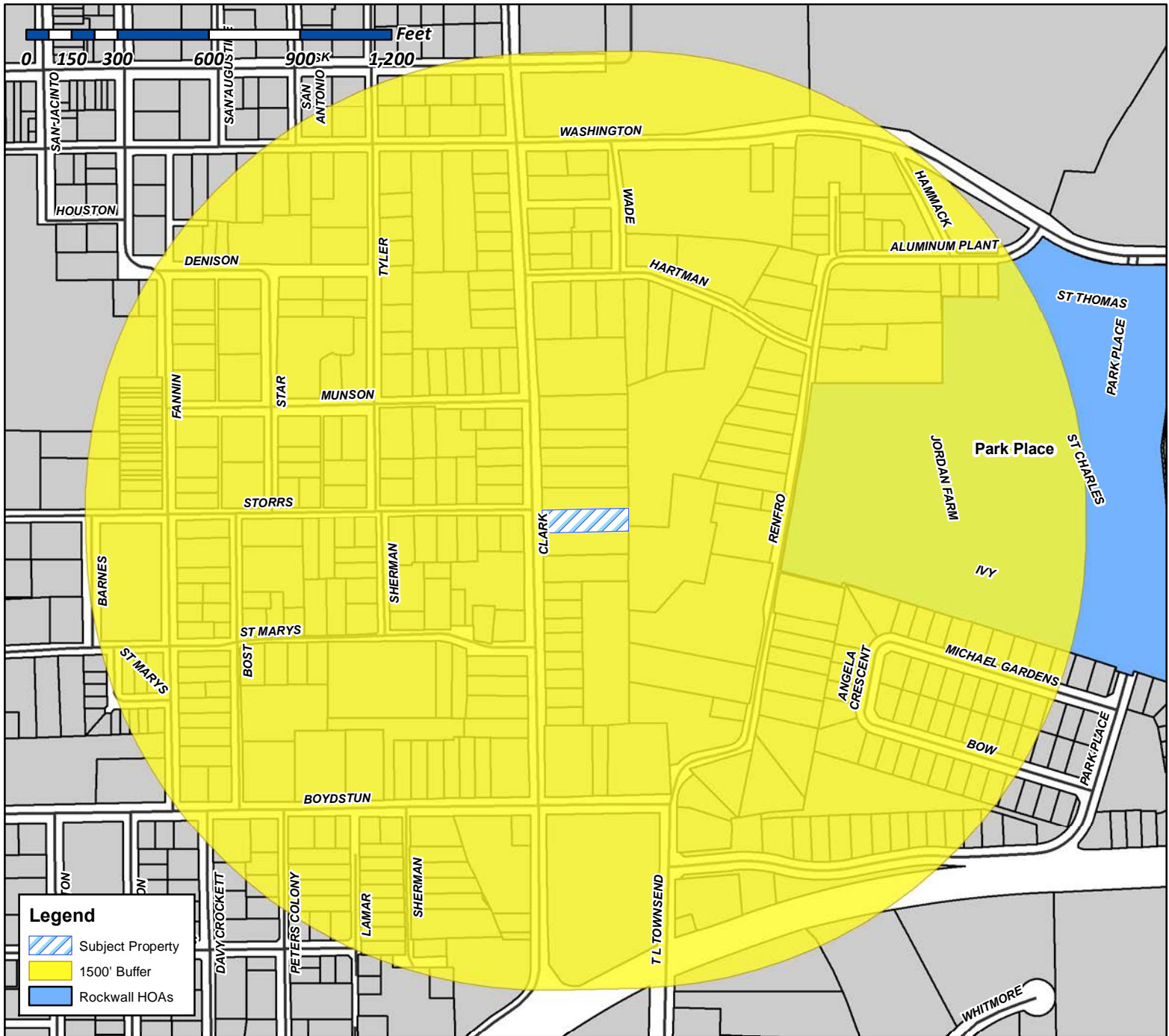




City of Rockwall

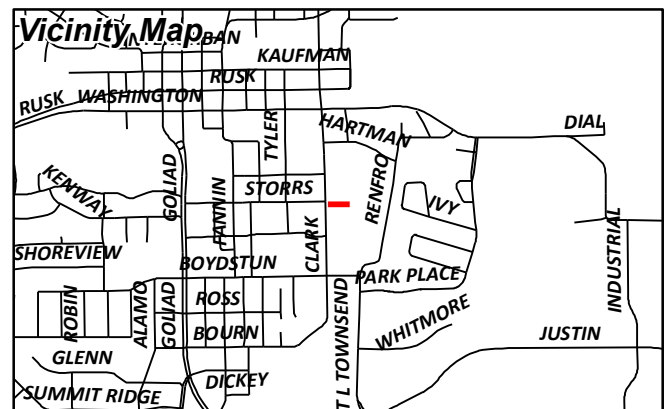
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-050
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 501 S. Clark Street

Date Created: 11/12/2020
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, November 18, 2020 2:30 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (11.12.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-050 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request Perry Bowen on behalf of Kyle Bryan for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

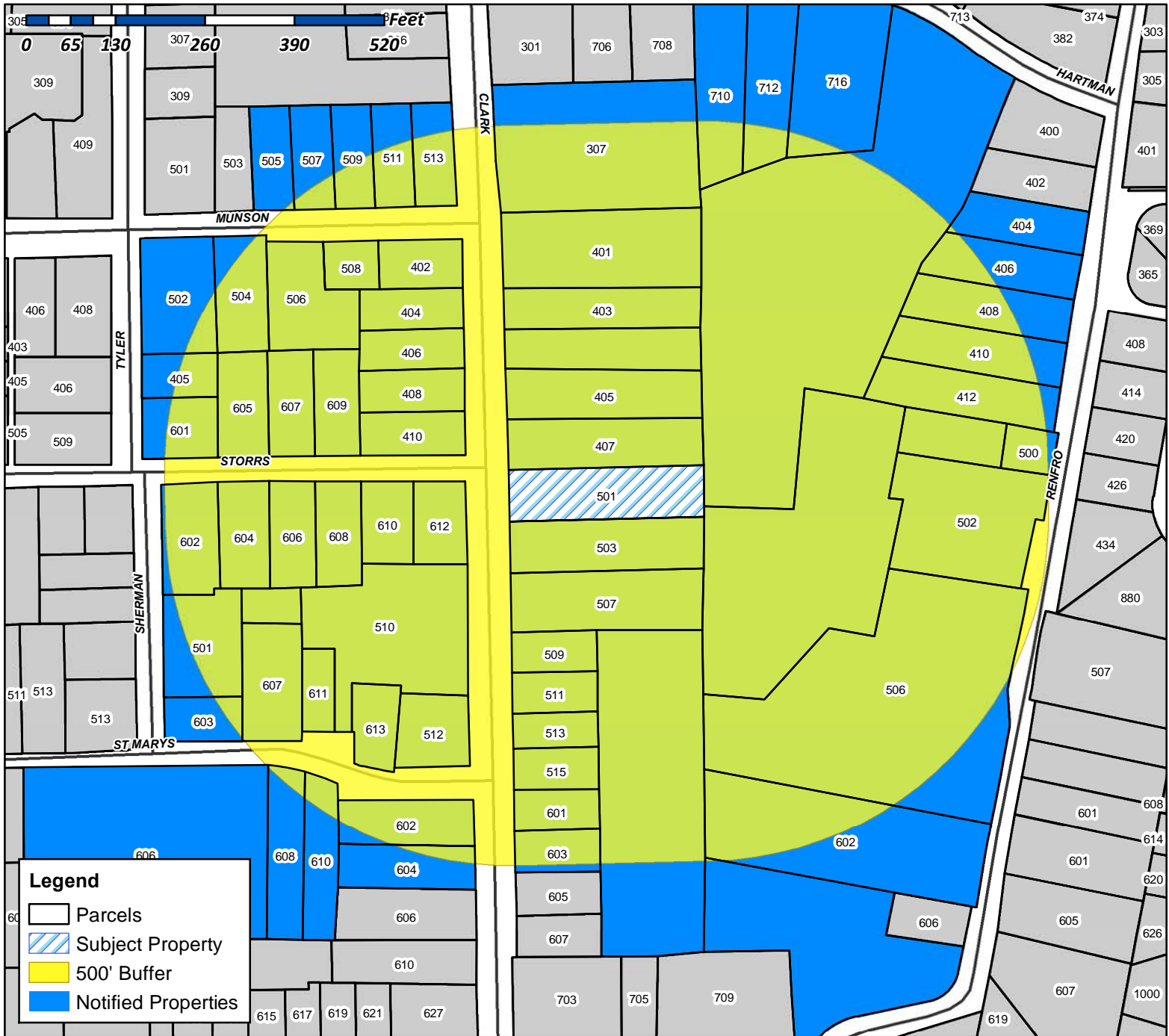
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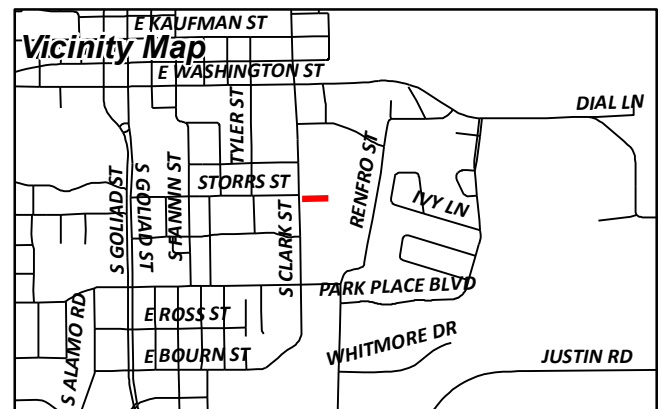
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

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Case Number: Z2020-050
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 501 S. Clark Street



Date Created: 11/12/2020
 For Questions on this Case Call (972) 771-7745

MCCALLUM DARRELL
1 SOAPBERRY LN
ROCKWALL, TX 75087

ANGEL NADA
11014 ITASCA DR
DALLAS, TX 75228

BOREN TERRY L ETUX
113 S BERNICE DR
GARLAND, TX 75042

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

TUTTLE LEON ETUX
1408 DHAKA DR
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75032

LOWREY DAVID D
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
215 GRIFFIN AVENUE
FATE, TX 75189

MUNSON PARTNERS 1 LLC
2241 AUBURN AVE
DALLAS, TX 75214

BOWEN CHASE AND
PERRY BOWEN
230 MYERS ROAD
HEATH, TX 75032

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

SPROUL DAVID D JR AND TRISH IRELAND
307 S CLARK ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

HAMANN KRISTIE M
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
3299 ROCHELLE RD
ROCKWALL, TX 75032

BRYAN KYLE & HALEY BROOKE
401 E KAUFMAN ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J & JANIS A
401 S CLARK ST
ROCKWALL, TX 75087

PANTOJA ANGEL & DENESYN FIGUEROA
402 S CLARK STREET
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
403 SCLARK ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
404 RENFROST
ROCKWALL, TX 75087

TUTTLE LEON ETUX
404 SCLARK ST
ROCKWALL, TX 75087

LIVINGSTON JUSTIN R & BROOKE D
405 S CLARK ST
ROCKWALL, TX 75087

TOVAR LUIS & MARICELA
405 TYLER ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
406 RENFROST
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
406 S CLARK ST
ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
407 S CLARK ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
408 RENFROST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
410 RENFROST
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA
410 S CLARK ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
412 RENFRO ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
500 RENFRO ST
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
501 SHERMANST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
501SCLARK
ROCKWALL, TX 75087

HOLLAND TRENTON A AND
ROD HOLLAND
502 MUNSON STREET
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
503 S CLARK
ROCKWALL, TX 75087

EARNHEART JOHN L
504 MUNSON ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
505 MUNSONST
ROCKWALL, TX 75087

EARNHEART JOHN L
506 MUNSON ST
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

WYCKOFF MICHELE M
507 MUNSON ST
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
508 MUNSON ST
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
509 MUNSON ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
509 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
510 S CLARK
ROCKWALL, TX 75087

FLORES JAMES AND
PATRICIA ORR FLORES
511 MUNSON ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
511 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
512 S CLARK
ROCKWALL, TX 75087

BOREN TERRY L ETUX
513 MUNSON ST
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
515 S CLARK ST
ROCKWALL, TX 75087

TOVAR LUIS & MARICELA
601 STORRS ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601 S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W
602 STORRS STREET
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
602 S CLARK ST
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
603 ST MARYS ST
ROCKWALL, TX 75087

RIVERA SARA ELIA
603 S CLARK ST
ROCKWALL, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
604 S CLARK ST
ROCKWALL, TX 75087

DAVIS JIMMY JACK
605 STORRS ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D
606 STORRS STREET
ROCKWALL, TX 75087

STARK ROBERT SCOTT
607 SAINT MARY ST
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
608 ST MARYSST
ROCKWALL, TX 75087

LOWREY DAVID D
608 STORRS ST
ROCKWALL, TX 75087

GADDIS DANNY E
609 STORRS ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

JOHNSTON SHERRI A
610 STORRS ST
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

ANGEL NADA
612 STORRS ST
ROCKWALL, TX 75087

MCCALLUM DARRELL
613 ST MARYS PL
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
710 AGAPE ST
ROCKWALL, TX 75087

RENDON MARCELINO J JR
710 HARTMAN ST
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN
712 HARTMAN ST
ROCKWALL, TX 75087

HOOVER LINDA WEST-
716 HARTMAN STREET
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
880 IVY LANE
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

FLORES JAMES AND
PATRICIA ORR FLORES
PO BOX 237
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
PO BOX 868
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-050: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request Perry Bowen on behalf of Kyle Bryan for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-050: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

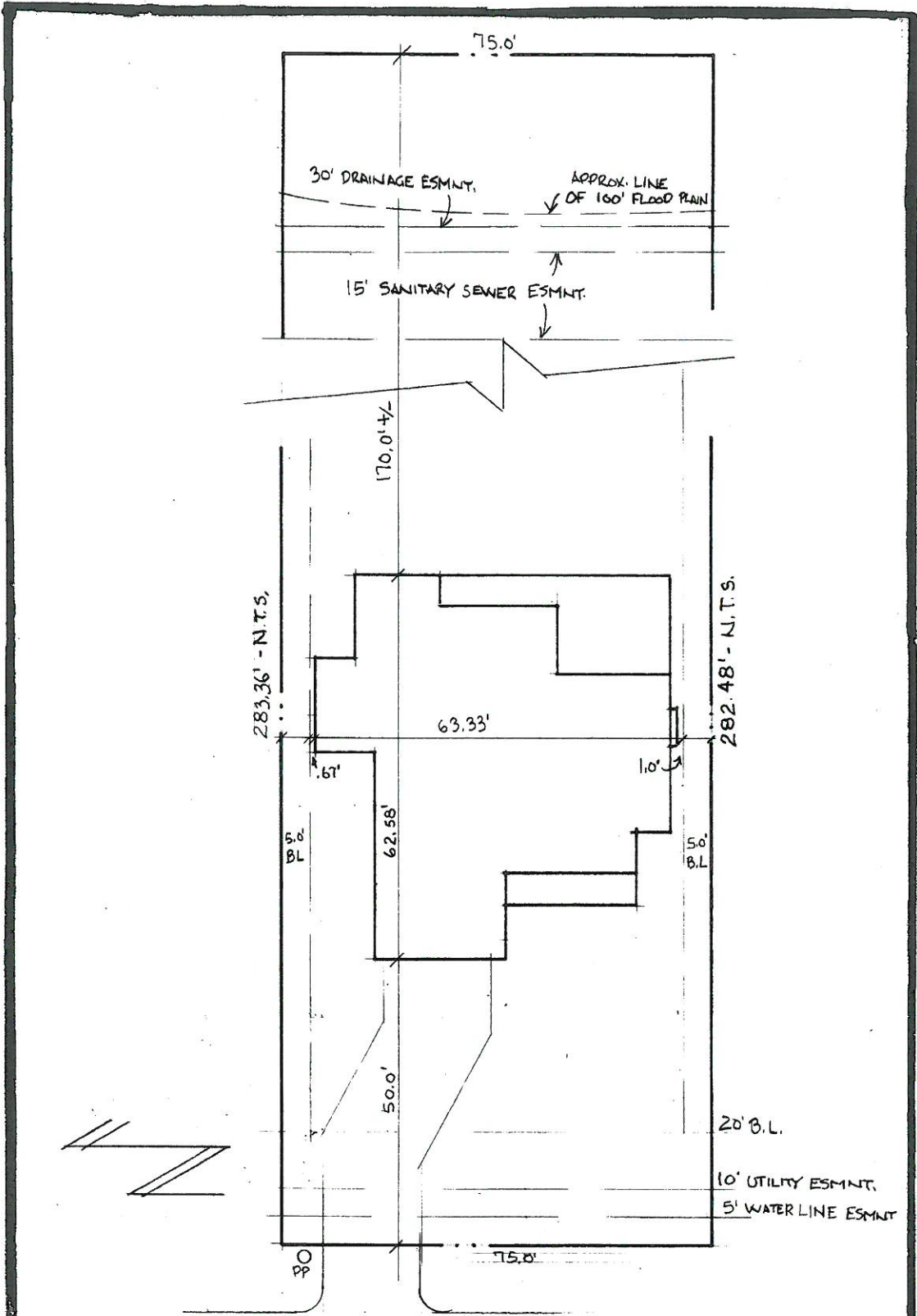
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



08-2020

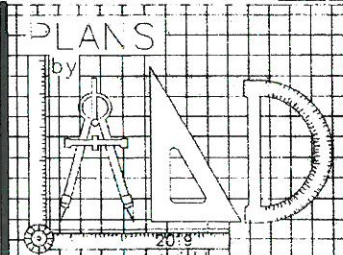
SCALE 1" = 20.0'

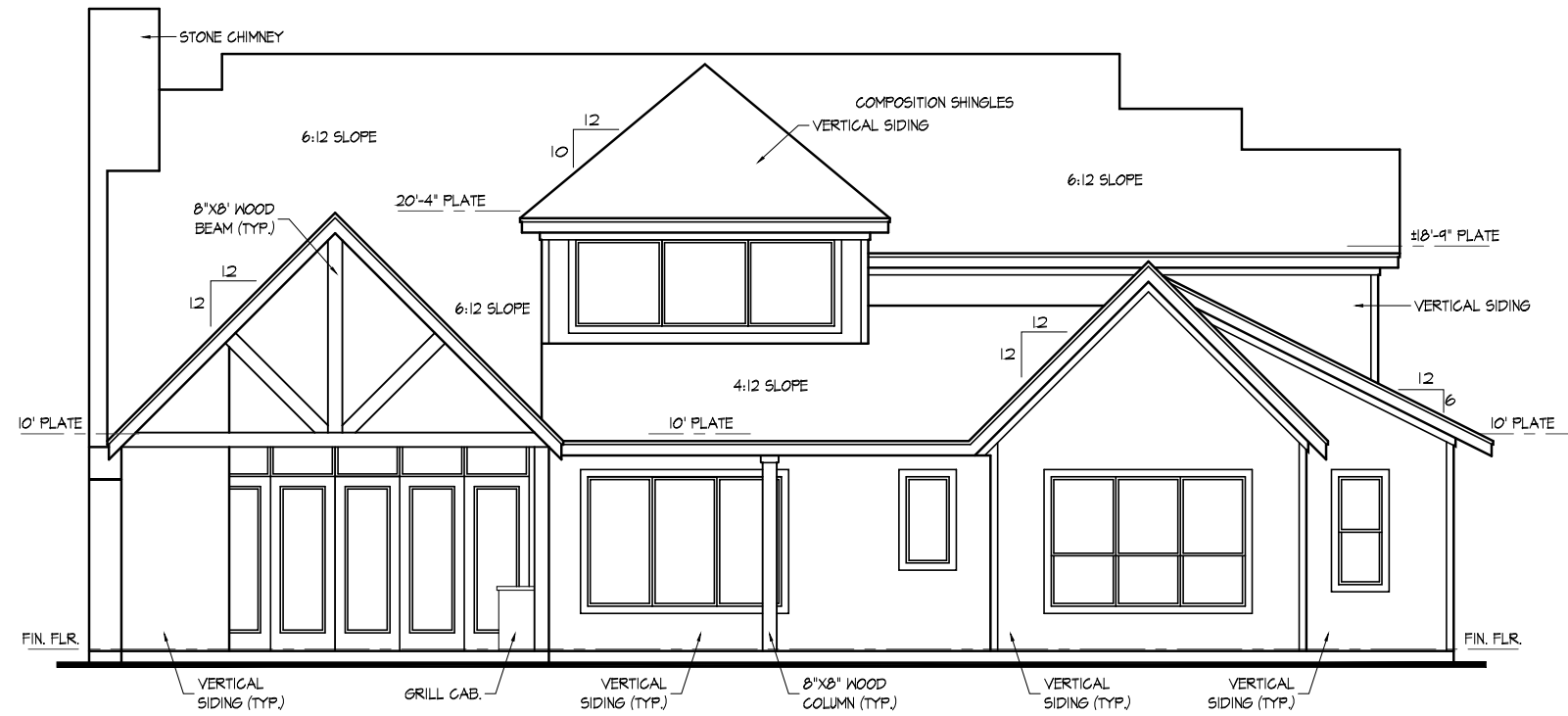
The BRYAN Residence
 HALEY + KYLE Addition
 LOT: 1 BLK A
 501 S. CLARK ST.
 ROCKWALL, TX

MICHAEL V. LAND

RICHARDSON TX. 75080
 PHONE: 972.250.2005

EMAIL: plansbyland@att.net





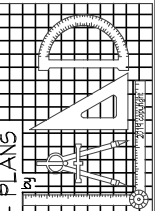
REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PLANS
 MICHAEL V. LAND
 EMAIL: planningland@gmail.com
 N. COLLINS BLVD
 ROCKWALL, TX, 75080
 PHONE: 972.280.0200
 FAX: 972.280.0205

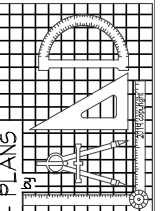
THE BRYAN RESIDENCE
 501 S. Clark St.
 Rockwall, TX.

THESE PLANS ARE INTENDED TO PROVIDE BASIC INFORMATION TO THE BUILDER. THE BUILDER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THESE PLANS PRIOR TO CONSTRUCTION. THE ARCHITECT DOES NOT SCALE THESE DRAWINGS. THE ARCHITECT RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED IN THE FIELD. LOCAL CODES, ORDINANCES, AND REGULATIONS SHALL BE OBTAINED BY THE BUILDER. THE ARCHITECT'S LIABILITY IS LIMITED TO THE EXCEED PRICE PAID FOR THE PLANS.

PLAN NO.
 3102

DATE
 7-20-20

REVISION DATES
 8-12-20



MICHAEL V. LAND
 P.L.L.C.
 25411 planningland@gmail.com
 N. COLLINS BLVD
 ROCKWELL, TX, 75080
 TEL: 972.280.0200
 FAX: 972.280.0205

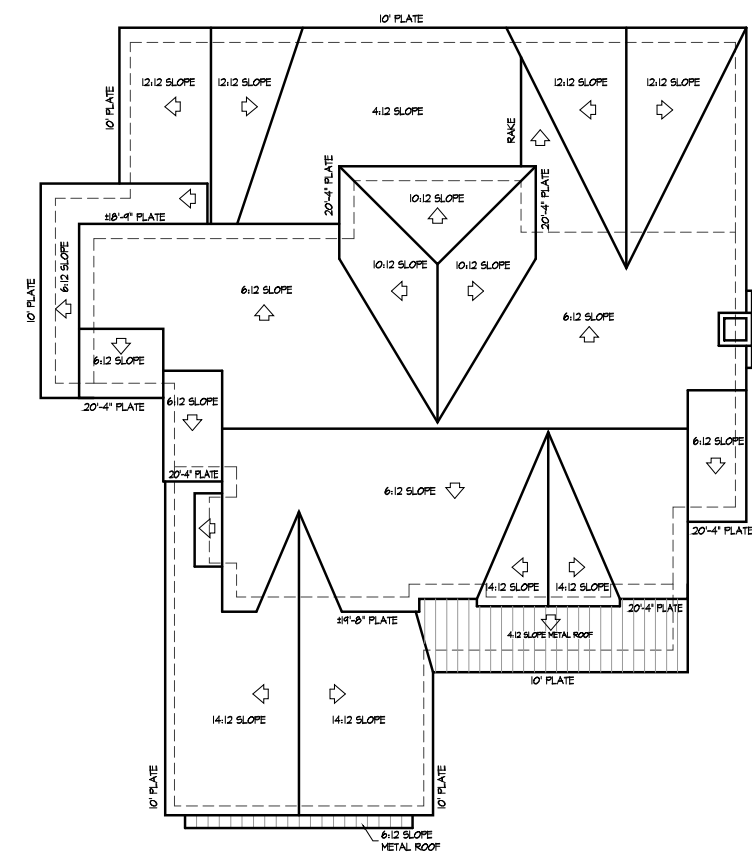
THE BRYAN RESIDENCE
 501 S. Clark St.
 Rockwall, TX.

THESE PLANS ARE INTENDED TO PROVIDE BASIC INFORMATION TO THE BUILDER AND ARE NOT TO BE USED TO COMPLETE THIS STRUCTURE. FIELD VERIFY THE ACCURACY OF THESE PLANS PRIOR TO CONSTRUCTION. DO NOT SCALE THESE DRAWINGS. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED IN THE FIELD. LOCAL CODES, ORDINANCES, AND REGULATIONS MAY REQUIRE CHANGES TO THESE PLANS. EXCEED PRICE PAID FOR THE PLANS.

PLAN NO.
3102

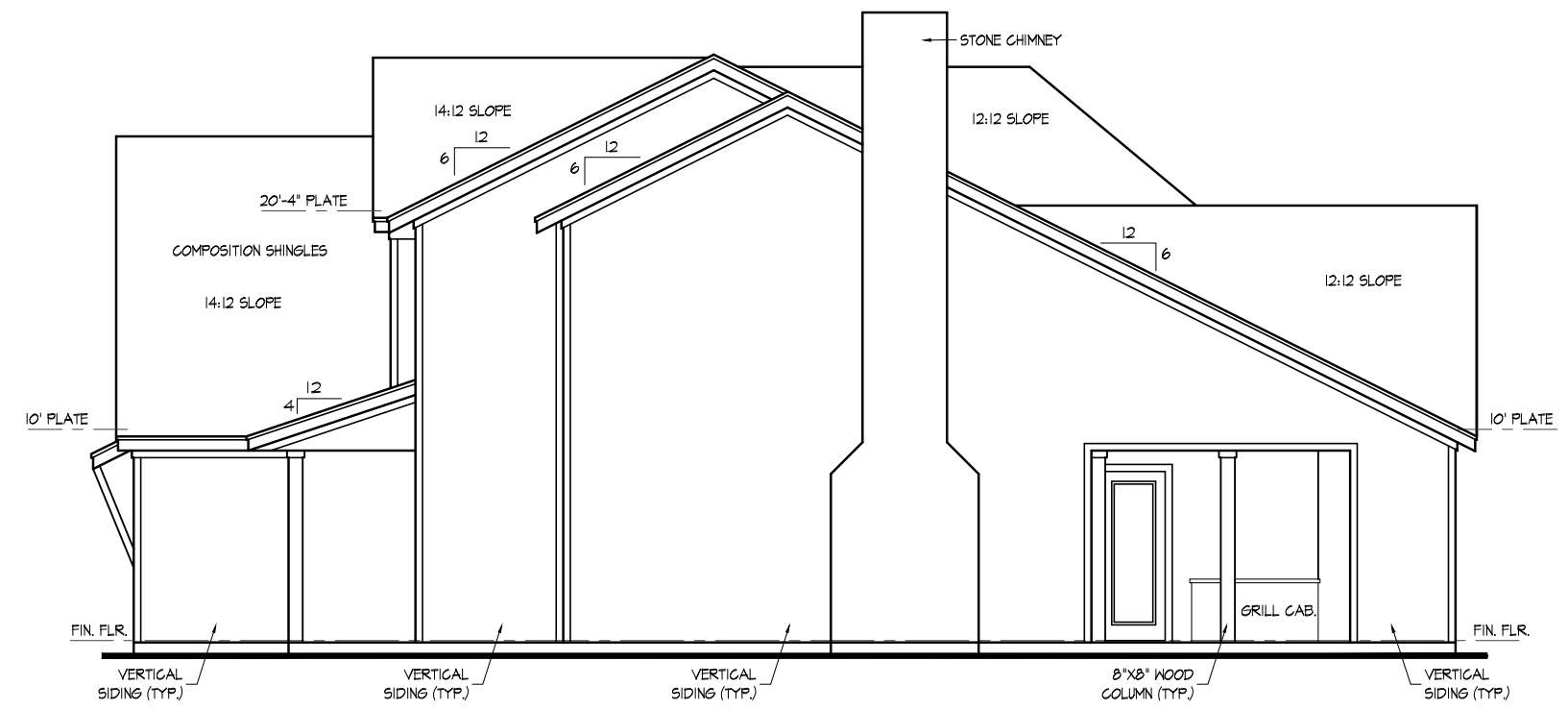
DATE
7-20-20

REVISION DATES
8-12-20



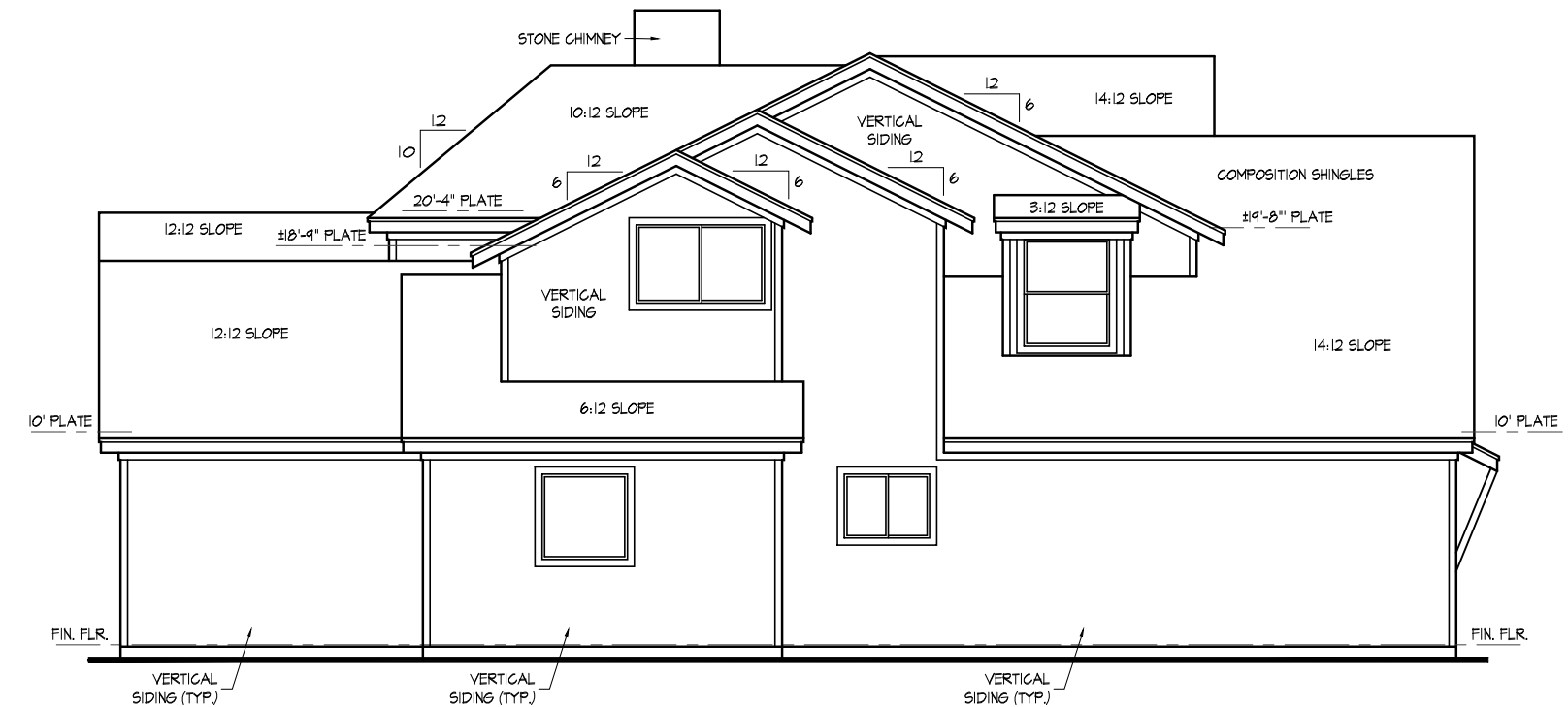
ROOF PLAN

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
402 S Clark Street	Single-Family Home	1987	1,090	216	Brick
403 S Clark Street	Single-Family Home	1966	720	N/A	Siding
404 S Clark Street	Single-Family Home	1983	1,097	N/A	Brick
405 S Clark Street	Single-Family Home	2006	1,682	N/A	Brick
406 S Clark Street	Single-Family Home	1990	1,348	144	Brick
408 S Clark Street	Single-Family Home	2006	2,049	N/A	Brick
410 S Clark Street	Single-Family Home	1989	1,112	N/A	Siding
501 S Clark Street	Single-Family Home	<i>Subject Property</i>			
503 S Clark Street	Other	1975	N/A	600	Metal
507 S Clark Street	Single-Family Home	1975	884	670	Brick
509 S Clark Street	Single-Family Home	1945	768	240	Siding
510 S Clark Street	Other	1970	N/A		Metal
511 S Clark Street	Single-Family Home	1940	951	N/A	Siding
512 S Clark Street	Other	1960	N/A		Siding
513 S Clark Street	Single-Family Home	1966	744	N/A	Siding
601 S Clark Street	Single-Family Home	1945	789	N/A	Siding
604 Storrs Street	Single-Family Home	1990	1,262	48	Siding
605 Storrs Street	Single-Family Home	1980	1,554	370	Siding
606 Storrs Street	Single-Family Home	1990	929	N/A	Siding
607 Storrs Street	Single-Family Home	1993	1,170	N/A	Siding
608 Storrs Street	Single-Family Home	1950	735	196	Siding
609 Storrs Street	Single-Family Home	1990	1,168	N/A	Siding
610 Storrs Street	Single-Family Home	1985	1,130	100	Siding
612 Storrs Street	Single-Family Home	1960	696	320	Siding
Averages:		1976	1,094		



402 S Clark Street



403 S Clark Street



404 S Clark Street



405 S Clark Street



406 S Clark Street



408 S Clark Street



410 S Clark Street



501 S Clark Street



503 S Clark Street



507 S Clark Street



509 S Clark Street



510 S Clark Street



511 S Clark Street



512 S Clark Street



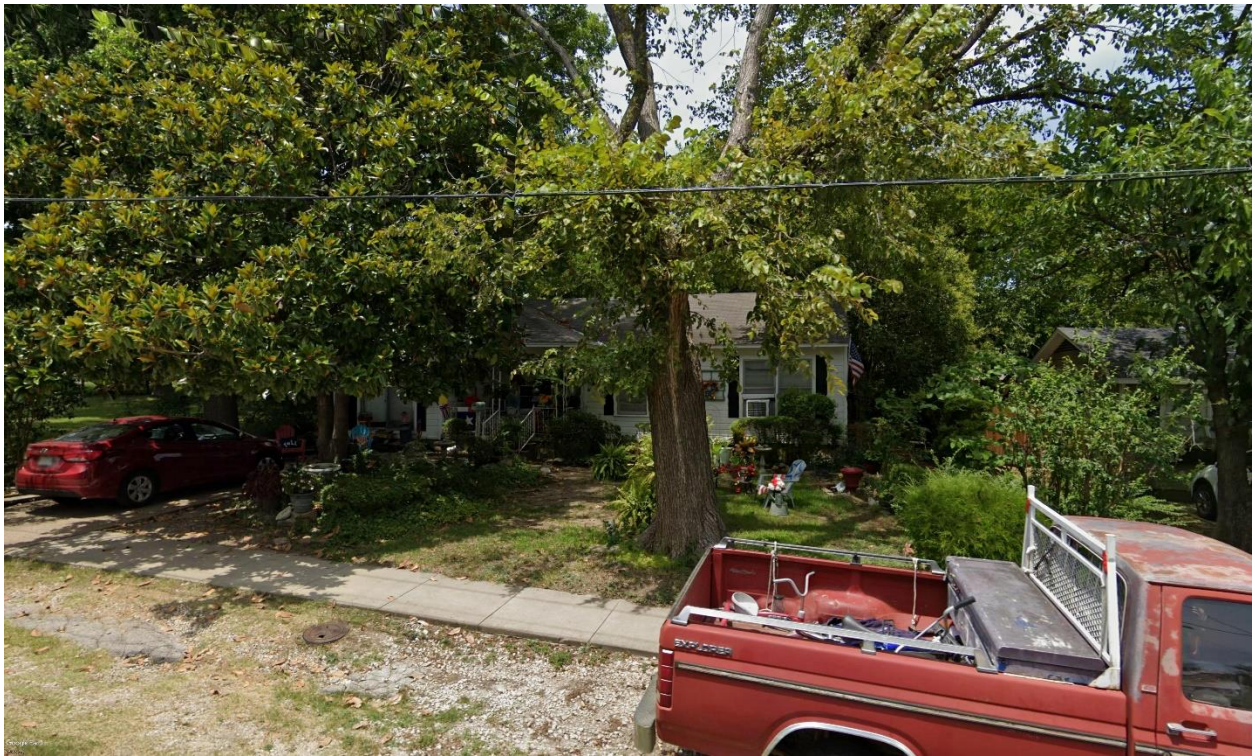
513 S Clark Street



601 S Clark Street



604 Storrs Street



605 Storrs Street



606 Storrs Street



607 Storrs Street



608 Storrs Street



609 Storrs Street



610 Storrs Street



612 Storrs Street

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.9655-ACRE PARCEL OF LAND, IDENTIFIED AS LOT A, BLOCK 107, B.F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Perry Bower for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.9655-acre parcel of land being described as Lot A, Block 107, B.F. Boydston, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

Exhibit 'A'
Location Map and Survey

Address: 501 S. Clark Street

Legal Description: Lot A, Block 107, B.F. Boydston Addition



**Exhibit 'B':
Residential Plot Plan**

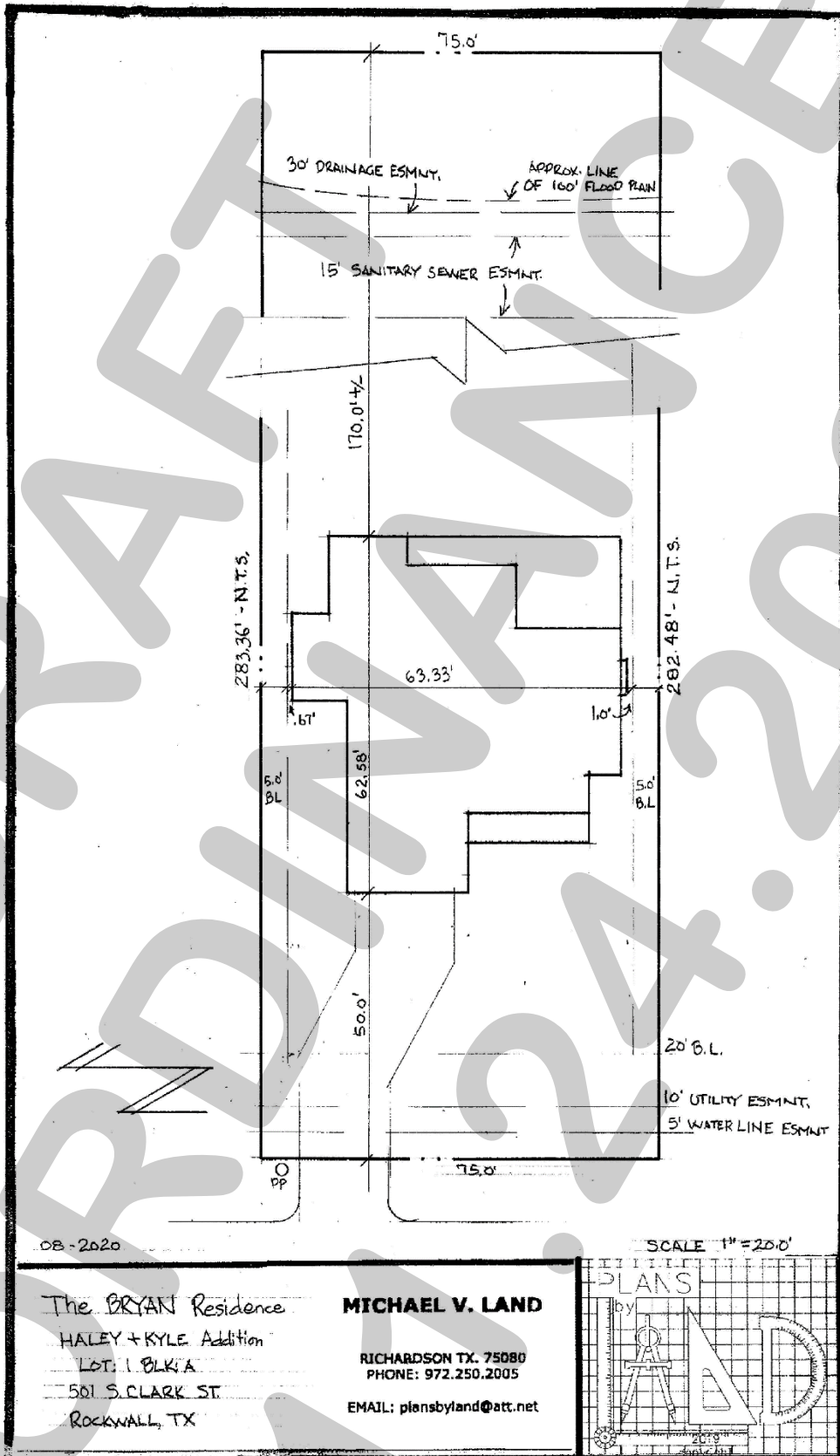
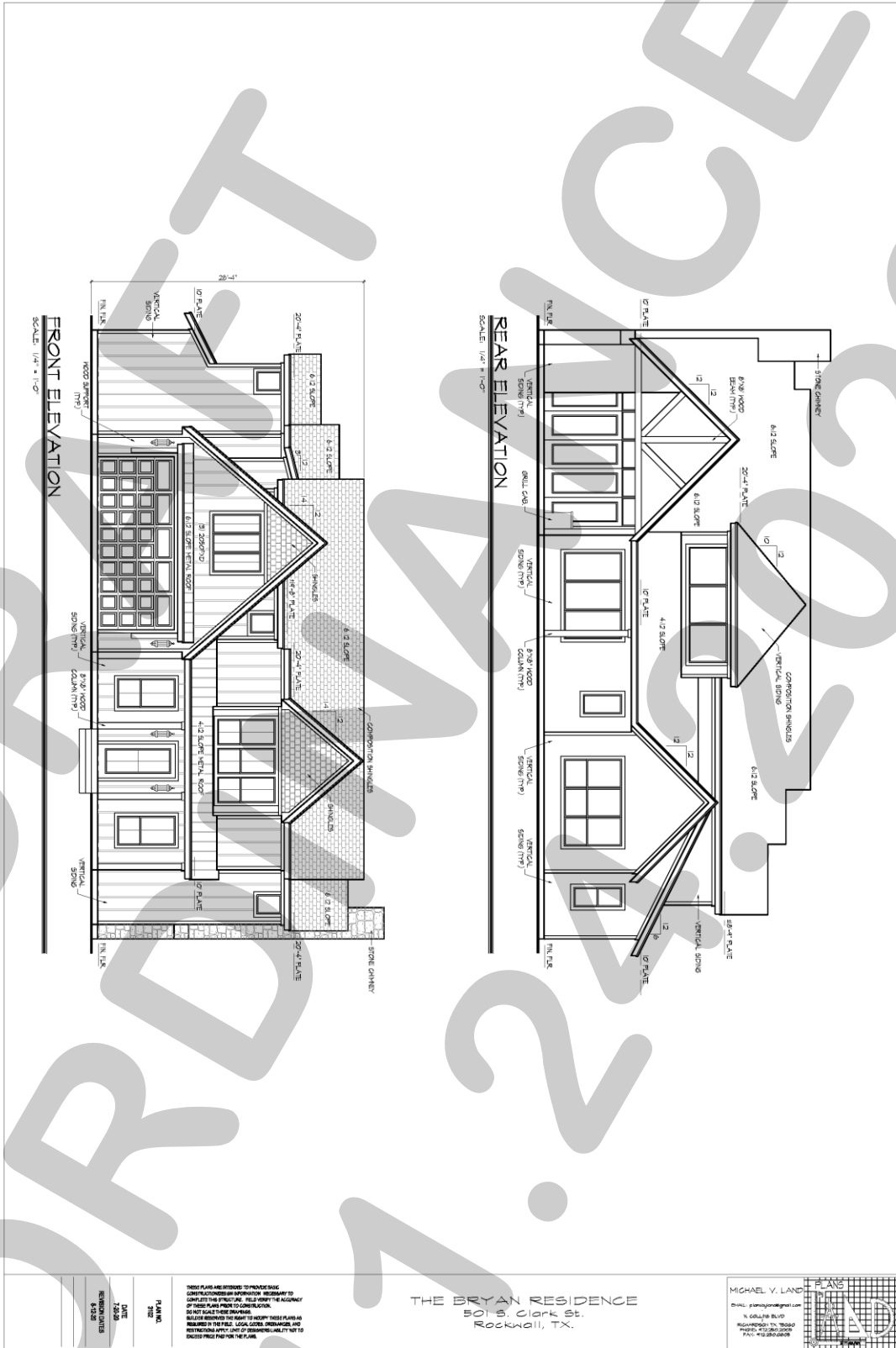
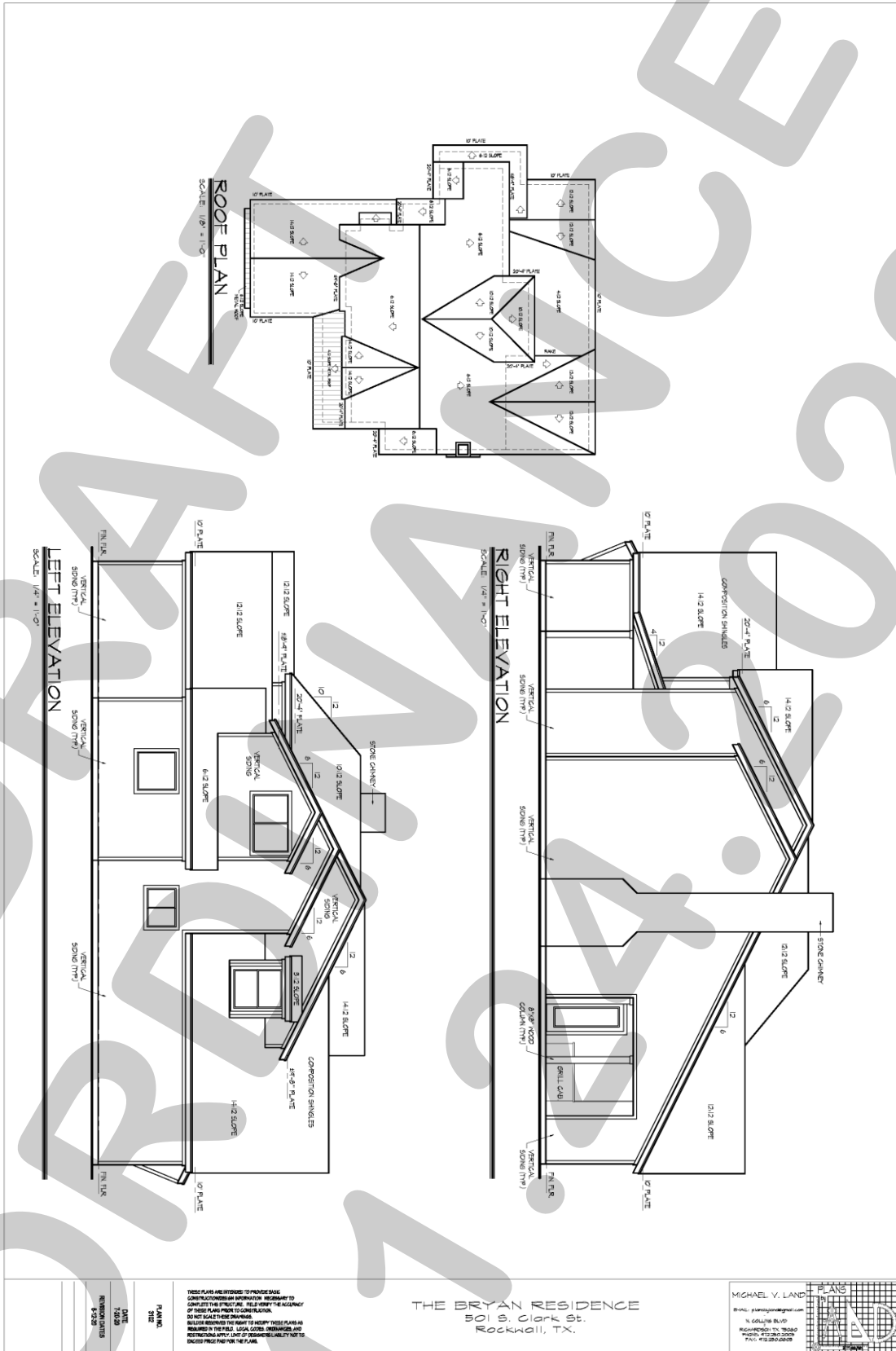


Exhibit 'C':
Building Elevations



**Exhibit 'C':
Building Elevations**



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: Z2020-051
PROJECT NAME: SUP for Residential Infill at 38 Shadydale Lane
SITE ADDRESS/LOCATIONS: 38 SHADYDALE LN, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	11/20/2020	Approved w/ Comments

11/20/2020: I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 12.5 (SF-12.5) District land uses, and addressed as 38 Shadydale Lane.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email Hlee@rockwall.com.

M.3 For reference, include the case number (Z2020-051) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that {1} consists of five (5) or more lots, {2} that is 90% or more developed, and {3} that has been in existence for more than ten (10) years. In this case, the subject property is located within 500 ft of an established subdivision (i.e. Foxchase Phases 1-6 and Benton Woods), which have existed more than 10 years, are more than 5 lots, and are more than 90% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... (and) all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision." Conformance to this requirement will be evaluated by staff and acted upon by the Planning and Zoning Commission and City Council.

M.7 Please review the attached Draft Ordinance prior to the November 24, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than December 1, 2020. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 1, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 8, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on November 24, 2020.

I.9 The projected City Council meeting dates for this case will be December 21, 2020 (1st Reading) and January 4, 2021 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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BUILDING	Rusty McDowell	11/16/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/17/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/17/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/16/2020	Approved
11/16/2020: No comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-051

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address: 38 Shadydale

Subdivision: Shady Dale Estates Lot: 8 Block: 1

General Location: Ridge Road / Shadydale

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: PD 9 Current Use: VACANT

Proposed Zoning: _____ Proposed Use: SF home

Acreage: 0.30 Lots [Current]: 1 Lots [Proposed]: 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	<u>Travis Redden</u>	<input type="checkbox"/> Applicant	_____
Contact Person	_____	Contact Person	_____
Address	<u>1115 Concan Drive</u>	Address	_____
City, State & Zip	<u>Forney, TX 75126</u>	City, State & Zip	_____
Phone	<u>214-315-3952</u>	Phone	_____
E-Mail	<u>asturiasdevelopments@gmail.com</u>	E-Mail	_____

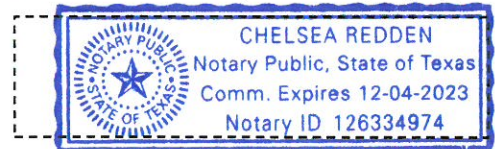
NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Travis Redden [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 21 day of October, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."


Given under my hand and seal of office on this the 21 day of October, 2020.

Owner's Signature: Travis Redden
Notary Public in and for the State of Texas: Chelsea Redden



My Commission Expires 12/04/23

0 20 40 80 120 160 Feet

Z2020-051- SUP FOR RESIDENTIAL INFILL AT
38 SHADYDALE LANE
ZONING - LOCATION MAP = 

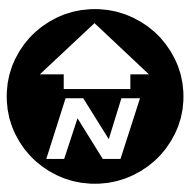
OAK



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

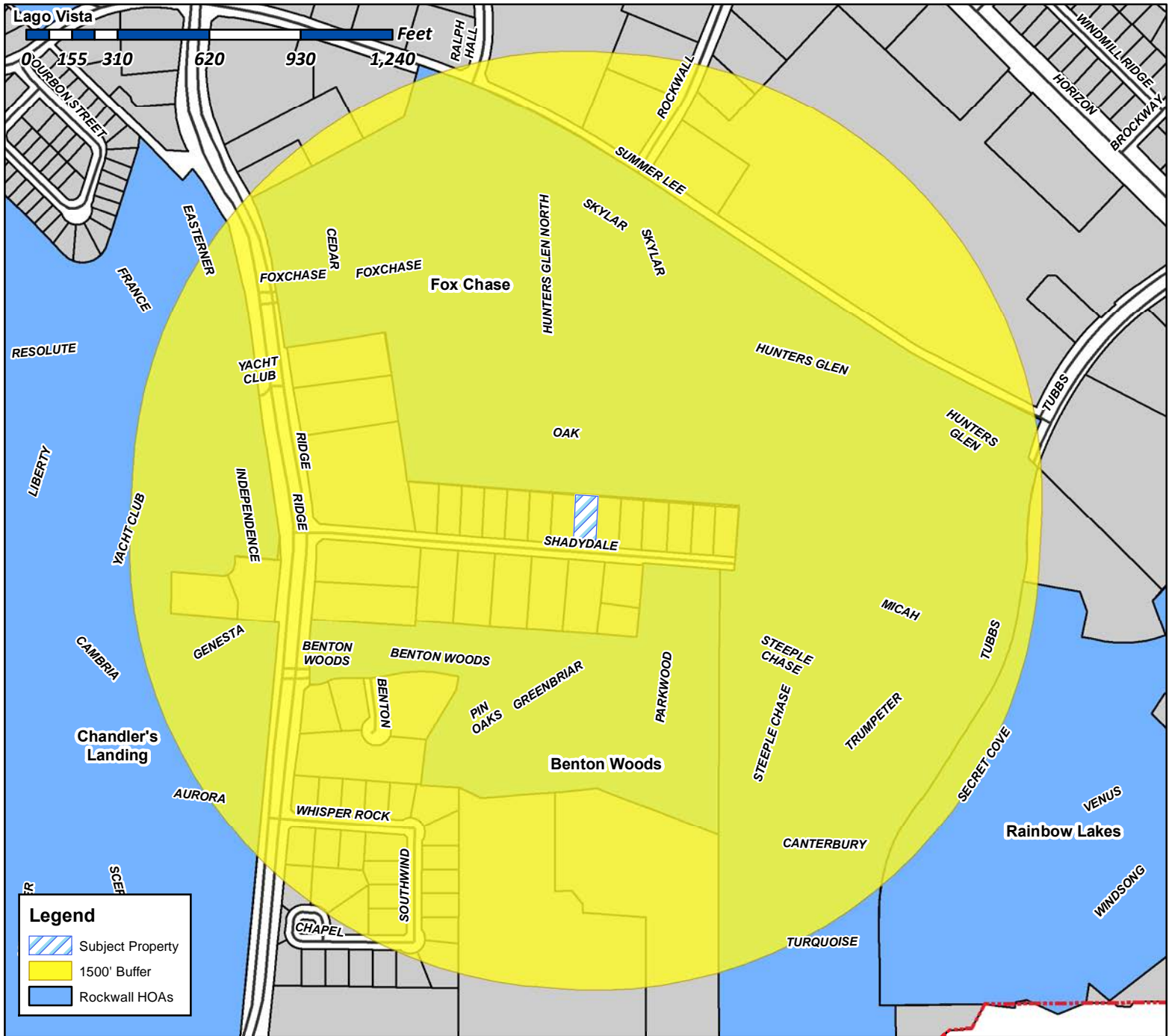




City of Rockwall

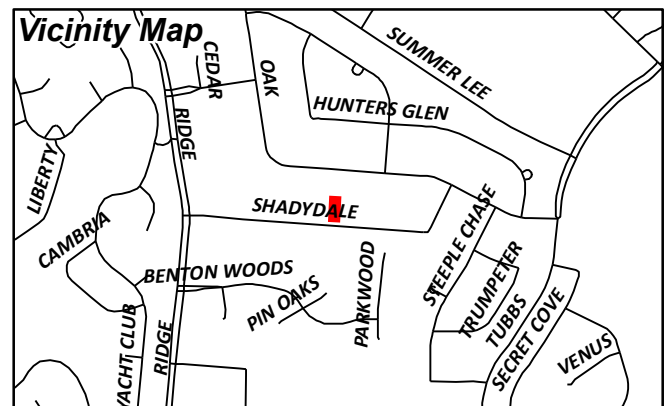
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-051
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 38 Shadydale Lane

Date Created: 11/13/2020
For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, November 18, 2020 2:30 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (11.13.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-051 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request Travis Redden for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

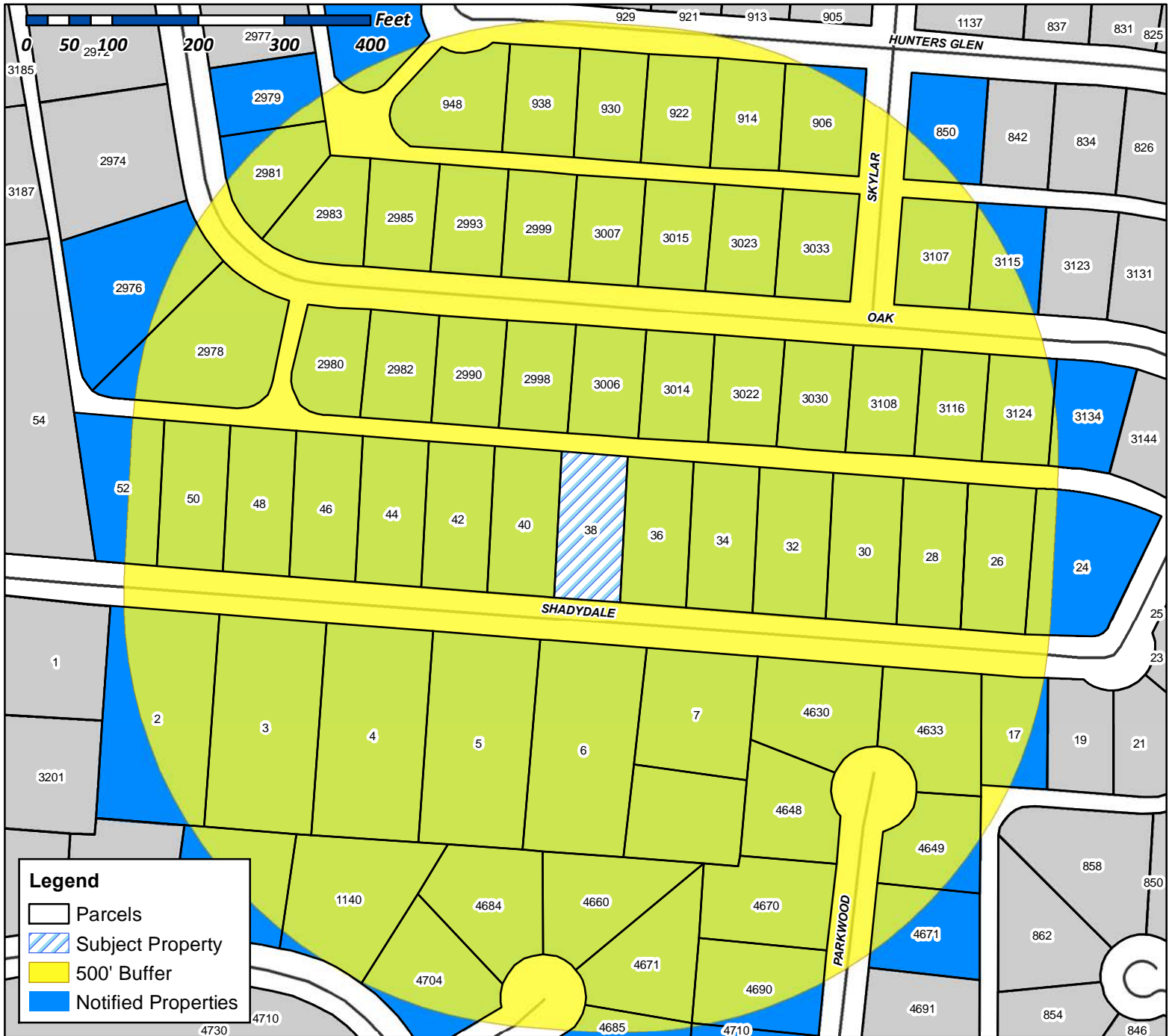
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City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-051
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 38 Shadydale Lane

Date Created: 11/13/2020
For Questions on this Case Call (972) 771-7745



BCL REAL ESTATE LLC
103 GROSS RD BLDG A
MESQUITE, TX 75149

ROYALAND PROPERTIES LLC
11034 GRISSOM LANE
DALLAS, TX 75229

REDDEN TRAVIS
1115 CONCAN DRIVE
FORNEY, TX 75126

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

EDWARDS RICHARD J
1140 BENTON WOODS DR
ROCKWALL, TX 75032

TIMBES GARY R & ELIZABETH S
1164 BENTON WOODS DR
ROCKWALL, TX 75032

TALCOTT CLARECE
1606 HIDDEN CREEK DR
ROYSE CITY, TX 75189

BALLARD STEVE & ANNABETH
17 SHADYDALE LANE
ROCKWALL, TX 75032

BYBEE TERRY DON & CATHERINE DENISE
2 SHADYDALE LANE
ROCKWALL, TX 75032

WILLIS GEORGE V & KAREN
24 SHADY DALE LN
ROCKWALL, TX 75032

SUDELA THOMAS S AND KAREN C
26 SHADY DALE LN
ROCKWALL, TX 75032

WEINTRAUB DONALD AND KATHLEEN
28 SHADY DALE LANE
ROCKWALL, TX 75032

RAMOS EMILIO & MARIA C
2976 OAK DR
ROCKWALL, TX 75032

FOSTER JOHN CHRISTOPHER & DONNA
2978 OAK DR
ROCKWALL, TX 75032

SEXTON CHRISTOPHER
2979 OAK DR
ROCKWALL, TX 75032

SALUCCI JOSEPH LILIA
2980 OAK DR
ROCKWALL, TX 75032

FLORANCE JOSEPH V
2981 OAK DRIVE
ROCKWALL, TX 75032

COOKS LESTER L & DORIS M
2982 OAKDR
ROCKWALL, TX 75032

ELWONGER MARLENA JOY AND JASON
COLEMAN
2983 OAK DR
ROCKWALL, TX 75032

QUALLS CHARLES S & MARY K
2985 OAK DR
ROCKWALL, TX 75032

LACY SUE LIFE ESTATE AND
PHYLLIS COTTON AND KERI LACY ZUCKERBROW
2990 OAK DRIVE
ROCKWALL, TX 75032

CHOATE RANDELL G & CAROLYN J
2993 OAK DR
ROCKWALL, TX 75032

THORNLEY JILL E & GERALD R
2996 HUNTERS GLN N
ROCKWALL, TX 75032

FRISBY JOHN R & THERESA M
2998 OAK DR
ROCKWALL, TX 75032

COUGHLIN BRIAN & KAREN
2999 OAK DR
ROCKWALL, TX 75032

MITCHELL RYAN PATTON & AMANDA NICOLE
3 SHADYDALE LANE
ROCKWALL, TX 75032

BESS JULIE M AND JOHN HAGAMAN
30 SHADY DALE LN
ROCKWALL, TX 75032

HOYA CHARLOTTE G
3006 OAK DR
ROCKWALL, TX 75032

TALCOTT CLARECE
3007 OAKDR
ROCKWALL, TX 75032

GROSS STEPHEN R & MICHELLE L
3014 OAK DR
ROCKWALL, TX 75032

ROYALAND PROPERTIES LLC
3015 OAKDR
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A
3021 RIDGE RD SUITE A PMB #131
ROCKWALL, TX 75032

FOLKS ARCHIE PATRICK & JANETTE E
3022 OAK DR
ROCKWALL, TX 75032

PETROCELLY JUNE LIVING TRUST
JUNE PETROCELLY TRUSTEE
3023 OAK DRIVE
ROCKWALL, TX 75087

COOKS LESTER L & DORIS M
3026 ANDREW DR
FARMERSVILLE, TX 75442

MCDONALD NICOLE AND ADAM
3030 OAK DR
ROCKWALL, TX 75032

CLARK ROGER AND VICKIE LYNN
3033 OAK DRIVE
ROCKWALL, TX 75032

NANCE CARLTON ERIC & RHONDA D
3107 OAK DR
ROCKWALL, TX 75032

BOWERS DENNIS & COLLEEN
3108 OAK DR
ROCKWALL, TX 75032

MCMAHON SANDRA
3115 OAK DR
ROCKWALL, TX 75032

BEVAN MARILYN
3116 OAK DR
ROCKWALL, TX 75032

CHILDRESS SHERRY L
(ALICE CHILDRESS LIFE ESTATE)
3124 OAK DR
ROCKWALL, TX 75032

MANNO SHARON &
PAUL FULLINGTON
3134 OAK DR
ROCKWALL, TX 75032

KASIRI SAHBA AND SARA SADEGHI
32 SHADY DALE LN
ROCKWALL, TX 75032

TINDALL CINDY P
34 SHADY DALE LN
ROCKWALL, TX 75032

WATSON BRANDON AND VALERIE
36 SHADY DALE LN
ROCKWALL, TX 75032

REDDEN TRAVIS
38 SHADY DALELN
ROCKWALL, TX 75032

RHUDY FAMILY REVOCABLE LIVING TRUST
RHUDY THOMAS RICHARD AND LAURA MARIE-
TRUSTEES
3923 POSTRIDGE TRAIL
MELBOURNE, FL 32934

TASSET AUSTIN & KENNEDY
4 SHADY DALE LANE
ROCKWALL, TX 75032

CASTLEROCK CUSTOM BUILDERS LLC
40 SHADY DALELN
ROCKWALL, TX 75032

PITTMAN JAMES CHRISTOPHER AND AMY
42 SHADY DALE LANE
ROCKWALL, TX 75032

MARTINEZ MAYRA
44 SHADY DALE LANE
ROCKWALL, TX 75032

VITALE LINDA A
46 SHADY DALE LN
ROCKWALL, TX 75032

KHODAPARAST RAHIM & ROYA
4630 PARKWOOD DR
ROCKWALL, TX 75087

VEST DONALD R
4633 PARKWOOD DR
ROCKWALL, TX 75032

CARNEVALE EDWARD A JR AND PAMELA D
4648 PARKWOOD DRIVE
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A
4649 PARKWOODDR
ROCKWALL, TX 75032

FREEMAN DENWARD LEE & ELIZABETH ANN
4660 GREENBRIAR CT
ROCKWALL, TX 75032

KUBIN CHRISTOPHER J AND ABIGAIL
4670 PARKWOOD DR
ROCKWALL, TX 75032

LIGHT LEIGH ANN AND JEFF
4671 GREENBRIAR CT
ROCKWALL, TX 75032

ZEHR JACK L & EDITH L
4671 PARKWOOD DR
ROCKWALL, TX 75032

ANSARI CYRUS
4684 GREENBRIAR CT
ROCKWALL, TX 75032

HAIN MARGARET GUNTHER AND
STEPHANIE HAIN TORRES
4685 GREENBRIAR CT
HEATH, TX 75032

RICHARDSON JIM & CAROL
4690 PARKWOOD DR
ROCKWALL, TX 75032

PARKS TODD L AND RHONDA DENISE
4704 GREENBRIAR CT
ROCKWALL, TX 75032

CARPENTER CRAIG S & EVE E
4710 PARKWOOD DR
ROCKWALL, TX 75032

FAULKNER DANICA J AND MATTHEW L JOHNS
48 SHADY DALE LN
ROCKWALL, TX 75032

RHUDY FAMILY REVOCABLE LIVING TRUST
RHUDY THOMAS RICHARD AND LAURA MARIE-
TRUSTEES
5 SHADYDALELN
ROCKWALL, TX 75032

SLABAS KAREN AND JEFFREY
50 SHADY DALE LN
ROCKWALL, TX 75032

SLABAS KAREN AND JEFFREY
52 SHADY DALELN
ROCKWALL, TX 75032

CARTER SHARON R
BLANKENSHIP DON L & AUDREY LIFE ESTATE
6 SHADY DALE LN
ROCKWALL, TX 75032

WEBSTER LAWRENCE C & DEBORAH C
7 SHADYDALELN
ROCKWALL, TX 75032

CARNES LINDA M
850 HUNTERS GLN
ROCKWALL, TX 75032

WEBSTER LAWRENCE C & DEBORAH C
888 NIGHTLIGHT DR
YORK, PA 17402

ERICKSON MARIUM E LIVING TRUST
906 HUNTERS GLEN
ROCKWALL, TX 75032

MONK JEFFREY CHAD REVOCABLE LIVING TRUST
JEFFREY CHAD MONK TRUSTEE
914 HUNTERS GLEN
ROCKWALL, TX 75032

TEAFF DAVID J & KAREN L
922 HUNTERS GLN
ROCKWALL, TX 75032

CLARKE VANCE M & PAMELA L
930 HUNTERS GLN
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
938 HUNTERS GLEN
ROCKWALL, TX 75032

HERVEY GAIL
948 HUNTERS GLN
ROCKWALL, TX 75032

CASTLEROCK CUSTOM BUILDERS LLC
PO BOX 8333
GREENVILLE, TX 75404

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-051: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request Travis Redden for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-051: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

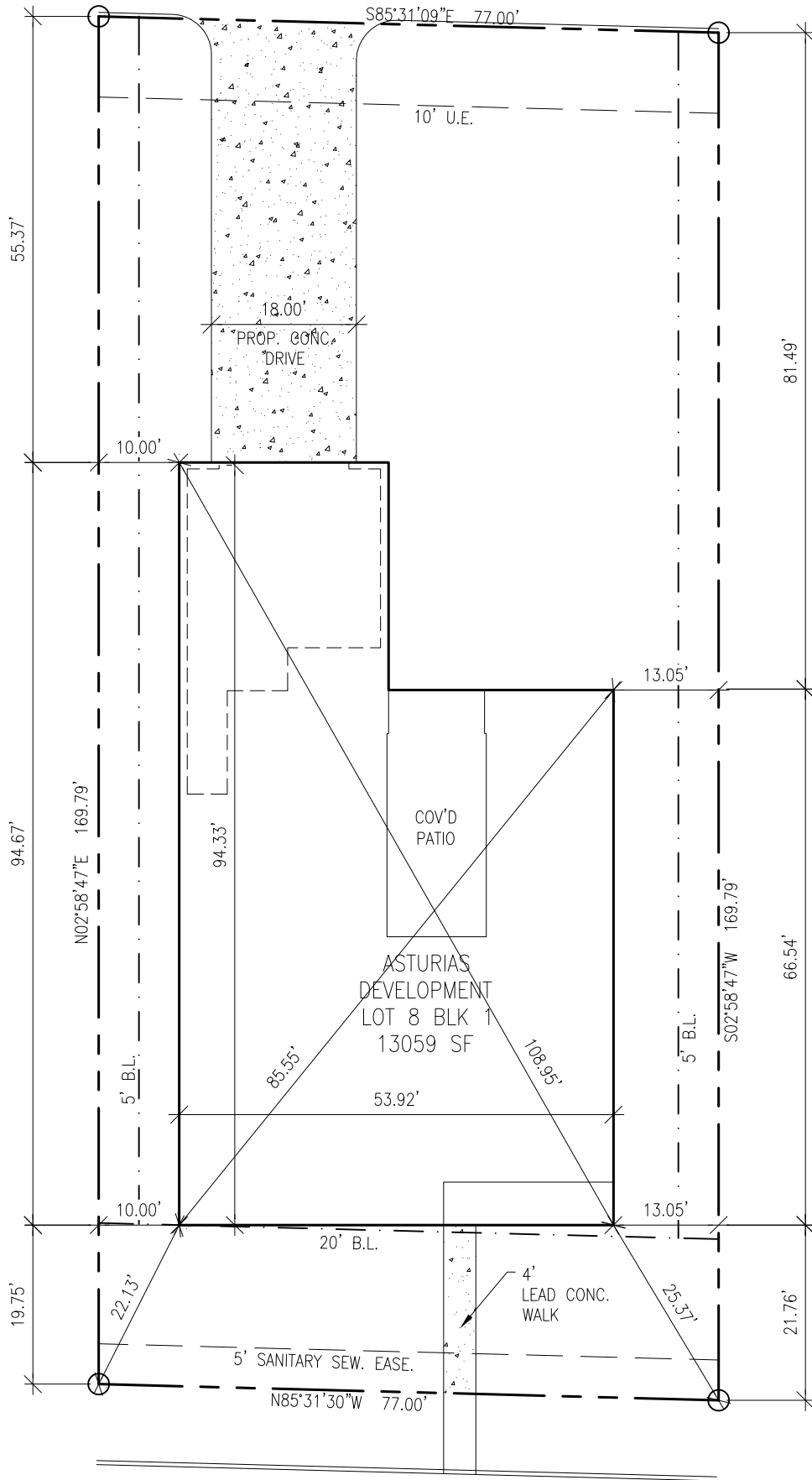
[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

ALLEY
(20' R.O.W. - ASPHALT)



Lot Coverage Calculations:

Slab	4307	SF
Patio/Stoop	0	SF
Drive	993	SF
Private-Walk	85	SF
Total Flatwork	1078	SF
Lot Coverage	32.9	%
Driveway Apron	0	SF
Public Walk	0	SF
Total Sod	853	SQ YD
Fence	0	SF

Legend:

	Proposed Fence
	Property Line
	Building Lines
	Easements
	Swale Line
	Silt Fence
	Existing Grade
	Proposed Grade

General Notes:

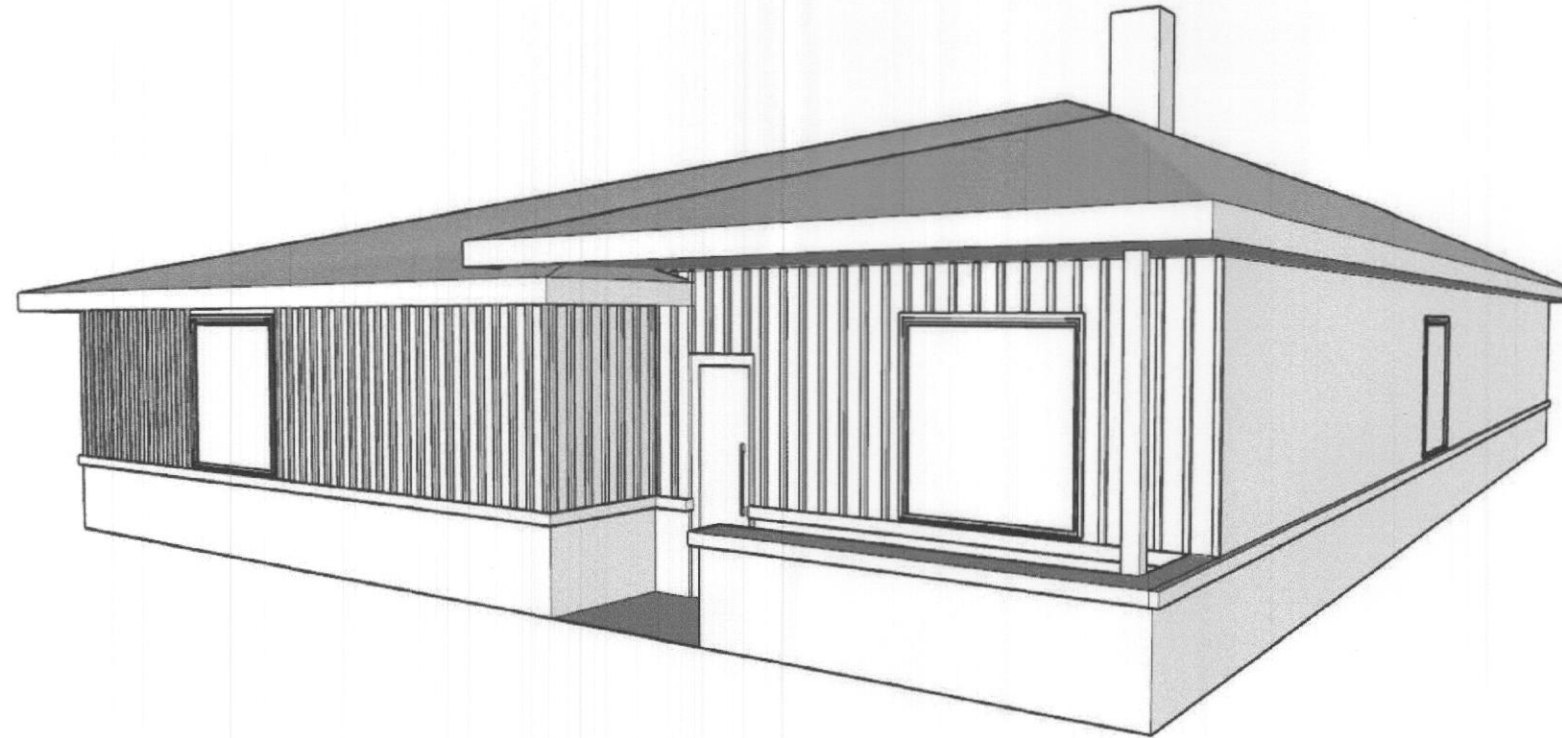
- The purpose of this plan is to show the purposed building footprint as defined by the metes and bounds of the recorded plat.
- Dimensions, setbacks, easements, plan selection, and any other information shown here in shall be verified at permitting and prior to construction for accuracy and compliance with all applicable codes and ordinances.
- Builder is solely responsible for ensuring that the footprint is contained within the prepared building pad. The building pad shall be set high enough to allow for adequate drainage.
- All calculations are approximate. They must be verified prior to permitting, purchasing, and/or construction. City side walk will not be included in flatwork calcs.
- A form survey is required for verification of form placement prior to concrete pour. ELD accepts no liability where a form survey is not provided.

BUILDER: ASTURIAS DEVELOPMENTS	PLAN: CUSTOM
ADDITION: 38 SHADYDALE - PR	ELD JOB NO: DIF20-0868
ADDRESS: 38 SHADY DALE LANE	DRAWN BY: AA
LOT: 8 BLOCK: 1	CHECKED BY: ELD
CITY: ROCKWALL, TX	SCALE: 1:20
DATE 08/19/2020	

PLOT PLAN
ENGINEERED FOR:
**Asturias
Development**

ERIC L. DAVIS ENGINEERING, INC. 120 East Main Street Forney, Texas 75126 972/564-0592 Fax 972/564-6523 E-Mail ericcdavis@eldengineering.com	
---	--

ASTURIAS DEVELOPMENT



PERSPECTIVE VIEW
NTS

GENERAL NOTES:

1. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
2. DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
4. CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR'S PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY PART OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULES.
5. ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.
6. CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVERY EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
7. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY ENGINEERS LIGHTS, COVERING, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK.
8. DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY GUTTERS OR FLASHINGS OF ANY EXISTING FINISHED WORK SHALL MATCH ADJACENT SURFACES.
9. SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
10. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY ENGINEERS LIGHTS, COVERING, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK.
11. CONTRACTORS OR SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC. THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

CONTRACTOR NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2x6.
2. ALL INTERIOR WALLS SHALL BE 2x4 L.N.O.
3. ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
4. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
5. 3/4" AD & STITCH IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET FILLING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE FULLY PER OF LIABILITY IF NOT DONE.
6. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
7. DOOR AND WINDOW PROFILES SHALL BE 3/4" ON THE OUTSIDE EDGES OF ADJACENT DOOR, WINDOW AND TRANSOM TRIM IS ALIGNED L.N.O.
8. WINDOW SIZES GIVEN ARE APPROXIMATE L.N.O. SIZES. VERIFY ACTUAL SIZES AND WINDOW OPENINGS WITH MANUFACTURER.
9. FRAME ALL DOORS 9" FROM CORNERS WHERE POSSIBLE.

Layout Page Table	
Label	Title
A-1	COVER PAGE
A-2	SITE PLAN AND ROOF PLAN
A-3	FRONT AND REAR ELEVATIONS
A-4	LEFT AND RIGHT ELEVATIONS
A-5	FLOOR PLAN W/ DIMENSIONS
A-6	ELECTRICAL PLAN

PLANS FOR:
ASTURIAS DEVELOPMENT
TRAVIS REDDEN
38 SHADY DALE LANE
ROCKWALL, TEXAS 75082

TITLE:
COVER PAGE

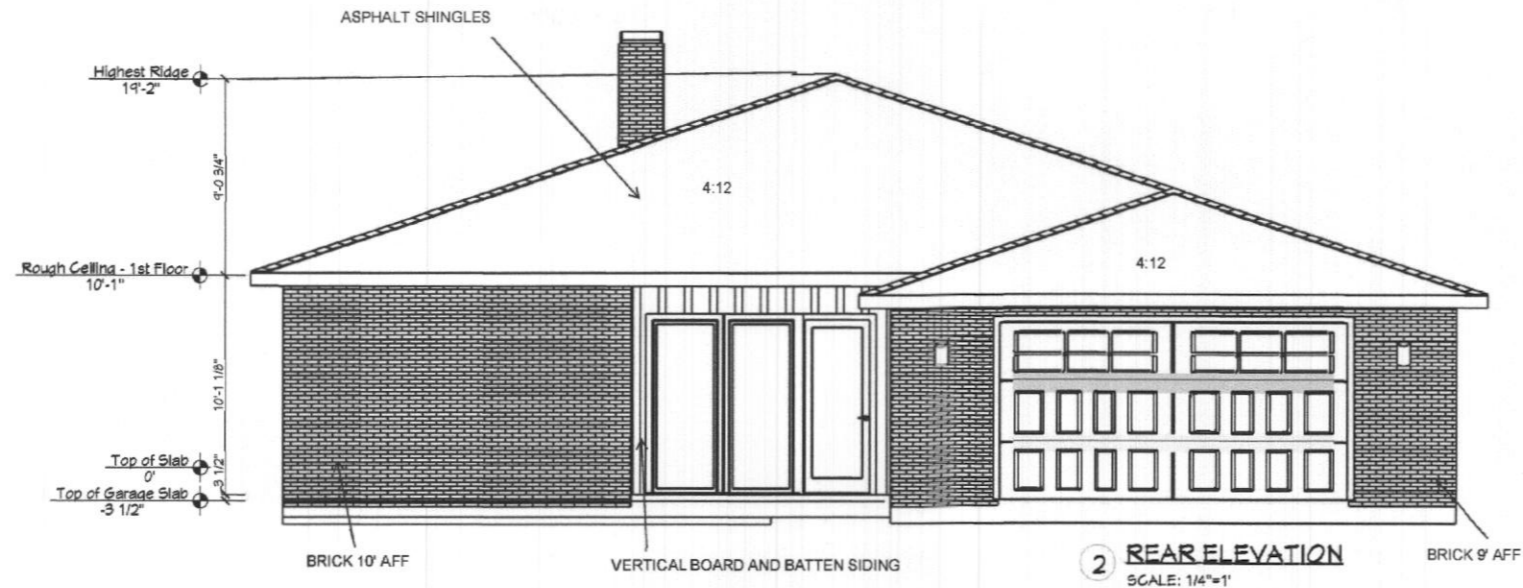
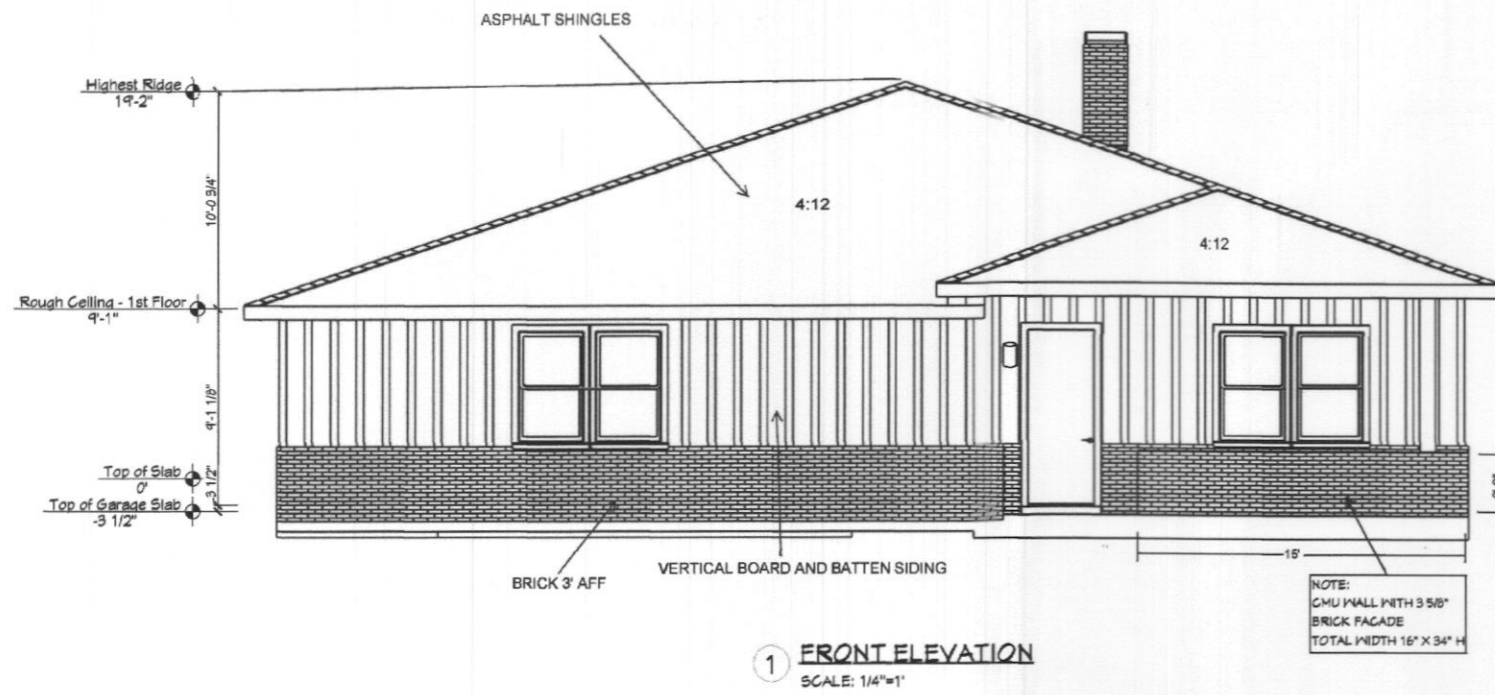
SHANNON NEWBOM MARK NEWBOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
6/16/2020

SCALE:
AS SHOWN

SHEET:

A-1



PLANS FOR:
 ASTURIAS DEVELOPMENT
 TRAVIS REDDEN
 38 SHADY DALE LANE
 ROCKWALL, TEXAS 75082

TITLE:
 FRONT & REAR ELEVATIONS

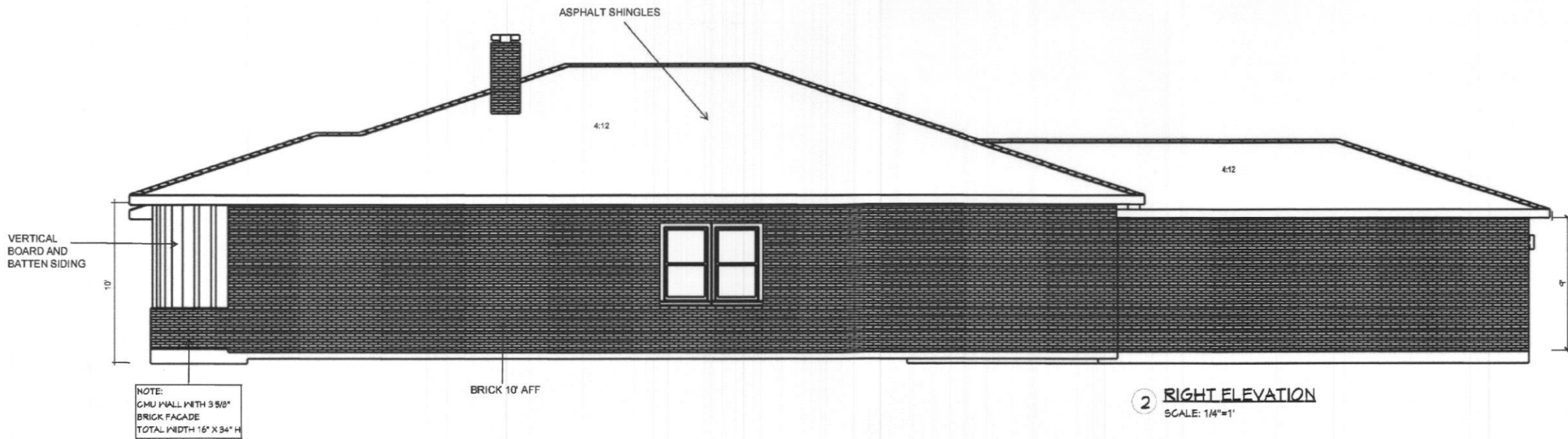
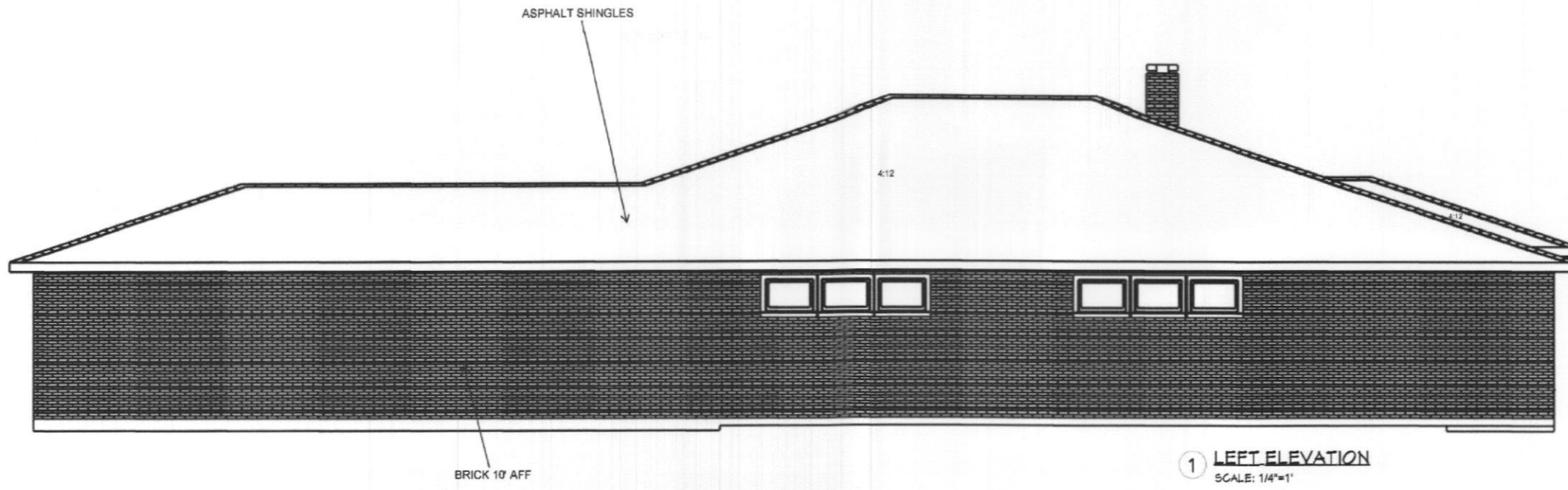
SHANNON NEWBOM MARK NEWBOM
CADAZIGN
 ROYSE CITY, TEXAS 75189
 469-388-9863
 DRAWN BY:

DATE:
 6/16/2020

SCALE:
 AS SHOWN

SHEET:

A-3



NOTE:
 CMU WALL WITH 3 5/8\"
 BRICK FACADE
 TOTAL WIDTH 16' X 34' H

PLANS FOR:
 ASTURIAS DEVELOPMENT
 TRAVIS REDDEN
 38 SHADY DALE LANE
 ROCKWALL, TEXAS 75082

TITLE:
 SIDE ELEVATIONS

SHANNON NEWBOM MARK NEWBOM
CADAZIGN
 ROYSE CITY, TEXAS 75189
 469-338-9863

DATE:
 6/16/2020

SCALE:
 AS SHOWN

SHEET:
A-4



2 Shadydale Lane



3 Shadydale Lane



4 Shadydale Lane



5 Shadydale Lane



6 Shadydale Lane



7 Shadydale Lane



17 Shadydale Lane



19 Shadydale Lane



21 Shadydale Lane



23 Shadydale Lane



24 Shadydale Lane



26 Shadydale Lane



28 Shadydale Lane



30 Shadydale Lane



32 Shadydale Lane



34 Shadydale Lane



36 Shadydale Lane



38 Shadydale Lane



40 Shadydale Lane



42 Shadydale Lane



44 Shadydale Lane



46 Shadydale Lane



48 Shadydale Lane



50 Shadydale Lane

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 9 (PD-9) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.30-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK A, SHADYDALE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Travis Redden for the approval of a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow the construction of a single-family home on a 0.30-acre parcel of land being described as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) [*Ordinance No. 13-43*] for single-family residential land uses, addressed as 38 Shadydale Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 9 (PD-9) [*Ordinance No. 13-43*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 9 (PD-9) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 9 (PD-9) [Ordinance No. 13-43] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

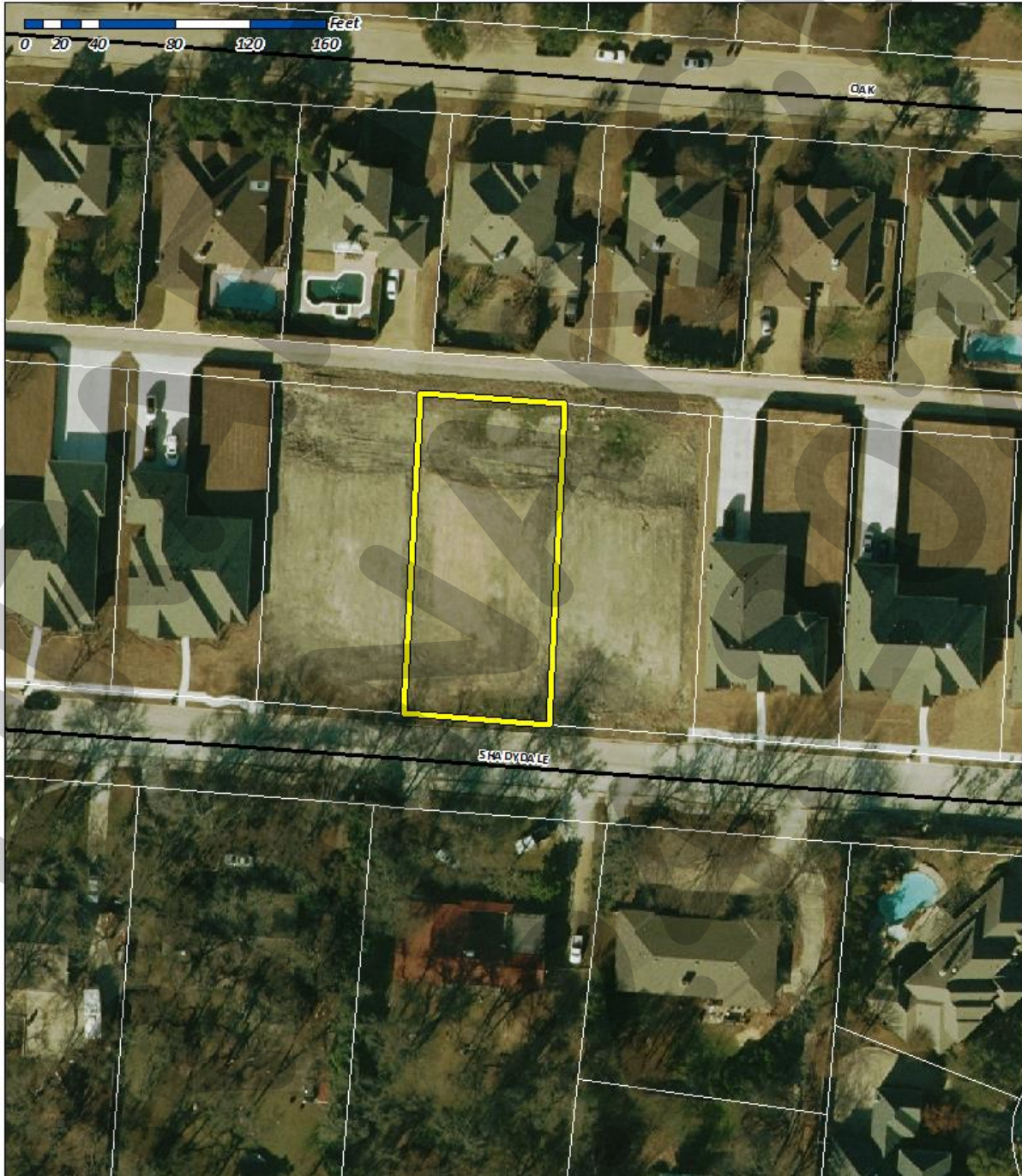
1st Reading: December 21, 2020

2nd Reading: January 4, 2021

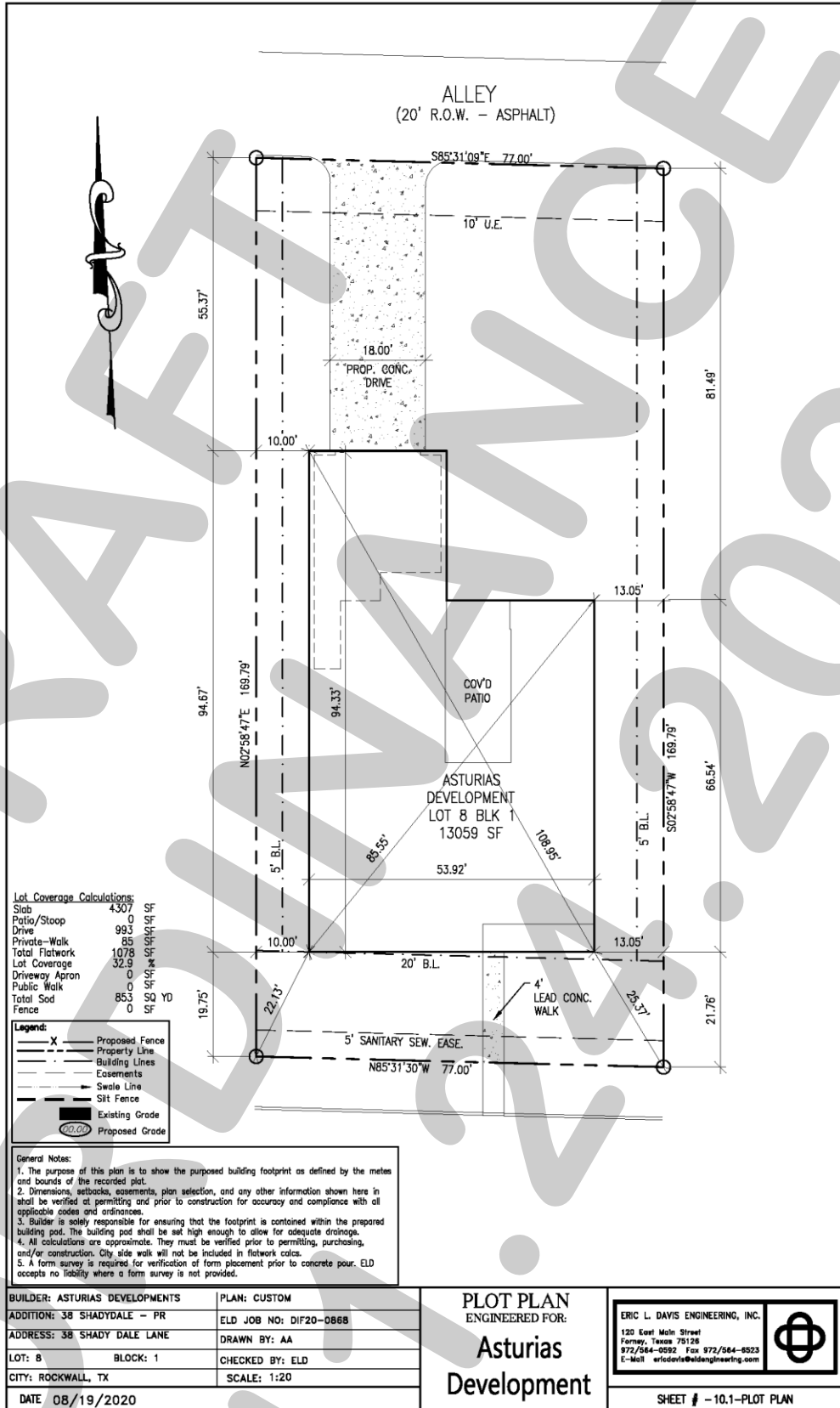
Exhibit 'A'
Location Map and Survey

Address: 38 Shadydale Lane

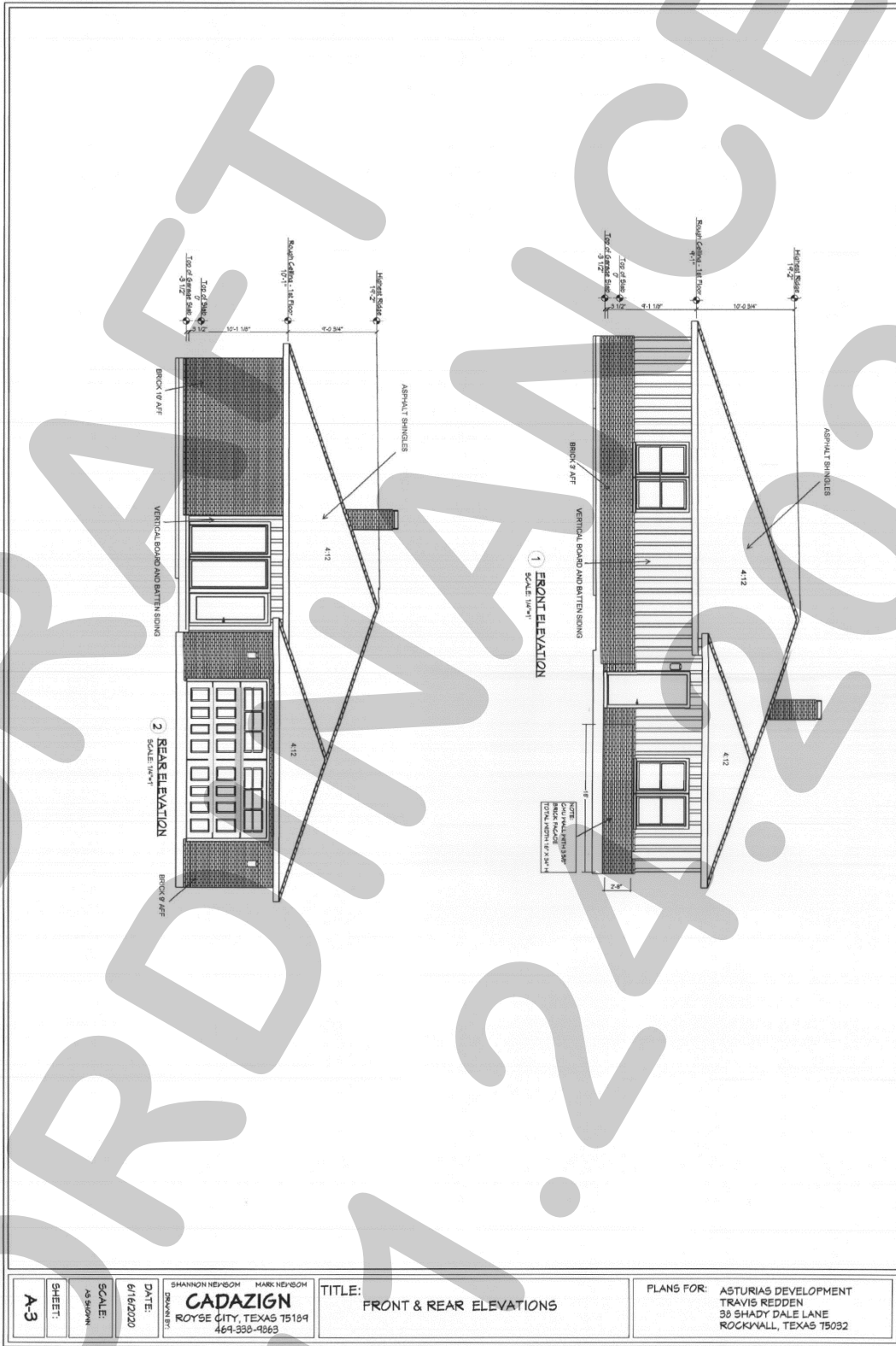
Legal Description: Lot 8, Block A, Shadydale Estates Addition



**Exhibit 'B':
Residential Plot Plan**

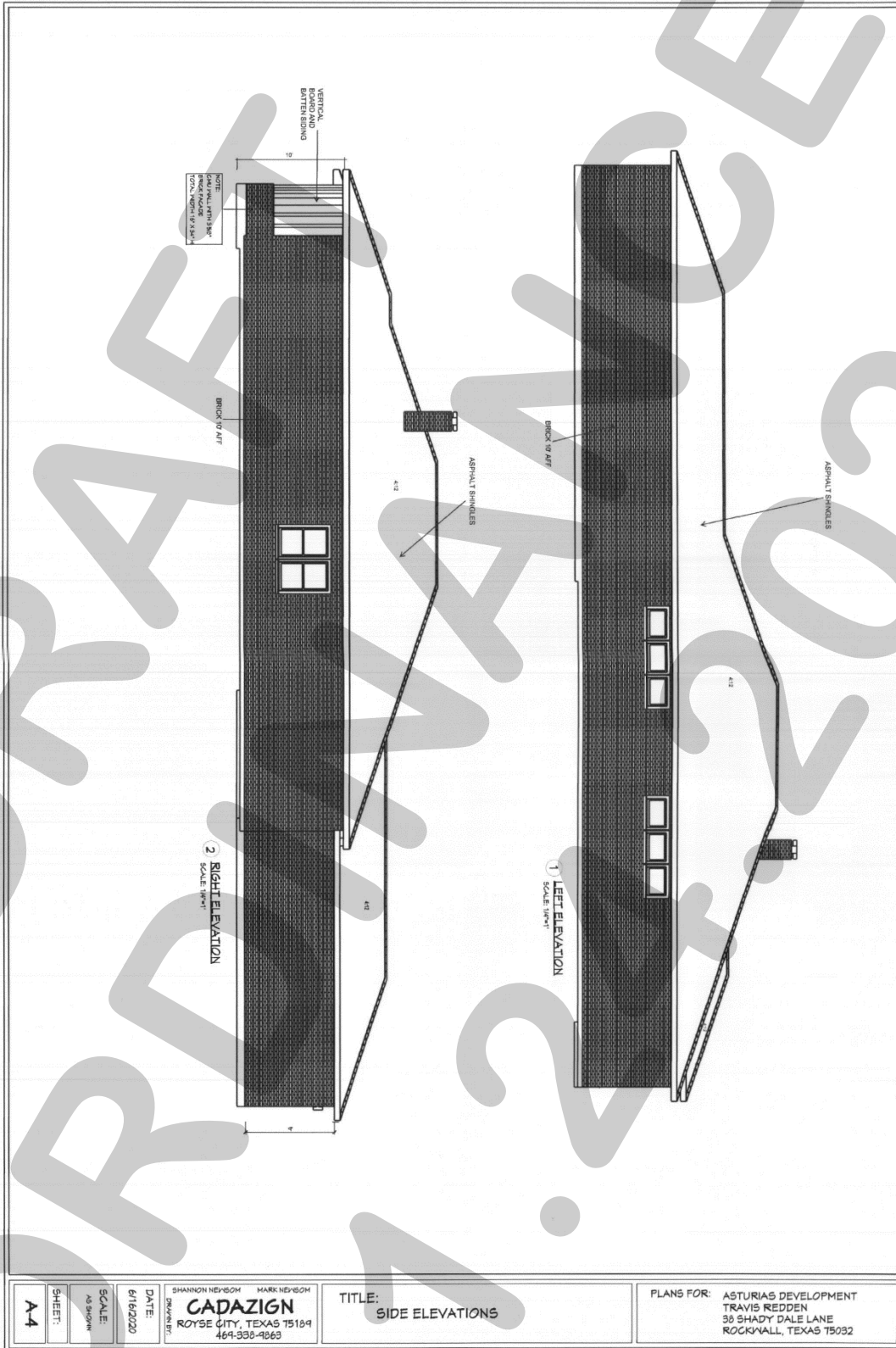


**Exhibit 'C':
Building Elevations**



SHEET: A-3	SCALE: AS SHOWN	DATE: 6/16/2020	DRAWN BY: SHANNON NEVISON	CHECKED BY: MARK NEVISON	TITLE: FRONT & REAR ELEVATIONS	PLANS FOR: ASTURIAS DEVELOPMENT TRAVIS REDDEN 38 SHADY DALE LANE ROCKWALL, TEXAS 75082

Exhibit 'C':
Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
 385 S. GOLIAD STREET
 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: Z2020-052
 PROJECT NAME: Zoning Change from AG to C
 SITE ADDRESS/LOCATIONS: 5651 STATE HIGHWAY 276, ROCKWALL, 75032

CASE MANAGER: Angelica Gamez
 CASE MANAGER PHONE: 972-772-6438
 CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	11/20/2020	Approved w/ Comments

11/20/2020: I.1 This is a request for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email Hlee@rockwall.com.

I.3 This project is subject to all requirements stipulated by the Unified Development Code (UDC), and the Development Standards of Article IV & Article V that are applicable to the subject property.

I.4 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on November 24, 2020.
- 2) Planning & Zoning Public Hearing meeting will be held on December 8, 2020.
- 3) City Council Public Hearing will be held on December 21, 2020. (1st Reading of Ordinance)
- 4) City Council meeting will be held on January 8, 2021. (2nd Reading of Ordinance)

I.5 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. The City prefers that a representative(s) be present for these meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Approved w/ Comments

11/18/2020: The following comments are informational.

General Items:

- I - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees for expansion (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- I - Must plat

Drainage Items:

- I - Detention is required for new paving and building expansion.
- I - No detention, grading, filling, etc. in the floodplain
- I - Flood study will be required to delineate the 100 yr. fully developed flood plain. Review retainer will be due with 1st submittal.
- I - Manning's C-value is per zoning type.
- I - Dumpster areas to drain to oil/water separator and then to the storm lines.

Roadway Paving Items:

- I - Parking to be 20'x9' facing the building or nose-to-nose.
- I - No dead-end parking allowed.
- I - Drive isles to be 24' wide.
- I - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- I - Fire lane to be in a platted easement.

Water and Wastewater Items:

- I - No additional water meters allowed until Blackland get an approved contract with City of Rockwall.
- I - Need letter from Rockwall County stating that the existing OSSF has the capacity for the expansion.
- I - Any water lines extended to supply fire protection and service must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- I - No shrubs or trees to be planted within 4' from back of curb on any parking space with a length = 18'

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	11/16/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/17/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/17/2020	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/16/2020	Approved
11/16/2020: No comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 2020-052

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹ \$259.10
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 5651 SH 276

Subdivision UNPLATTED

Lot

Block

General Location S. SIDE SH 276 JUST EAST OF SOUTHERN DRIVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning AG

Current Use CHURCH / WAREHOUSE

Proposed Zoning C - COMMERCIAL

Proposed Use CHURCH

Acreage 3.94

Lots [Current]

1

Lots [Proposed]

1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB316Z the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner ROCKWALL FRIENDSHIP BAPTIST CHURCH

Applicant TOMDEN ENGINEERING, LLP

Contact Person SHANON THOMAS

Contact Person THOMAS JONES

Address 5651 SH 276

Address 5815 MEADOWCREST

City, State & Zip ROYSE CITY TX 75189

City, State & Zip DAVAS TX 75230

Phone 469.338.8151

Phone 214.679.1679

E-Mail STHOMAS@ROCKWALLFBC.ORG

E-Mail TJONES@TOMDEN.COM

NOTARY VERIFICATION [REQUIRED]

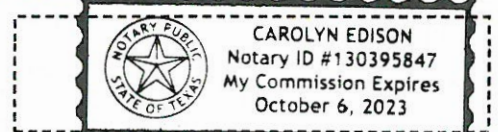
Before me, the undersigned authority, on this day personally appeared Shanon Thomas [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 259.10, to cover the cost of this application, has been paid to the City of Rockwall on this the 10th day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

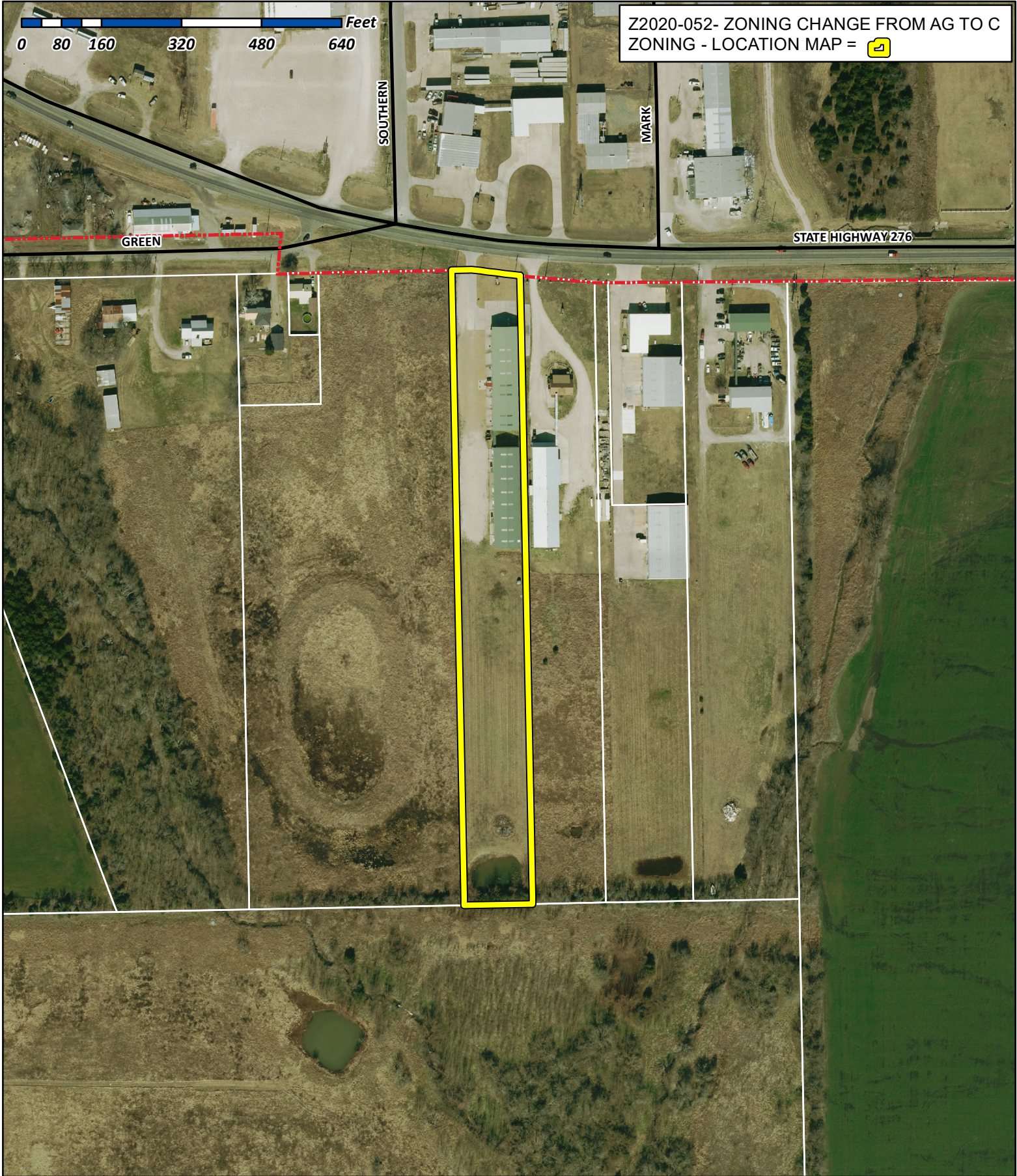
Given under my hand and seal of office on this the 10th day of November, 20 20.

Owner's Signature

Notary Public in and for the State of Texas



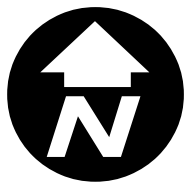
My Commission Expires October 6, 2023



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

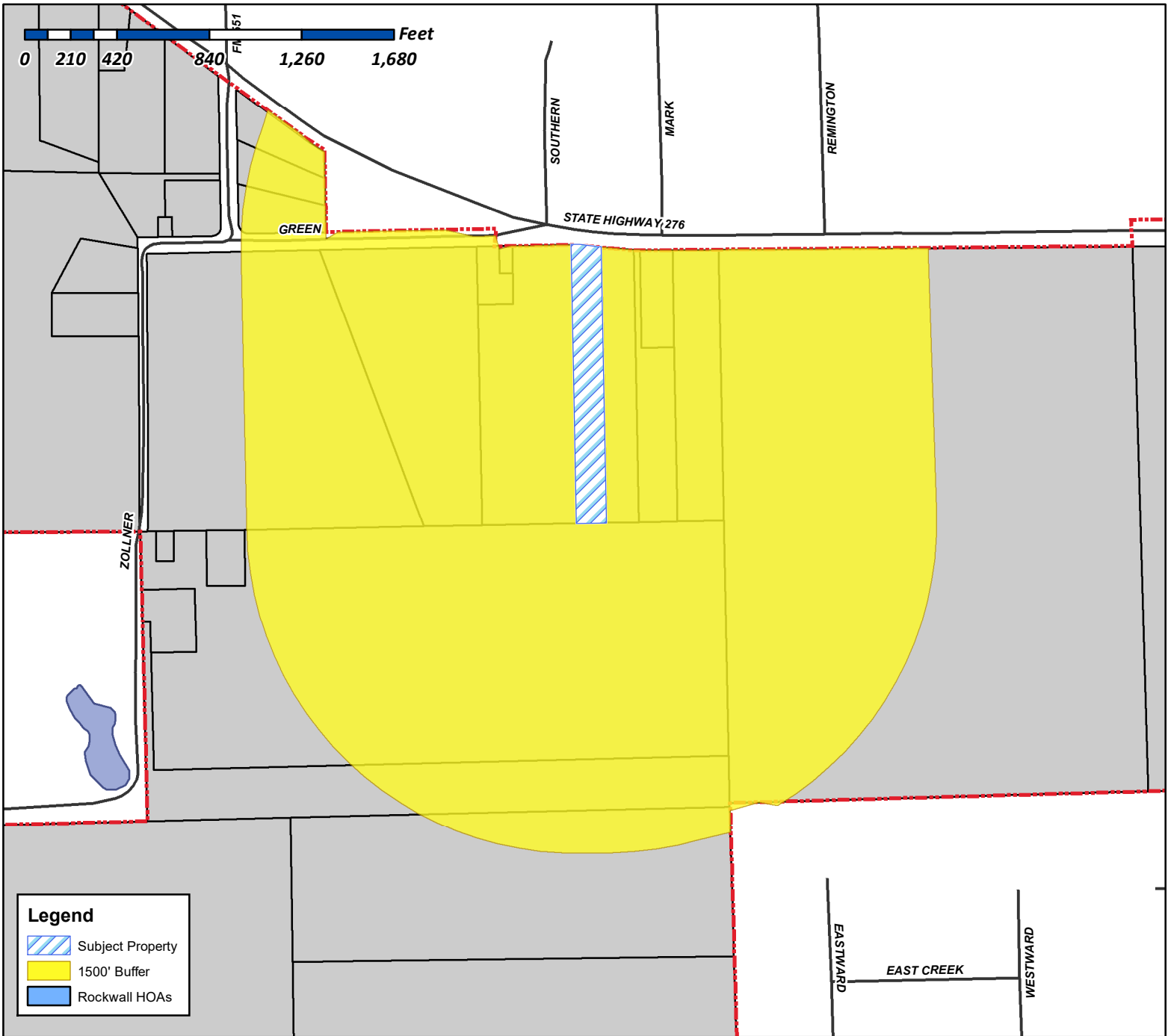




City of Rockwall

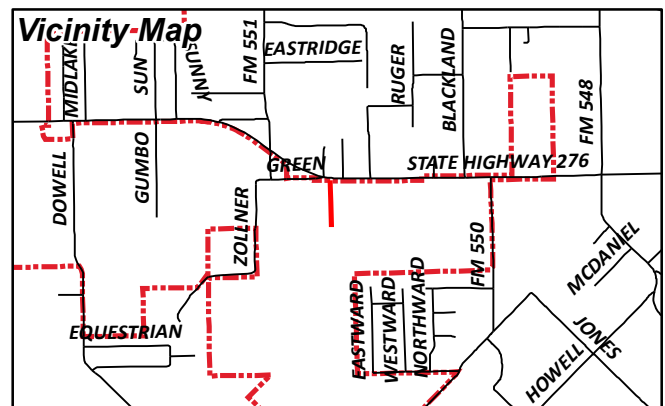
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Case Number: Z2020-052
Case Name: Zoning Change from AG to C
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 5651 State Highway 276

Date Created: 11/13/2020
 For Questions on this Case Call (972) 771-7745





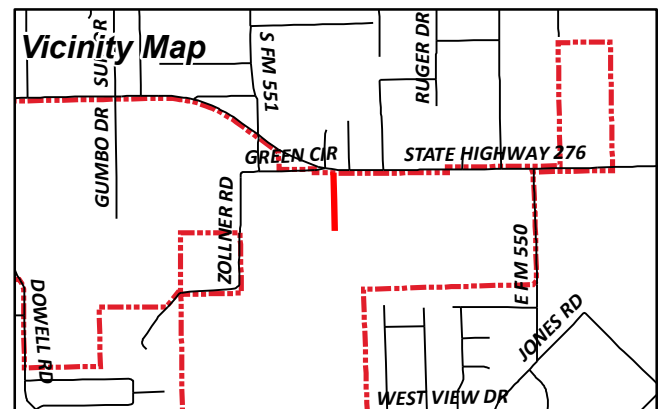
City of Rockwall

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Date Created: 11/13/2020

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JIMENEZ TOMAS
4930 CREEKRIDGE LANE
GARLAND, TX 75043

THOMPSON JAMES
ZOLLNERRD
ROCKWALL, TX 75087

LIMON LORENZO & MARIANA
2305 STANFORD ST
GREENVILLE, TX 75401

ENRIQUEZ MARIA AND UBALDO
450 GREEN CIRCLE
ROYSE CITY, TX 75189

LIMON LORENZO & MARIANA
490 GREEN CR
ROCKWALL, TX 75087

VALDESPINO JUAN R & MARGARITA
506 GREEN CIRCLE
ROYSE CITY, TX 75189

JIMENEZ TOMAS
4930 CREEKRIDGE LANE
5651 GREENCIR
ROCKWALL, TX 75087

MULLEN ADVENTURES LLC
5677 STATE HIGHWAY 276
ROYSE CITY, TX 75189

JAY & PAM PROPERTIES LLC
5707 STATE HIGHWAY 276
ROYSE CITY, TX 75189

SIGN OF QUALITY LLC
5707 STATE HIGHWAY 276
ROYSE CITY, TX 75189

HASHERT TERRY
5751 STATE HIGHWAY 276
ROYSE CITY, TX 75189

THOMPSON JAMES
811 TRINIDAD PL
MIDLAND, TX 79705

ASBURY MICHAEL & LEAANN
PO BOX 1012
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-052: Zoning Change from AG to C

Hold a public hearing to discuss and consider a request by Thomas Jones of Tomden Engineering, LLP on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-052: Zoning Change from AG to C

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Thomas P. Jones, P.E.

Tomden Engineering, L.L.P.
5815 Meadowcrest
Dallas, Tx 75230
tjones@tomden.com

November 11, 2020

Mr. Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall

Re: Rockwall Friendship Baptist Church
Zoning Letter of Explanation

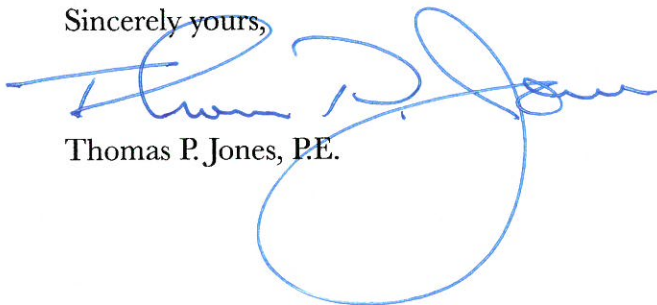
Dear Mr. Miller

Rockwall Friendship Baptist Church has purchased the property at 5651 SH 276 with the intent to expand their facilities on the site and construct a 3500 sf addition on the property. As a part of this process, the Church proposes to change the zoning on the property from Ag (agricultural) to C (commercial) in which the religious use is allowed by right.

A Survey of the 3.94 acre tract and Architectural Site Plan have been included with this Zoning Request.

We look forward to staff review and a favorable action at P&Z and Council. Please call or email me with any questions you may have.

Sincerely yours,

A handwritten signature in blue ink, appearing to read 'Thomas P. Jones', with a large, stylized flourish underneath.

Thomas P. Jones, P.E.

cc: Pastor Shanon Thomas

Mr. Dirk Dalhausser, Goff Companies

Mr. Josh Heimbach, OWT Architects

All that certain lot, tract or parcel of land situated in the J.H. BAILEY SURVEY, ABSTRACT NO. 22, Rockwall County, Texas, and being a part of that 47.10 acres tract of land as described in a Warranty deed from Billie Marie Peoples to Michael L. Peoples and Donnie B. Peoples, dated February 2, 1996 and being recorded in Volume 1084, Page 266 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

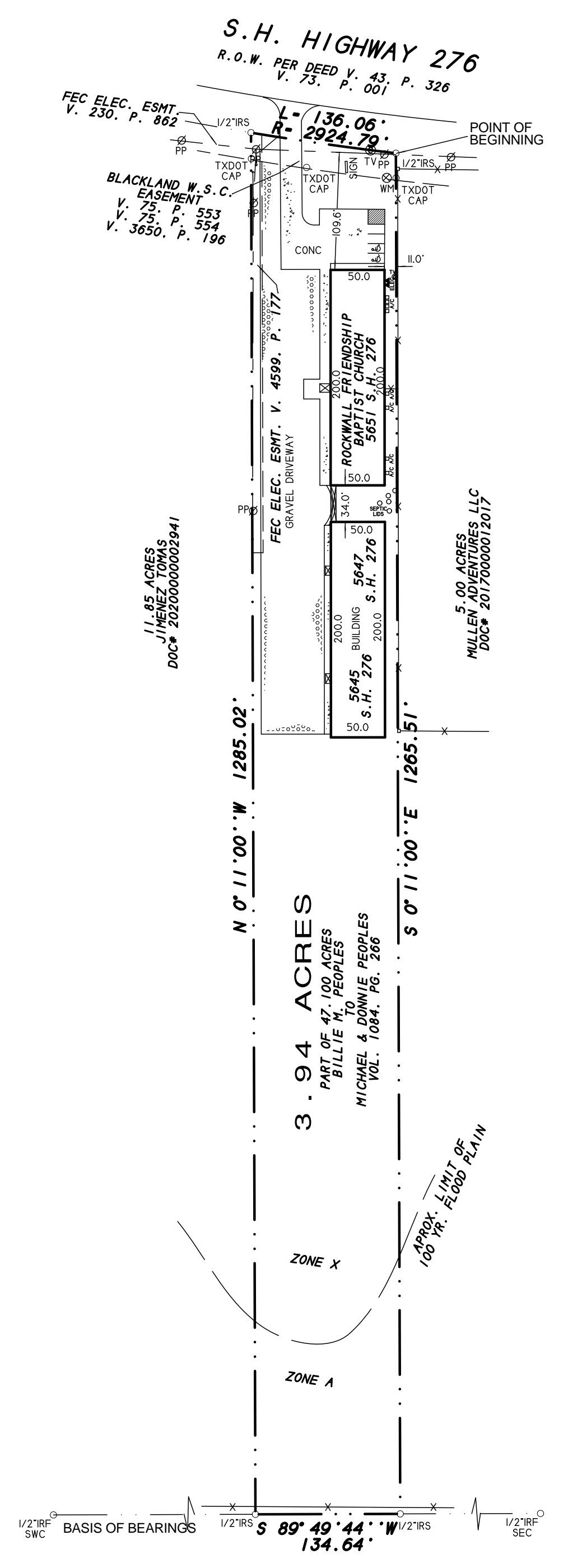
BEGINNING at a 1/2" iron rod found for corner, said point being N. 89 deg. 50 min. 18 sec. W., 223.09 feet and along a curve to the right having a central angle of 06 deg. 34 min. 58 sec., a radius of 2924.79 feet, a chord of N. 86 deg. 32 min. 49 sec. W., 335.85 feet, and an arc distance of 336.03 feet from a 3/8" iron rod found at the Northeast corner of the above cited tract, said point being in the South right-of-way line of State Highway 276;

THENCE S. 00 deg. 11 min. 00 sec. E. parallel to the East line of said tract, a distance of 1265.51 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner in the South line of said tract;

THENCE S. 89 deg. 49 min. 44 sec. W. along the South line of said tract, a distance of 134.64 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner;

THENCE N. 00 deg. 11 min. 00 sec. W. a distance of 1285.02 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner in the South right-of-way line of State Highway 276 and in the North boundary line of said 47.10 acres tract;

THENCE in a Southeasterly direction along a curve to the left having a central angle of 02 deg. 39 min. 56 sec., a radius of 2924.79 feet, a chord of S. 81 deg. 55 min. 22 sec. E., 136.05 feet, along said right-of-way line an arc distance of 136.06 feet to the POINT OF BEGINNING and containing 3.94 acres of land.



DESCRIPTION

All that certain lot, tract or parcel of land situated in the J.H. BAILEY SURVEY, ABSTRACT NO. 22, Rockwall County, Texas, and being a part of that 47.10 acres tract of land as described in a Warranty deed from Billie Marie Peoples to Michael L. Peoples and Donnie B. Peoples, dated February 2, 1996 and being recorded in Volume 1084, Page 266 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

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THENCE in a Southeasterly direction along a curve to the left having a central angle of 02 deg. 39 min. 56 sec., a radius of 2924.79 feet, a chord of S. 81 deg. 55 min. 22 sec. E., 136.05 feet, along said right-of-way line an arc distance of 136.06 feet to the POINT OF BEGINNING and containing 3.94 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0065 L dated Sept. 26, 2008, this property lies in Zones A & X. Part of this property does appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: BASED ON MONUMENTS FOUND ON SOUTH BOUNDARY LINE OF PARENT TRACT PER RECORDED DEED IN VOL. 0084, PG. 266, R.P.R.R.C.T..
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Rockwall Friendship Baptist Church at 5651 State Highway No. 276, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 31st day of August, 2020.

Harold D. Fetty III
 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND	
TV	TELEVISION CABLE RIDER
GAS	GAS METER
TEL	TEL. METER
FI	FIRE HYDRANT
PP	POWER POLE
EE	ELECTRIC METER
EE	ELECTRIC SUBSURFACE JUNCTION BOX
NO	NO. 100' IRON ROD FOUND CORNER
LP	LP METER
LP	LP LIGHT VOLE
AE	A/C UNIT
AE	AE COND. UNIT
PR	PROPANE TANK
---	ESSENTIAL LINE
---	BOUNDARY LINE

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

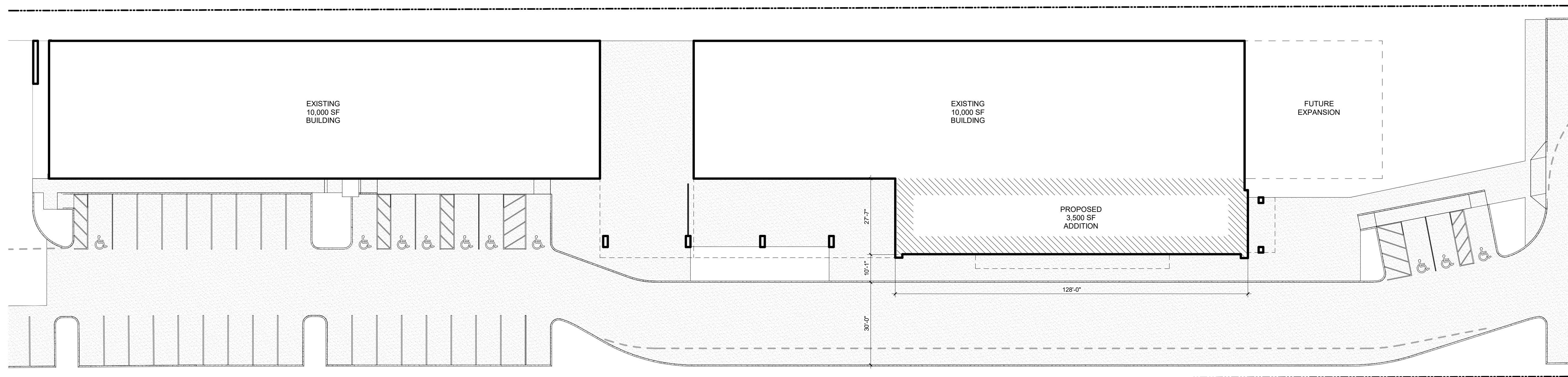
SURVEY ACCEPTED BY:

 DATE _____

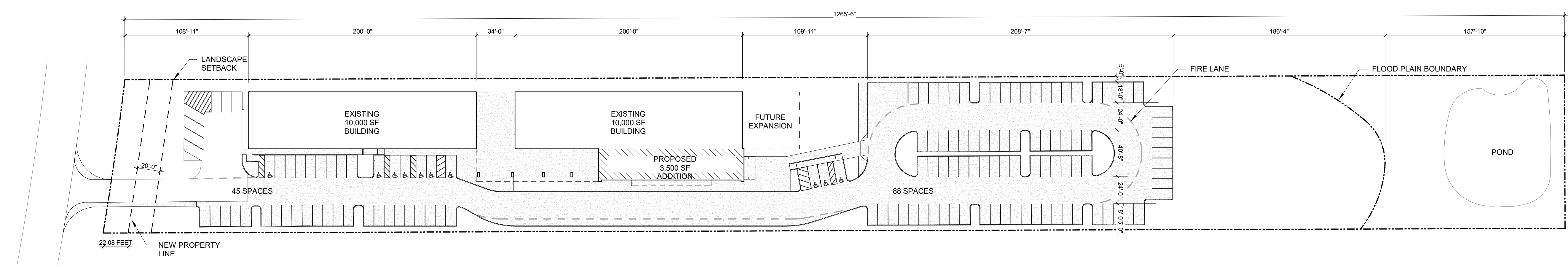
 DATE _____

OCTOBER 29, 2020

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY OLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.



SITE PLAN | 2
SCALE: 1" = 20'-0" A1.00



SITE PLAN | 1
SCALE: 1" = 50'-0" A1.00

Revision Schedule		
Rev. #	Revision Description	Revision Date

OWT ARCHITECTS
509 PECAN STREET
SUITE 100
FORT WORTH, TX 76102
817.993.9844
www.owtarchitects.com

ROCKWALL FRIENDSHIP
5651 TC-276
ROYSE CITY, TX 75189

2020-013-00
OCTOBER 29, 2020

SITE PLAN

A1.00

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A COMMERCIAL (C) DISTRICT ON A 3.94-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1-8 OF THE J. H. BAILEY SURVEY, ABSTRACT NO. 22, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' AND FURTHER DESCRIBED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Thomas Jones of Tomden Engineering, LLP for a change in zoning from an Agricultural (AG) District to a Commercial (C) District on a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, and more fully depicted in *Exhibit 'A'* and described in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from a Agricultural (AG) District to a Commercial (C) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Commercial (C) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the

zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

Exhibit 'A'
Zoning Exhibit

Legal Description: Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22



Exhibit 'B'
Legal Description

All that certain lot, tract or parcel of land situated in the J.H. BAILEY SURVEY, ABSTRACT NO. 22, Rockwall County, Texas, and being a part of that 47.10 acres tract of land as described in a Warranty deed from Billie Marie Peoples to Michael L. Peoples and Donnie B. Peoples, dated February 2, 1996 and being recorded in Volume 1084, Page 266 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner, said point being N. 89 deg. 50 min. 18 sec. W., 223.09 feet and along a curve to the right having a central angle of 06 deg. 34 min. 58 sec., a radius of 2924.79 feet, a chord of N. 86 deg. 32 min. 49 sec. W., 335.85 feet, and an arc distance of 336.03 feet from a 3/8" iron rod found at the Northeast corner of the above cited tract, said point being in the South right-of-way line of State Highway 276;

THENCE S. 00 deg. 11 min. 00 sec. E. parallel to the East line of said tract, a distance of 1265.51 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. R.PLS 5034" for corner in the South line of said tract;

THENCE S. 89 deg. 49 min. 44 sec. W. along the South line of said tract, a distance of 134.64 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner;

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THENCE in a Southeasterly direction along a curve to the left having a central angle of 02 deg. 39 min. 56 sec., a radius of 2924.79 feet, a chord of S. 81 deg. 55 min. 22 sec. E., 136.05 feet, along said right-of-way line an arc distance of 136.06 feet to the POINT OF BEGINNING and containing 3.94 acres of land.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: Z2020-053
PROJECT NAME: Channell Corporation
SITE ADDRESS/LOCATIONS: 1700 JUSTIN RD, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by David Meinhardt of Meinhardt & Associates, PLLC on behalf of Ed Burke of Channell Commercial Corporation for the approval of a Zoning Change from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	11/20/2020	Approved w/ Comments

11/20/2020: Z2020-053; Zoning Change (LI to PD) for Channell Commercial Corporation
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Zoning Change from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, and addressed as 1700 Justin Road.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

M.3 For reference, include the case number (Z2020-053) in the lower right-hand corner of all pages on future submittals.

M.4 Please provide a legal description of the subject property that is in .docx format. This will be incorporated into the draft ordinance.

M.5 Remove Case No. SP2020-011 and the site plan signature blocks from all drawings.

M.6 Make sure all plans (i.e. Concept Plan, Photometric Plan, Landscape Plan, etc.) show all of the required outside storage areas, and that all areas are the same size and in the same location.

M.7 Please make the following changes to the Concept Plan:

- (1) The required parking ratio for 'Warehouse' is 1:1,000 SF. Currently, the plans show this at 1:2,000 SF. The needed number of parking spaces for this facility is 102; however, a parking variance was granted with Case No. SP2014-011. Based on this the parking is considered to be in compliance.
- (2) Adjust the outside storage area to be in compliance with the comments from Case No. SP2020-011 (i.e. the wall and accent trees -- labeled as 'MT' -- along Industrial Boulevard need to be moved outside of the easement of the 30" NTMWD Water Line that runs parallel with Industrial Boulevard on the subject property).
- (3) Call out the wrought iron fence adjacent to the three (3) tiered screening on the north side of the main building adjacent to John King Boulevard (approved and required by Case No. SP2020-011).
- (4) Indicate the outside storage area on the north side of the main building and if necessary remove these parking spaces from the parking counts (approved and required by Case No. SP2019-045). Note: This is already shown on the Photometric Plan.

M.8 Please make the following changes to the Landscape Plan:

- (1) The wall and accent trees (i.e. labeled as 'MT') along Industrial Boulevard need to be moved outside of the easement of the 30" NTMWD Water Line that runs parallel with

Industrial Boulevard on the subject property. See Case No. SP2020-011.

- (2) The 'Site Iron Fence' needs to be changed to reflect a wrought iron fence.
- (3) Call out the wrought iron fence adjacent to the three (3) tiered screening on the north side of the subject property.
- (4) Indicate the outside storage area on the north side of the main building and if necessary remove these parking spaces from the parking counts (approved and required by Case No. SP2019-045).

M.9 Please make the following changes to the Photometric Plan:

- (1) Adjust the outside storage area to be in compliance with the comments from Case No. SP2020-011 (i.e. the wall and accent trees -- labeled as 'MT' -- along Industrial Boulevard need to be moved outside of the easement of the 30" NTMWD Water Line that runs parallel with Industrial Boulevard on the subject property).

I.10 Please review the attached Draft Ordinance prior to the November 24, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than December 1, 2020.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 1, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 8, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on November 24, 2020.

I.12 The projected City Council meeting dates for this case will be December 21, 2020 (1st Reading) and January 4, 2021 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Approved w/ Comments

11/18/2020: Informational comments below.

General Items:

- 4% Engineering inspection fees
- Impact fees for new/up-sizing water taps or building square footage.
- No storage in fire lane or utility easements
- All retaining walls to be rock or stone faced. No smooth concrete walls.
- Retaining walls 3' and over must be engineered.
- Must meet all city standards of design and construction.
- Engineering review fees apply.
- Label/Show all utilities and easements.

Roadway Paving Items:

- Parking to be 20'x9' if adjacent to the building or head-to-head, all else to be 18'x9' min.
- All fire lane radii to be a minimum of 20' unless the building is 30' or taller then the radii will be required to be 30'
- Must show existing and proposed utilities.

Drainage Items:

- Must have detention for reference plans for Justin Rd. for what is being detained already. A portion at corner of Industrial and Justin that is not detained, that will need to be detained. Show detention area

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	11/16/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/17/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/17/2020	Approved w/ Comments

11/17/2020: Address for Fiber Facility Bldg. will be 1600 JUSTIN RD, ROCKWALL, TX 75087

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	11/20/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/16/2020	Denied

11/16/2020: Please provide a proposed vs. required legend for the site.

Please identify trees species, quantities and caliper size

General Items:

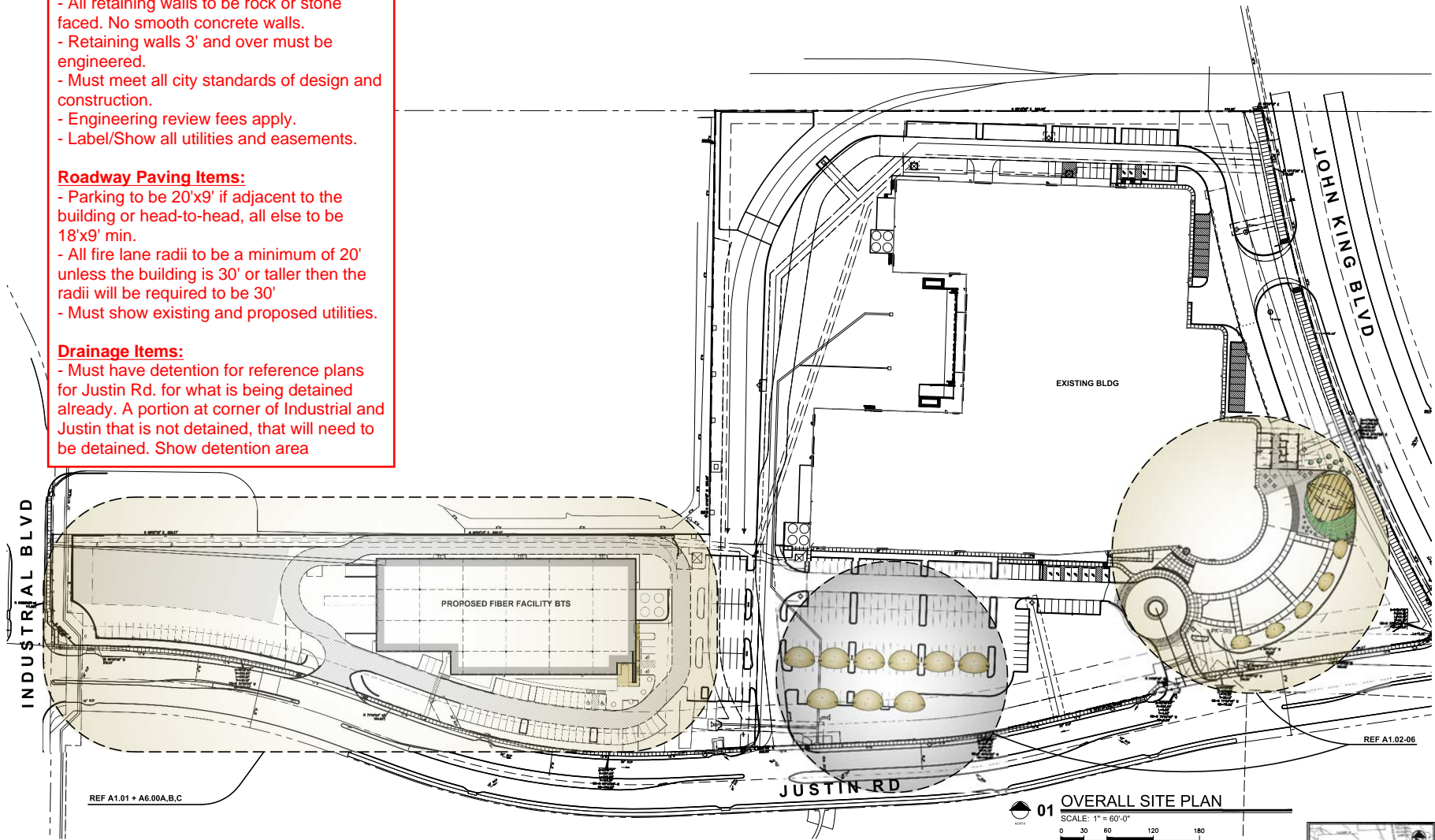
- 4% Engineering inspection fees
- Impact fees for new/up-sizing water taps or building square footage.
- No storage in fire lane or utility easements
- All retaining walls to be rock or stone faced. No smooth concrete walls.
- Retaining walls 3' and over must be engineered.
- Must meet all city standards of design and construction.
- Engineering review fees apply.
- Label/Show all utilities and easements.

Roadway Paving Items:

- Parking to be 20'x9' if adjacent to the building or head-to-head, all else to be 18'x9' min.
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Drainage Items:

- Must have detention for reference plans for Justin Rd. for what is being detained already. A portion at corner of Industrial and Justin that is not detained, that will need to be detained. Show detention area



REF A1.01 + A6.00A,B,C

REF A1.02-06

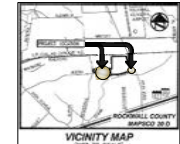
01 OVERALL SITE PLAN

SCALE: 1" = 60'-0"



SITE DATA

PROPOSED LAND USE = INDUSTRIAL
 PROPERTY BOUNDARY = 817,294 SF | 18.762 AC
 PERIMETER BOUNDARY = 2073'-10" LENGTH
 BUILDING FOOTPRINT = 55,700 SF = 817,294 SF = 6.8% LOT COVERAGE



SITE PLAN SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

SP-20-2020-011

OWNER / DEVELOPER
 CHANNELL
 2640 YNEZ ROAD | P.O. BOX 9022
 TEMECULA, CA USA 92398-9022
 951-715-2600
 BILL.CHANNELL.JR. @channell.com

REVISIONS:

CHANNELL CAMPUS IMPROVEMENTS

ROCKWALL, TEXAS

1700 JUSTIN ROAD



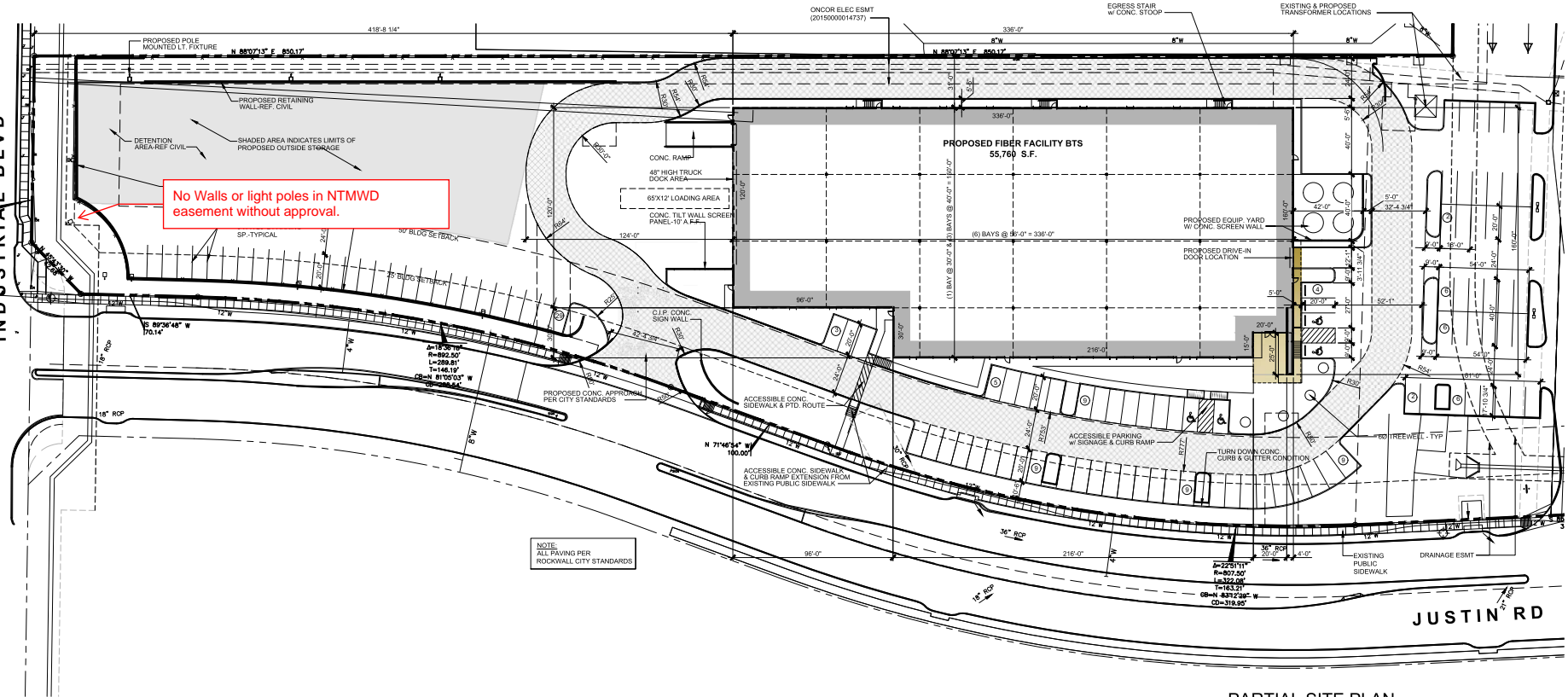
MEINHARDT & ASSOCIATES
 ARCHITECTS, P.L.L.C.
 11111 W. HIGHTOWER
 SUITE 1000
 HOUSTON, TEXAS 77040



PROJECT NO: 20-205
 DATE: 11.13.2020
 DRAWN BY: DBC
 CHECKED BY: DDM
 SHEET: SITE PLAN

A1.00

INDUSTRIAL BLVD



No Walls or light poles in NTMWD easement without approval.

NOTE: ALL PAVING PER ROCKWALL CITY STANDARDS

01 PARTIAL SITE PLAN
 SCALE: 1" = 30'-0"
 GRAPHIC SCALE IN FEET

2015 INTERNATIONAL BUILDING CODE (IBC) AND LOCAL CODE AMENDMENTS	
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	
2015 INTERNATIONAL FIRE CODE (IFC) AND LOCAL CODE AMENDMENTS	
2014 NATIONAL ELECTRIC CODE (NEC)	
2015 INTERNATIONAL MECHANICAL CODE (IMC)	
2015 INTERNATIONAL PLUMBING CODE (IPC)	
IMPROVEMENT AREA	
FIRST FLOOR OFFICE (FUTURE)	4,000 SF
FIRST FLOOR LT. ASSEMBLY	30,320 SF
MEZZANINE LT. ASSEMBLY	8,000 SF
WAREHOUSE	13,440 SF
TOTAL IMPROVEMENT AREA	55,760 SF
PARKING REQUIRED - OFFICE (4,000 SF @ 1,300 SF)	= 13.3 SPACES
PARKING REQUIRED - FIBER ASSEMBLY (30,320 SF @ 1,500 SF)	= 76.64 SPACES
PARKING REQUIRED - WAREHOUSE (13,440 SF @ 1,000 SF)	= 13.72 SPACES
TOTAL PARKING REQUIRED	97 SPACES
TOTAL REQUIRED ACCESSIBLE PARKING STALLS	4 SPACES
TOTAL PARKING PROVIDED	99 SPACES
TOTAL PROVIDED ACCESSIBLE PARKING STALLS	4 SPACES
PROPOSED USE	
TYPE OF CONSTRUCTION	OFFICE & FACTORY TYPE IIB
SPRINKLER SYSTEM	ESFR
OCCUPANCY	GROUP B & F-1
OCCUPANT LOAD	
OFFICE USE AREAS (4,000 SF/100)	26.6
LIGHT ASSEMBLY (30,320 SF/100)	302.2
WAREHOUSE (13,440 SF SF/500)	26.88
TOTAL	435.68
EXIT WIDTH REQUIRED (435.68 x 0.15)	65.35' WIDE
EXIT WIDTH PROVIDED (32' WIDTH x 8 OPNGS.)	384' WIDE
EXIT TRAVEL DISTANCE	250 FEET

SP-20-2020-011

REVISIONS:

CHANNELL CAMPUS IMPROVEMENTS
 ROCKWALL, TEXAS
 1700 JUSTIN ROAD



MEINHARDT & ASSOCIATES
 ARCHITECTS, P.L.L.C.

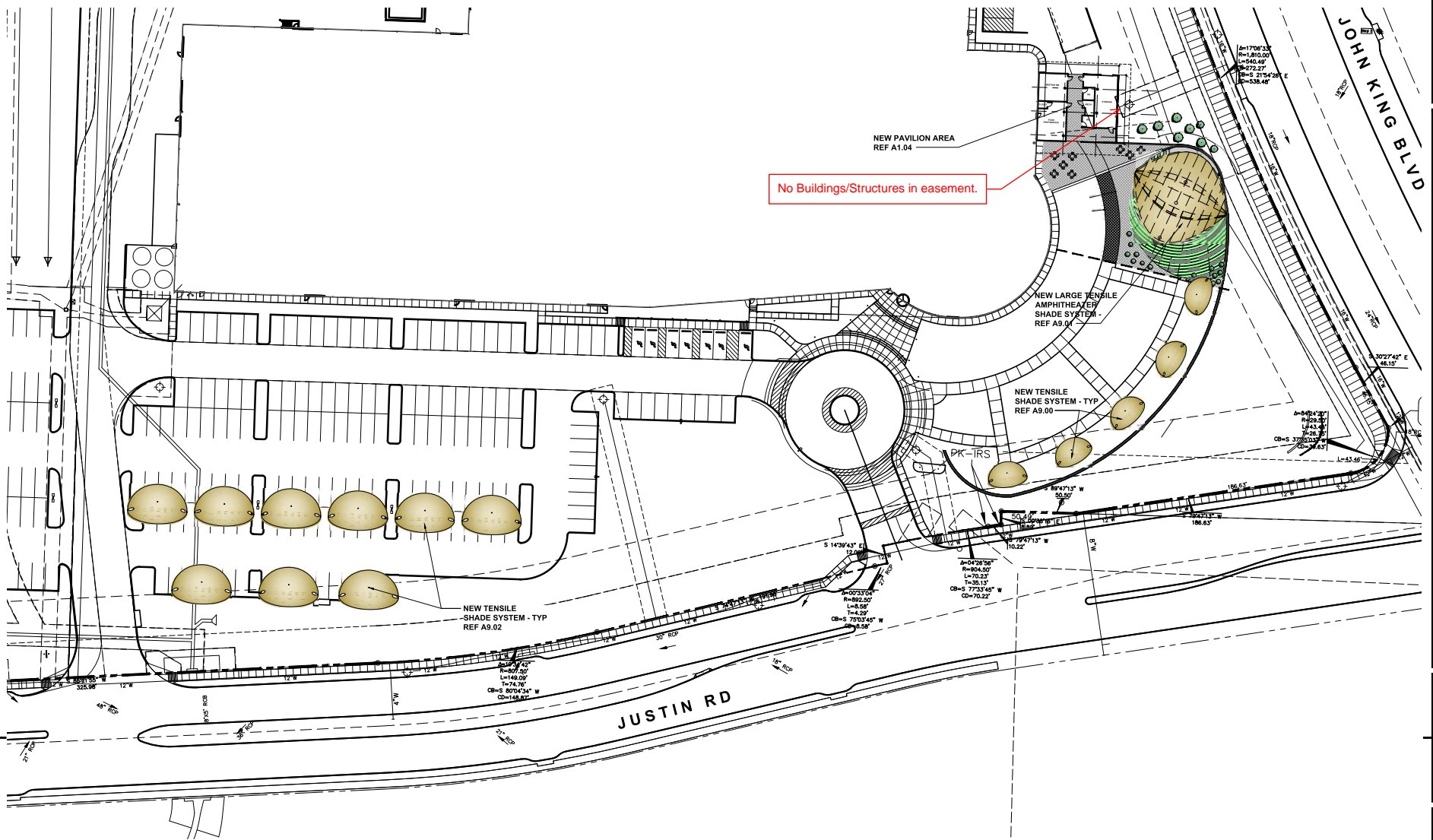


PROJECT NO: 20-205
 DATE: 11.13.2020
 DRAWN BY: DBC
 CHECKED BY: DOM
 SHEET: SITE PLAN

A1.01

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\\NA-SERVERS-20\Projects\2020\CHANNEL Campus\Site\A102_SitePlan.dwg 11/13/2020 9:41:03 AM



No Buildings/Structures in easement.

01 PARTIAL SITE PLAN
 SCALE: 1" = 30'-0"
 0 15 30 60 90
 GRAPHIC SCALE IN FEET

JOHN KING BLVD

JUSTIN RD

REVISIONS:

CHANNEL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS
1700 JUSTIN ROAD

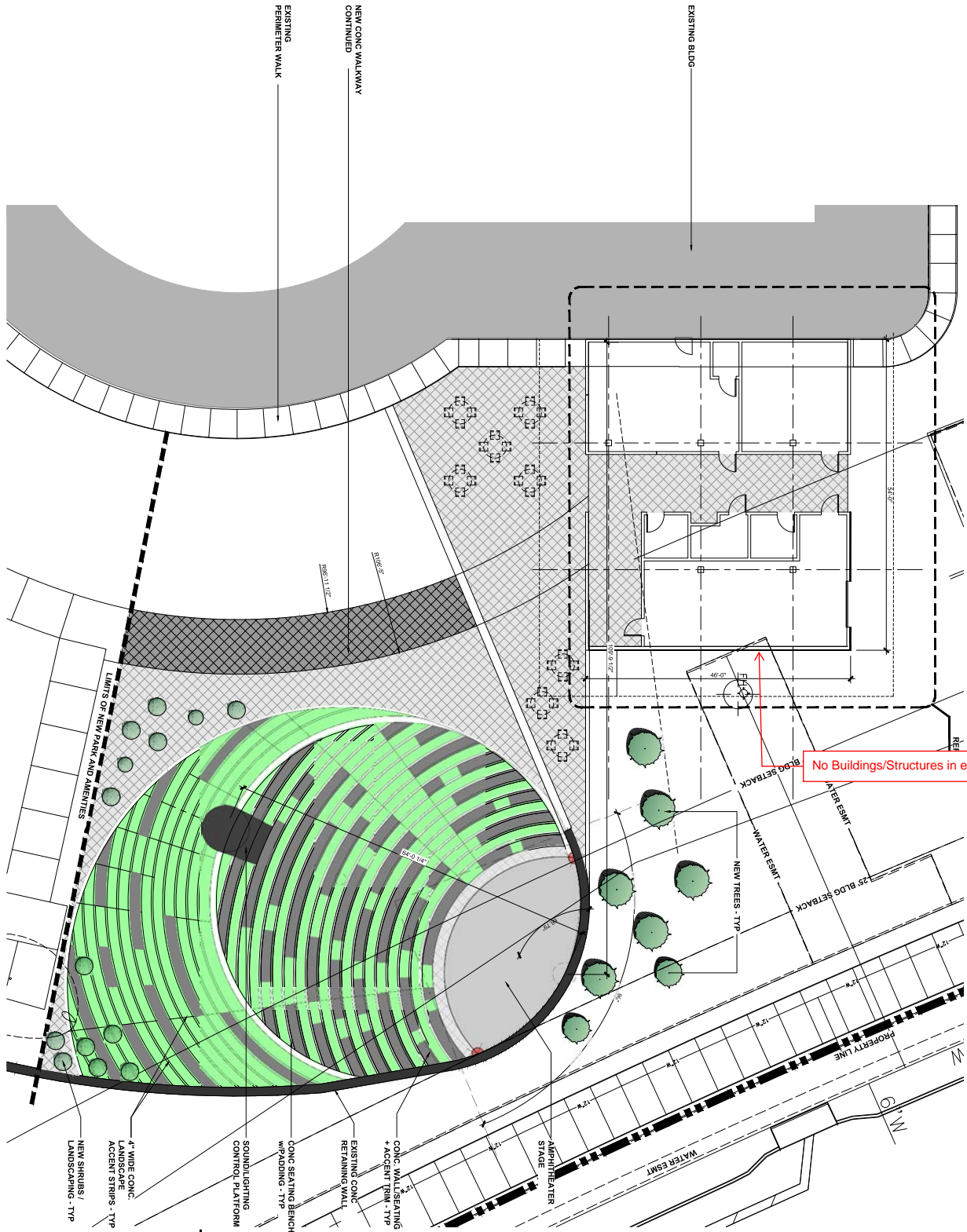
MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.



PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: SITE PLAN

A1.02

SP-20-2020-011



No Buildings/Structures in easement.

01 OVERALL AMPHITHEATER + AMENITIES PLAN
 SCALE: 1/8" = 1'-0"
 NEW GRASS SEEDING
 EXISTING ACCESSION PAVING
 SEATING WITH PADDOING
 NEW SHRUBS / LANDSCAPING - TYP
 4" WIDE CONG. LANDSCAPE ACCENT STRIPS - TYP
 SOUND/LIGHTING CONTROL PLATFORM
 CONG SEATING BENCH WITH PADDOING - TYP
 EXISTING CONG. RETAINING WALL
 CONG WALL/SEATING + ACCENT TRIM - TYP
 AMPHITHEATER STAGE
 WATER ESMIT
 25' BLDG SETBACK
 WATER ESMIT
 NEW TREES - TYP
 BLDG SETBACK
 WATER ESMIT
 45'-0"

A1.03

PROJECT NO. 202005
 DATE: 11.13.2020
 DRAWN BY: DDM
 CHECKED BY: DDM
 SHEET: SITE PLAN
 11.13.2020
 McWHORTER & ASSOCIATES
 ARCHITECTS, P.L.L.C.
 1700 JUSTIN ROAD
 ROCKWALL, TEXAS 75087

CHANNELL CAMPUS IMPROVEMENTS
 1700 JUSTIN ROAD
 ROCKWALL, TEXAS

REVISIONS:



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING # _____ PLANNING CASE NO. 22020-053

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]
CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address: 1700 JUSTIN ROAD

Subdivision: CHANNELL SUBDIVISION Lot: 3 Block: A

General Location: NORTHWEST CORNER OF JUSTIN ROAD & JOHN KING BLVD.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: LIGHT INDUSTRIAL Current Use: LIGHT INDUSTRIAL

Proposed Zoning: SAME Proposed Use: SAME

Acreage: 18.762 Lots [Current]: 1 Lots [Proposed]: 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>CHANNELL CORPORATION</u>	<input type="checkbox"/> Applicant	<u>MEINHARDT & ASSOC. ARCH.</u>
Contact Person	<u>MR. ED BURKE</u>	Contact Person	<u>DAVID MEINHARDT</u>
Address	<u>1700 JUSTIN ROAD</u>	Address	<u>14643 DALLAS PARKWAY</u>
			<u>SUITE 636</u>
City, State & Zip	<u>ROCKWALL, TEXAS, 75087</u>	City, State & Zip	<u>DALLAS, TEXAS 75254</u>
Phone	<u>951-587-7884</u>	Phone	<u>972-934-5406</u>
E-Mail	<u>eburke@channell.com</u>	E-Mail	<u>dmeinhardt@m-aarchi.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared DAVID MEINHARDT [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 481.43, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of NOVEMBER, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

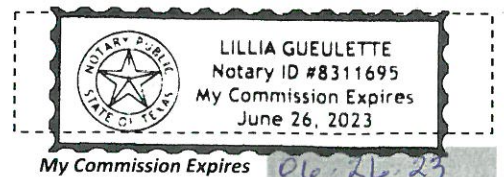
Given under my hand and seal of office on this the 13 day of NOVEMBER, 20 20.

Owner's Signature

[Signature]

Notary Public in and for the State of Texas

[Signature]





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

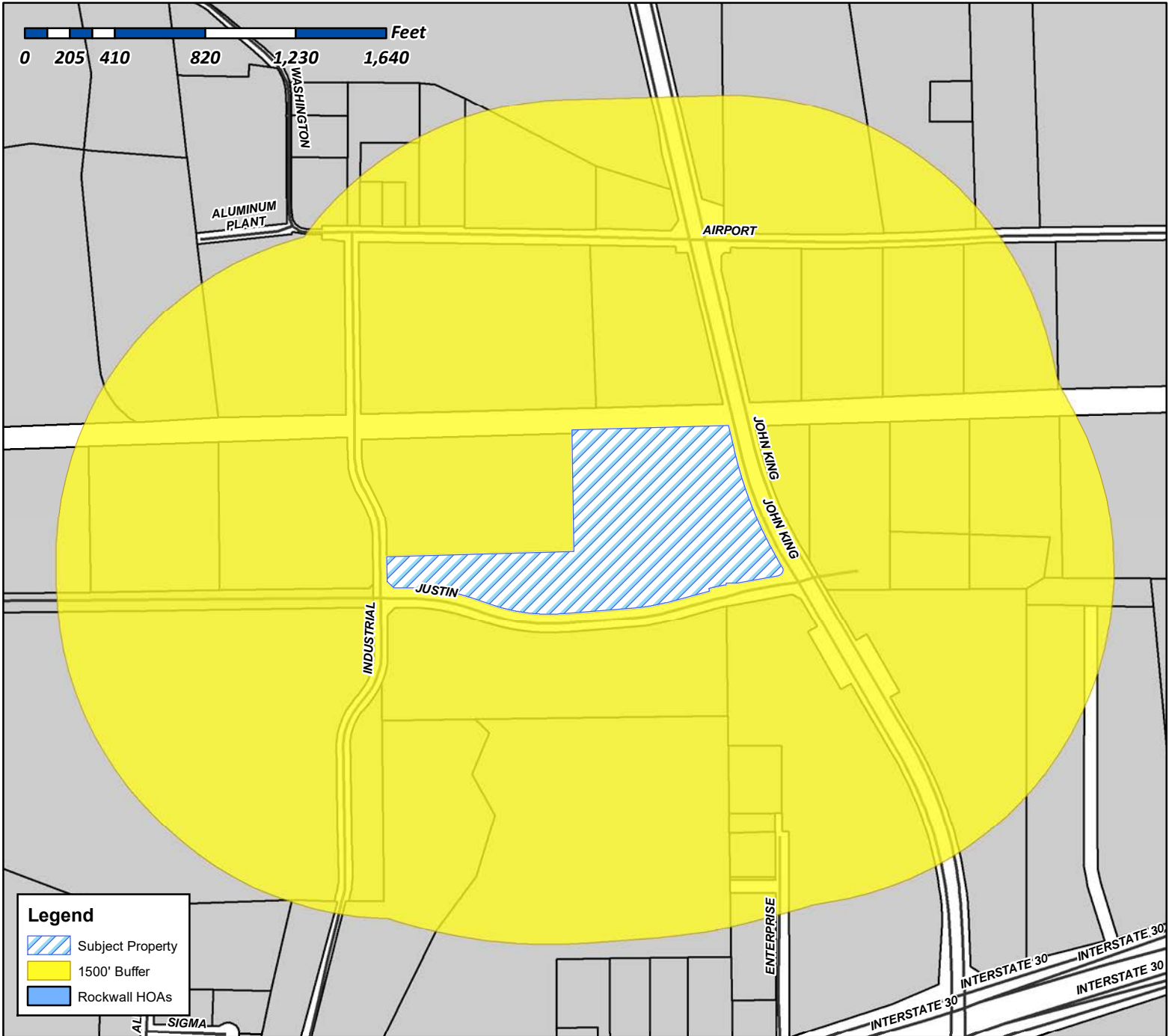




City of Rockwall

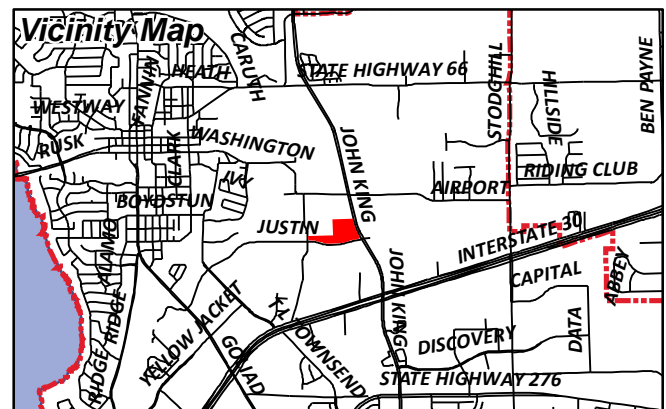
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-053
Case Name: Zoning Change from LI to PD
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1700 Justin Road

Date Created: 11/13/2020
For Questions on this Case Call (972) 771-7745

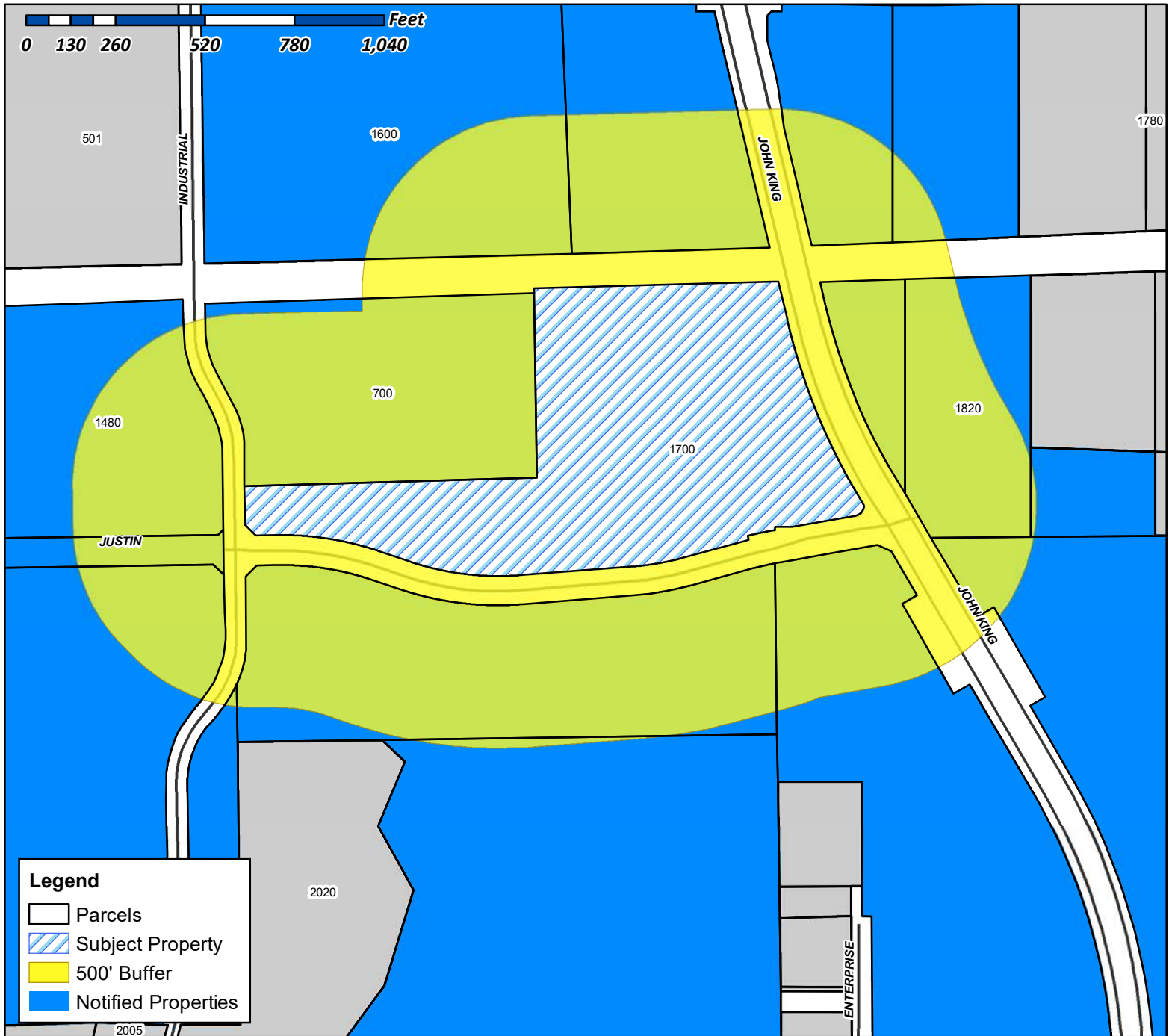




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Date Created: 11/13/2020

For Questions on this Case Call (972) 771-7745

SMARTT LOFLAND & J BOND PTNRS
1 CARMARTHEN CT
DALLAS, TX 75225

SARO PARTNERS LLC
1450 T L TOWNSEND
ROCKWALL, TX 75032

ALVAPLAST US DEVELOPMENT LLC
1480 JUSTIN ROAD
ROCKWALL, TX 75087

WILLCAR HOLDINGS LLC
ATTN: WILLIAM H CHANNELL JR
1700 JUSTINRD
ROCKWALL, TX 75087

ROCKWALL FRIENDSHIP BAPTIST CHURCH
REV SHANON THOMAS, PASTOR
1820 JUSTINRD
ROCKWALL, TX 75087

TEMUNOVIC PARTNERSHIP LTD
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

BACKWARDS L LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

ROCKWALL FRIENDSHIP BAPTIST CHURCH
REV SHANON THOMAS, PASTOR
5651 STATE HIGHWAY 276
ROYSE CITY, TX 75189

CONTINENTAL PET TECHNOLOGY
%GRAHAM PACKAGING PET TECH INC
700 INDIAN SPRINGS DR STE 100
LANCASTER, PA 17601

WILLCAR HOLDINGS LLC
ATTN: WILLIAM H CHANNELL JR
P O BOX 9022
TEMECULA, CA 92589

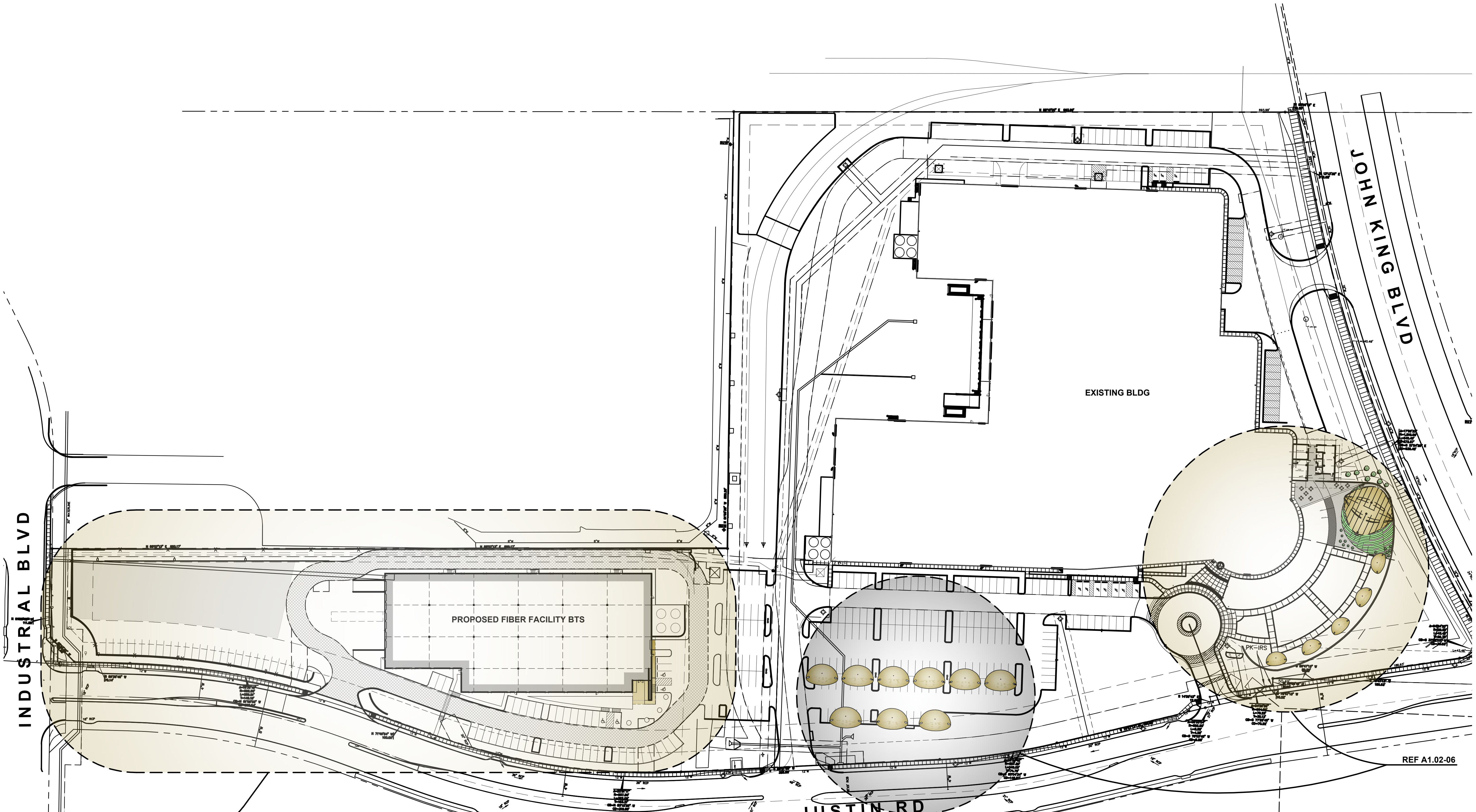
ATHEY JACKIE R
P.O. BOX 219
LAVON, TX 75166

ROCKWALL STEEL CO INC
PO BOX 729
TERRELL, TX 75160

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS

1700 JUSTIN ROAD



INDUSTRIAL BLVD

JOHN KING BLVD

JUSTIN RD

REF A1.01 + A6.00A,B,C

REF A1.02-06



01 OVERALL SITE PLAN

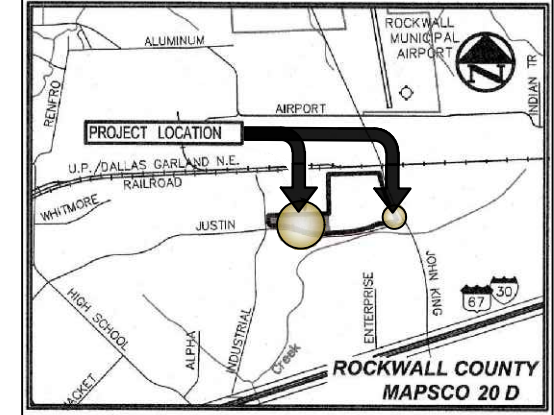
SCALE: 1" = 60'-0"



GRAPHIC SCALE IN FEET

SITE DATA

PROPOSED LAND USE = INDUSTRIAL
PROPERTY BOUNDARY = 817,294 SF | 18.762 AC
PERIMETER BOUNDARY = 2073'-10 1/2" LENGTH
BUILDING FOOTPRINT = 55,760 SF + 817,294 SF = 6.8% LOT COVERAGE



VICINITY MAP (NOT TO SCALE)

SITE PLAN SIGNATURE BLOCK

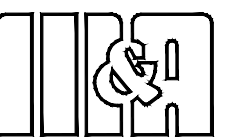
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

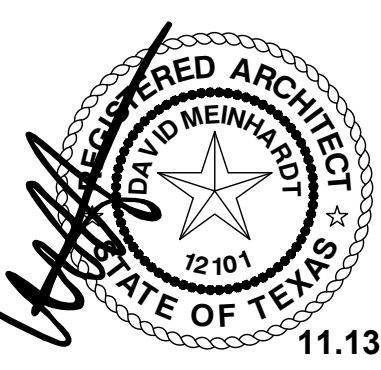
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER | DEVELOPER
CHANNELL
26040 YNEZ ROAD | P.O. BOX 9022
TEMECULA, CA-USA 92589-9022
951-719-2600
BILL CHANNELL JR - bchannelljr@channell.com



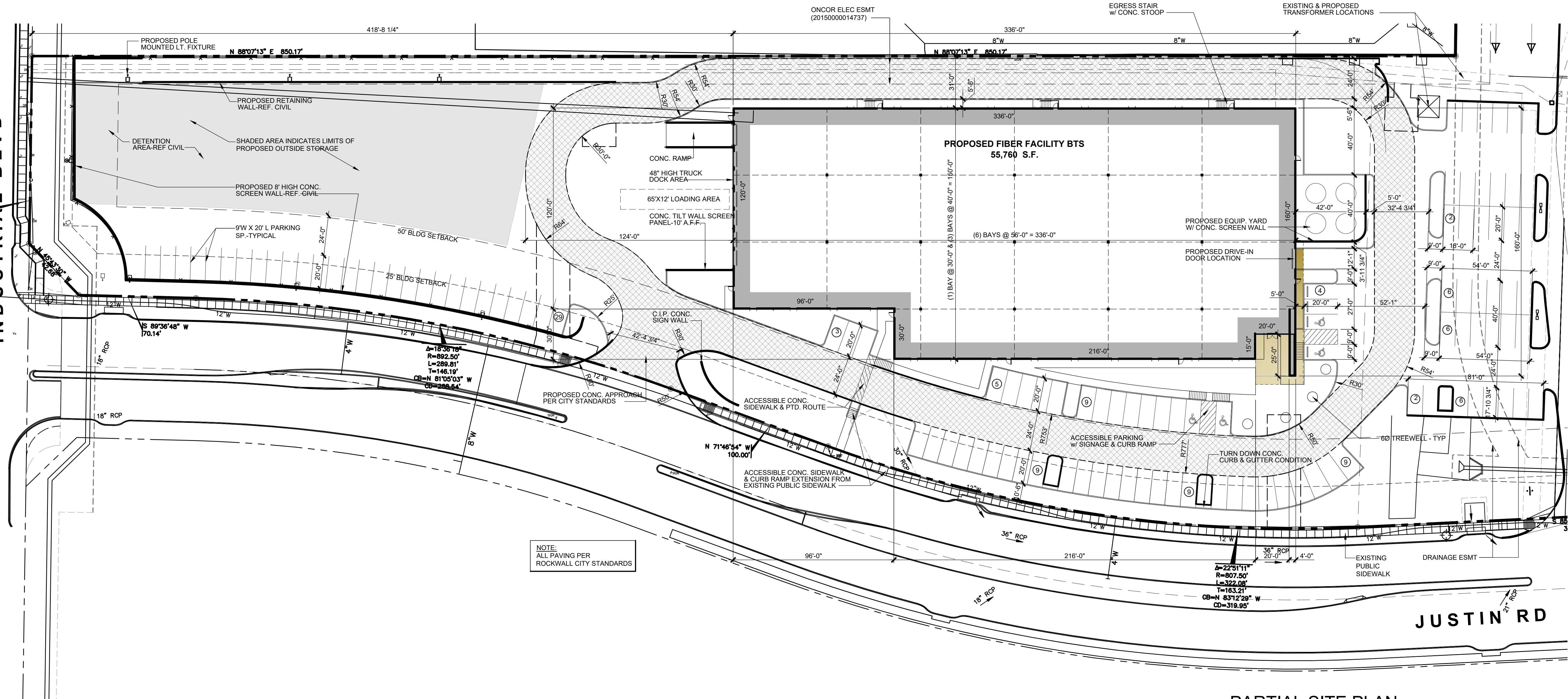
MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
1840 DALLAS PARKWAY
SUITE 500
DALLAS TEXAS 75244
972.960.9880



11.13.2020

PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: SITE PLAN

A1.00



NOTE:
ALL PAVING PER
ROCKWALL CITY STANDARDS

01 PARTIAL SITE PLAN
SCALE: 1" = 30'-0"
GRAPHIC SCALE IN FEET

2015 INTERNATIONAL BUILDING CODE (IBC) AND LOCAL CODE AMENDMENTS	
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	
2015 INTERNATIONAL FIRE CODE (IFC) AND LOCAL CODE AMENDMENTS	
2014 NATIONAL ELECTRIC CODE (NEC)	
2015 INTERNATIONAL MECHANICAL CODE (IMC)	
2015 INTERNATIONAL PLUMBING CODE (IPC)	
IMPROVEMENT AREA	
FIRST FLOOR OFFICE (FUTURE)	4,000 SF
FIRST FLOOR LT. ASSEMBLY	30,320 SF
MEZZANINE LT. ASSEMBLY	8,000 SF
WAREHOUSE	13,440 SF
TOTAL IMPROVEMENT AREA	55,760 SF
PARKING REQUIRED - OFFICE (4,000 SF @ 1:300 SF)	= 13.3 SPACES
PARKING REQUIRED - FIBER ASSEMBLY (30,320 SF @ 1:500 SF)	= 76.64 SPACES
PARKING REQUIRED - WAREHOUSE (13,440 SF @ 1:2000 SF)	= 6.72 SPACES
TOTAL PARKING REQUIRED	97 SPACES
TOTAL REQUIRED ACCESSIBLE PARKING STALLS	4 SPACES
TOTAL PARKING PROVIDED	99 SPACES
TOTAL PROVIDED ACCESSIBLE PARKING STALLS	4 SPACES
PROPOSED USE	OFFICE & FACTORY
TYPE OF CONSTRUCTION	TYPE IIB
SPRINKLER SYSTEM	ESFR
OCCUPANCY	GROUP B & F-1
OCCUPANT LOAD	
OFFICE USE AREAS (4,000 SF/100)	26.6
LIGHT ASSEMBLY (30,320 SF/100)	382.2
WAREHOUSE (13,440 SF/500)	26.88
TOTAL	435.68
EXIT WIDTH REQUIRED (435.68 x 0.15)	65.35" WIDE
EXIT WIDTH PROVIDED (32" WIDTH x X OPNGS.)	384" WIDE
EXIT TRAVEL DISTANCE	250 FEET

SP-20-2020-011

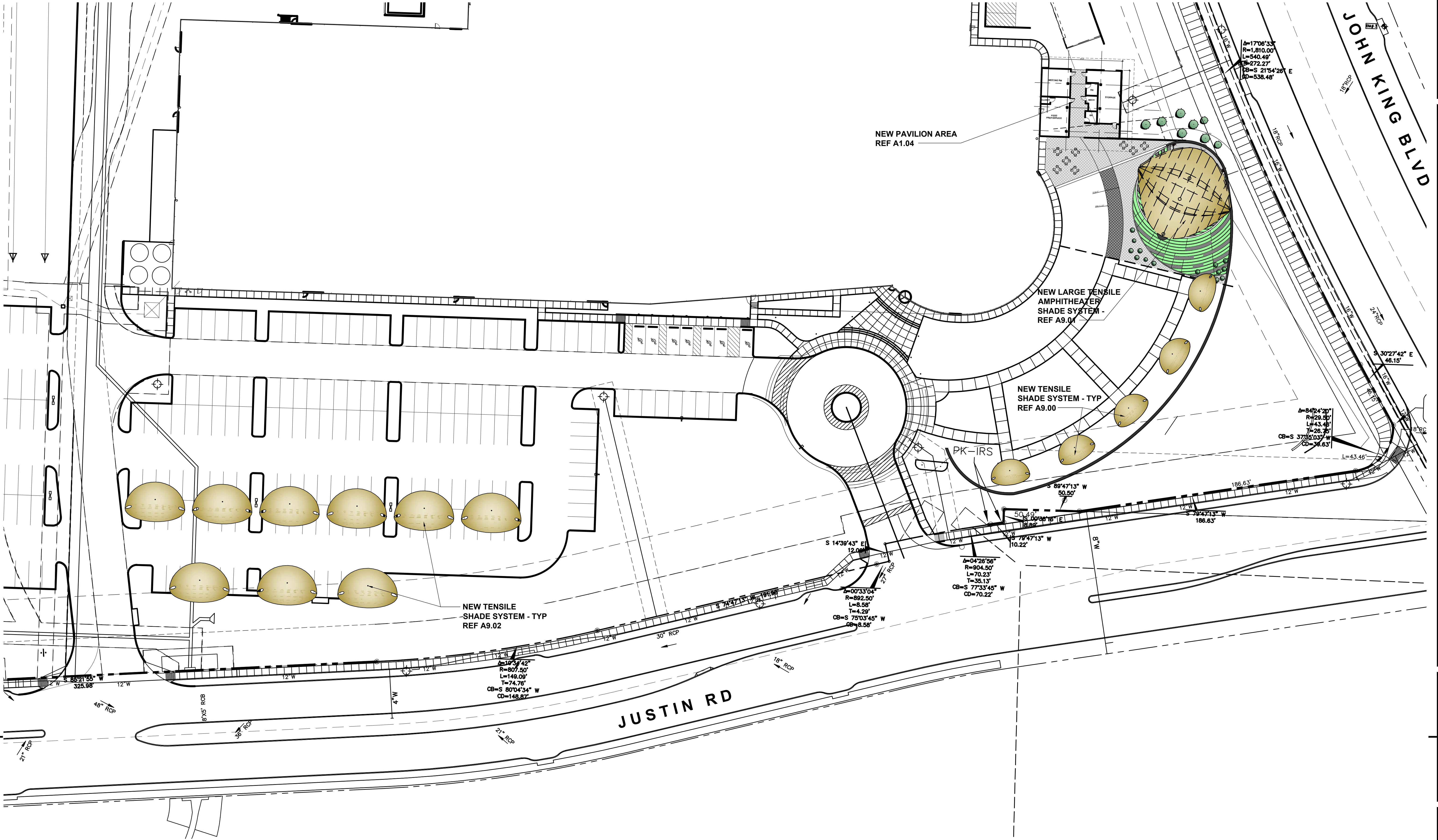
REVISIONS:

MEINHARDT & ASSOCIATES ARCHITECTS, P.L.L.C.
1440 DALLAS PARKWAY
SUITE 400
DALLAS TEXAS 75244
409.980.9880



PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: SITE PLAN

\\MA-SERVER-02A\Projects\MISC\2020\5-CHANNELL Corp\CDs\Shell\205-A100 Series.dwg, 11/13/2020 9:40:59 AM



CHANNELL CAMPUS IMPROVEMENTS
 ROCKWALL, TEXAS

1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES ARCHITECTS, P.L.L.C.
 1140 DALLAS PARKWAY
 SUITE 600
 DALLAS TEXAS 75244
 972.960.9880



11.13.2020

PROJECT NO: 20-205
 DATE: 11.13.2020
 DRAWN BY: DBC
 CHECKED BY: DDM
 SHEET: SITE PLAN

A1.02

01 PARTIAL SITE PLAN
 SCALE: 1" = 30'-0"
 GRAPHIC SCALE IN FEET

CHANNELL CAMPUS IMPROVEMENTS

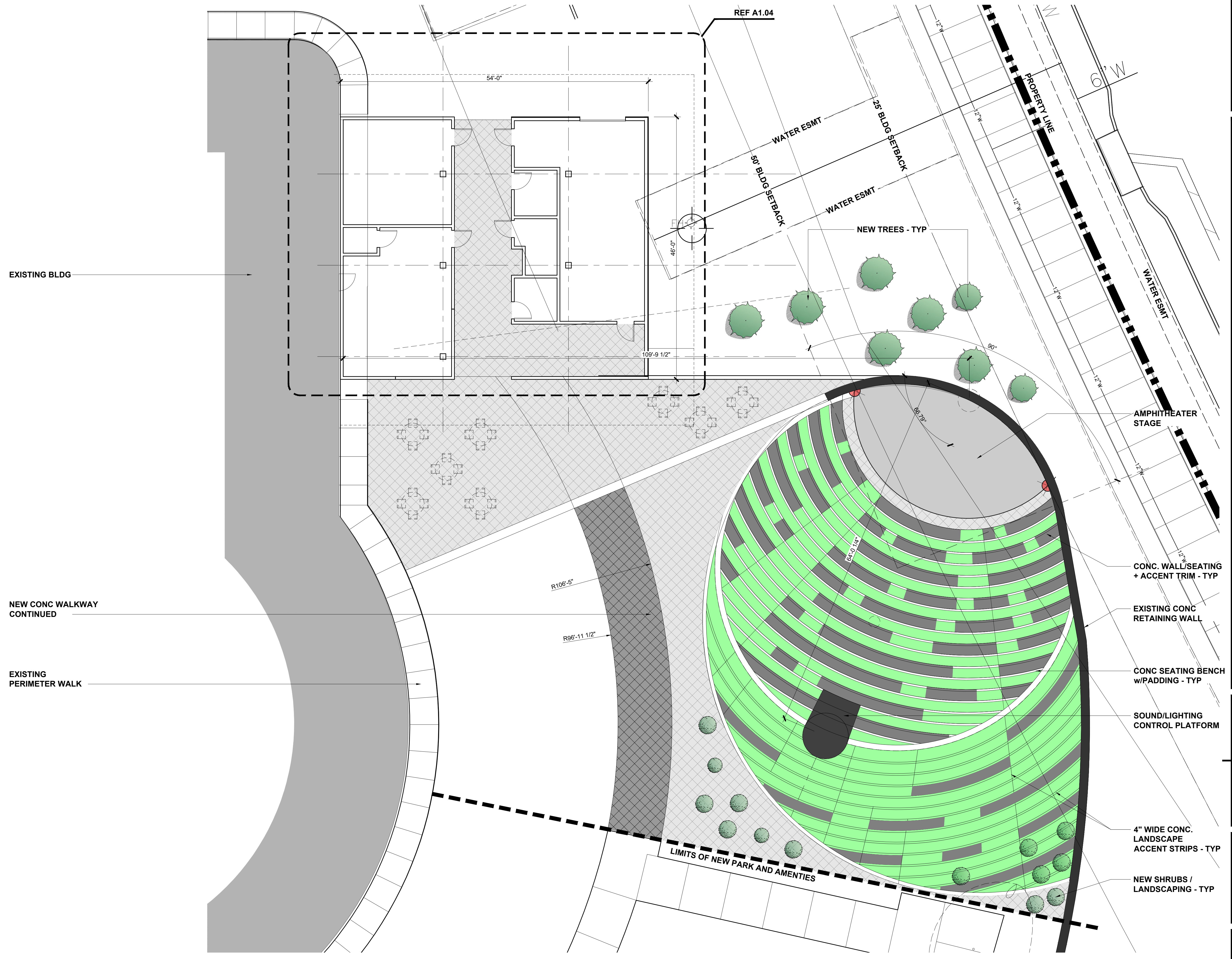
1700 JUSTIN ROAD
ROCKWALL, TEXAS

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
1400 DALLAS PARKWAY
SUITE 400
DALLAS TEXAS 75244
972.960.8800



PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: SITE PLAN

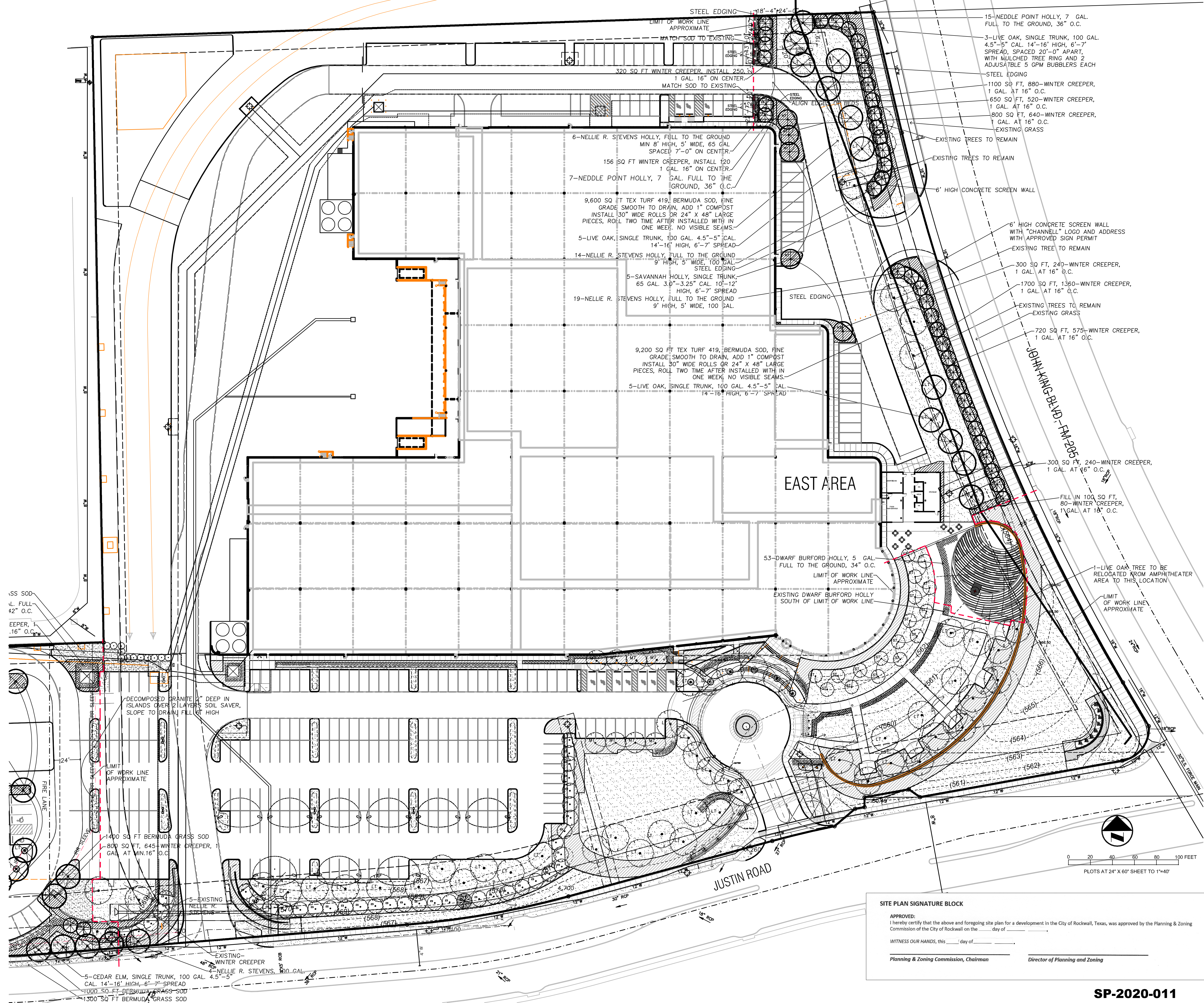
A1.03



01 OVERALL AMPHITHEATER + AMENITIES PLAN
SCALE: 1/8" = 1'-0"

NEW GRASS SODDING NEW CONC. ACCENT PAVING SEATING w/PADDING

SP-20-2020-011



- 15-NEEDLE POINT HOLLY, 7 GAL. FULL TO THE GROUND, 36" O.C.
- 3-LIVE OAK, SINGLE TRUNK, 100 GAL. 4.5"-5" CAL. 14"-16" HIGH, 6"-7" SPREAD, SPACED 20'-0" APART, WITH MULCHED TREE RING AND 2 ADJUSTABLE 5 GPM BUBBLERS EACH
- STEEL EDGING
- 1100 SQ FT, 880-WINTER CREEPER, 1 GAL. AT 16" O.C.
- 650 SQ FT, 520-WINTER CREEPER, 1 GAL. AT 16" O.C.
- 800 SQ FT, 640-WINTER CREEPER, 1 GAL. AT 16" O.C.
- EXISTING GRASS

- EXISTING TREES TO REMAIN
- EXISTING TREES TO REMAIN
- 6' HIGH CONCRETE SCREEN WALL
- 6' HIGH CONCRETE SCREEN WALL WITH "CHANNELL" LOGO AND ADDRESS WITH APPROVED SIGN PERMIT
- EXISTING TREE TO REMAIN
- 300 SQ FT, 240-WINTER CREEPER, 1 GAL. AT 16" O.C.
- 1700 SQ FT, 1360-WINTER CREEPER, 1 GAL. AT 16" O.C.
- EXISTING TREES TO REMAIN
- EXISTING GRASS
- 720 SQ FT, 576-WINTER CREEPER, 1 GAL. AT 16" O.C.

- 300 SQ FT, 240-WINTER CREEPER, 1 GAL. AT 16" O.C.
- FILL IN 100 SQ FT, 80-WINTER CREEPER, 1 GAL. AT 18" O.C.
- 1-LIVE OAK TREE TO BE RELOCATED FROM AMPHITHEATER AREA TO THIS LOCATION
- LIMIT OF WORK LINE APPROXIMATE

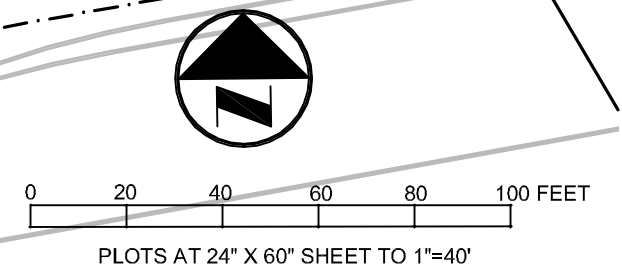
- 53-DWARF BURFORD HOLLY, 5 GAL. FULL TO THE GROUND, 34" O.C. LIMIT OF WORK LINE APPROXIMATE
- EXISTING DWARF BURFORD HOLLY SOUTH OF LIMIT OF WORK LINE
- EXISTING DWARF BURFORD HOLLY SOUTH OF LIMIT OF WORK LINE

- 1400 SQ FT BERMUDA GRASS SOD
- 800 SQ FT, 645-WINTER CREEPER, 1 GAL. AT 16" O.C.
- 5-EXISTING NELLIE R. STEVENS, 100 GAL. 9' HIGH, 5' WIDE, 100 GAL. STEEL EDGING
- 5-SAVANNAH HOLLY, SINGLE TRUNK, 65 GAL. 3.0"-3.25" CAL. 10"-12" HIGH, 6"-7" SPREAD
- 19-NELLIE R. STEVENS HOLLY, FULL TO THE GROUND 9' HIGH, 5' WIDE, 100 GAL.
- 9,200 SQ FT TEX TURF 419, BERMUDA SOD, FINE GRADE SMOOTH TO DRAIN, ADD 1" COMPOST INSTALL 30" WIDE ROLLS OR 24" X 48" LARGE PIECES, ROLL TWO TIME AFTER INSTALLED WITH IN ONE WEEK, NO VISIBLE SEAMS
- 5-LIVE OAK, SINGLE TRUNK, 100 GAL. 4.5"-5" CAL. 14"-16" HIGH, 6"-7" SPREAD
- 5-CEDAR ELM, SINGLE TRUNK, 100 GAL. 4.5"-5" CAL. 14"-16" HIGH, 6"-7" SPREAD
- 1000 SQ FT BERMUDA GRASS SOD
- 1300 SQ FT BERMUDA GRASS SOD

EAST AREA

JOHN KING BLVD - FM 205

JUSTIN ROAD



SITE PLAN SIGNATURE BLOCK

APPROVED: _____

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

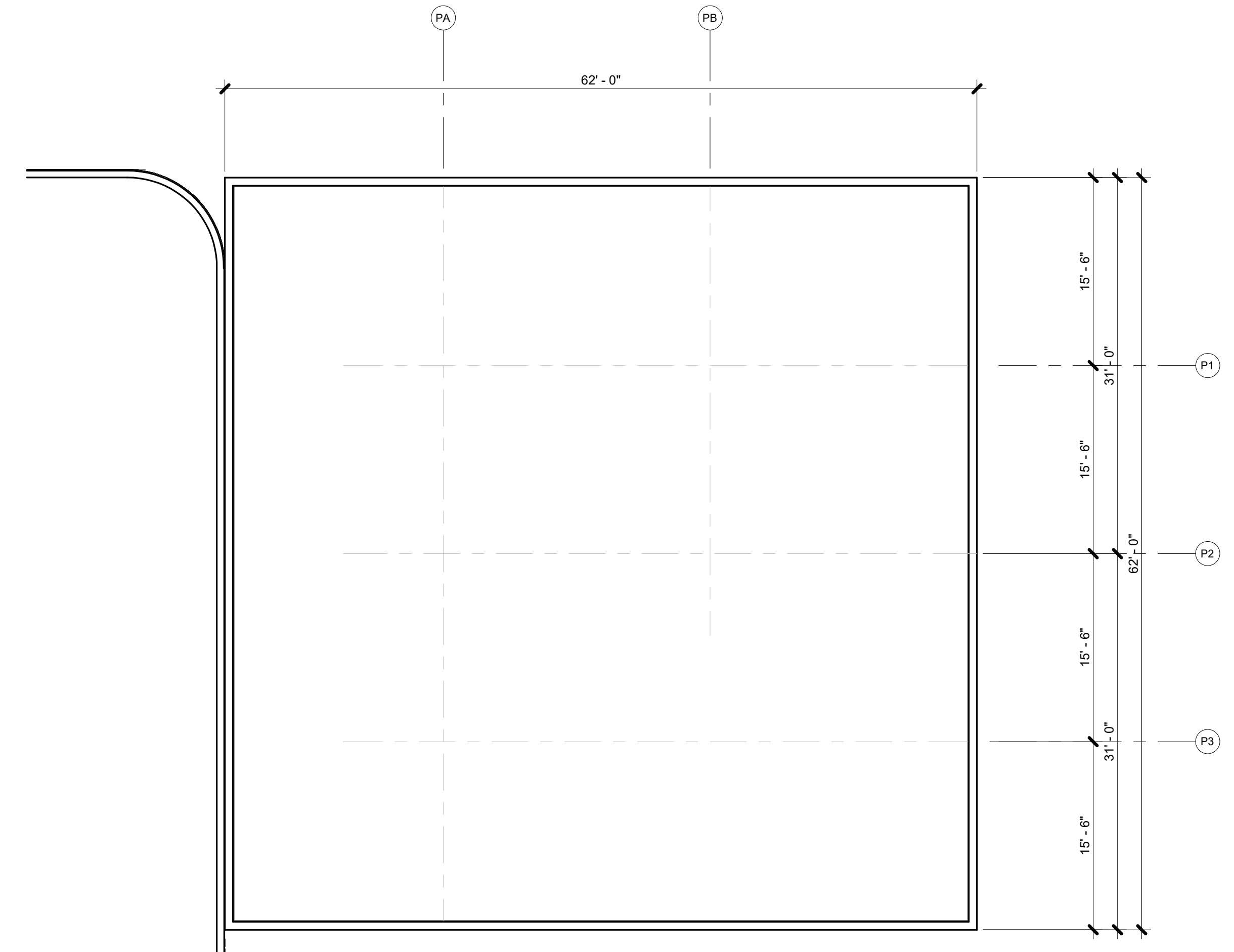
© 2020, T.H. PRITCHETT ASSOCIATES
LANDSCAPE ARCHITECTS AND PLANNERS

THESE DRAWINGS AND/OR SPECIFICATIONS PROVIDED WITHIN THIS DOCUMENT ARE THE PROPERTY OF T.H. PRITCHETT ASSOCIATES. NO PART OF THESE DOCUMENTS ARE NOT TO BE USED, REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF T.H. PRITCHETT ASSOCIATES. PERMISSION IS PROHIBITED.

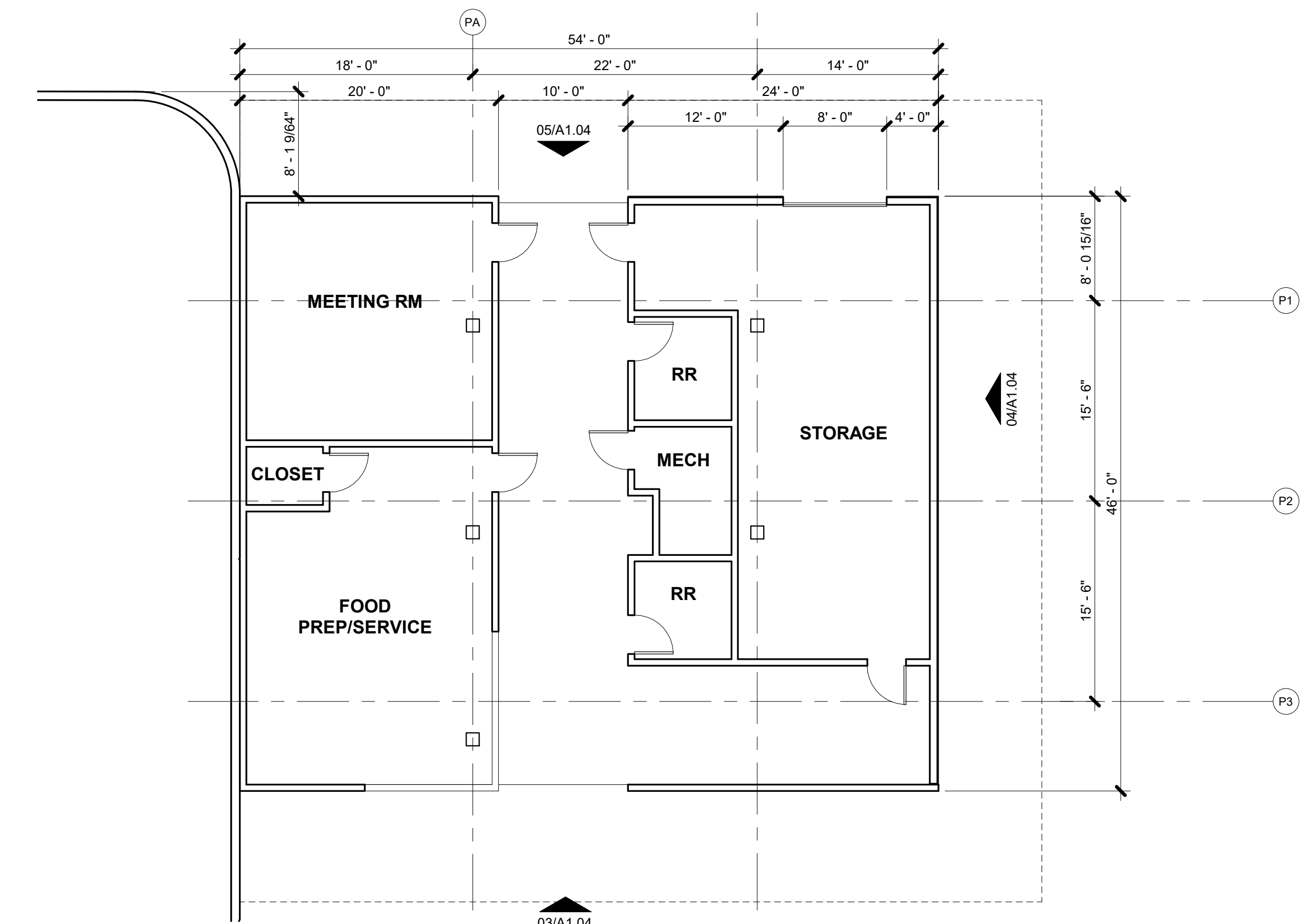
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T. H. PRITCHETT, R.L.A. NO. 2115 ON 11/13/2020

NO.	DATE	REVISION				
<p>TP T. H. Pritchett / Associates LANDSCAPE ARCHITECTS 1218 CAMINO LAGO, IRVING, TEXAS 75039 972.969-3535</p>						
<p>ALTERNATE LANDSCAPE PLAN EAST</p>						
<p>CHANNELL COMMERCIAL CORP.</p>						
<p>WEST PARKING & STORAGE LAYOUT</p>						
<p>1700 JUSTIN ROAD</p>						
<p>CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS</p>						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
THP	THP	11/13/2020	1"=30'			LAE-1

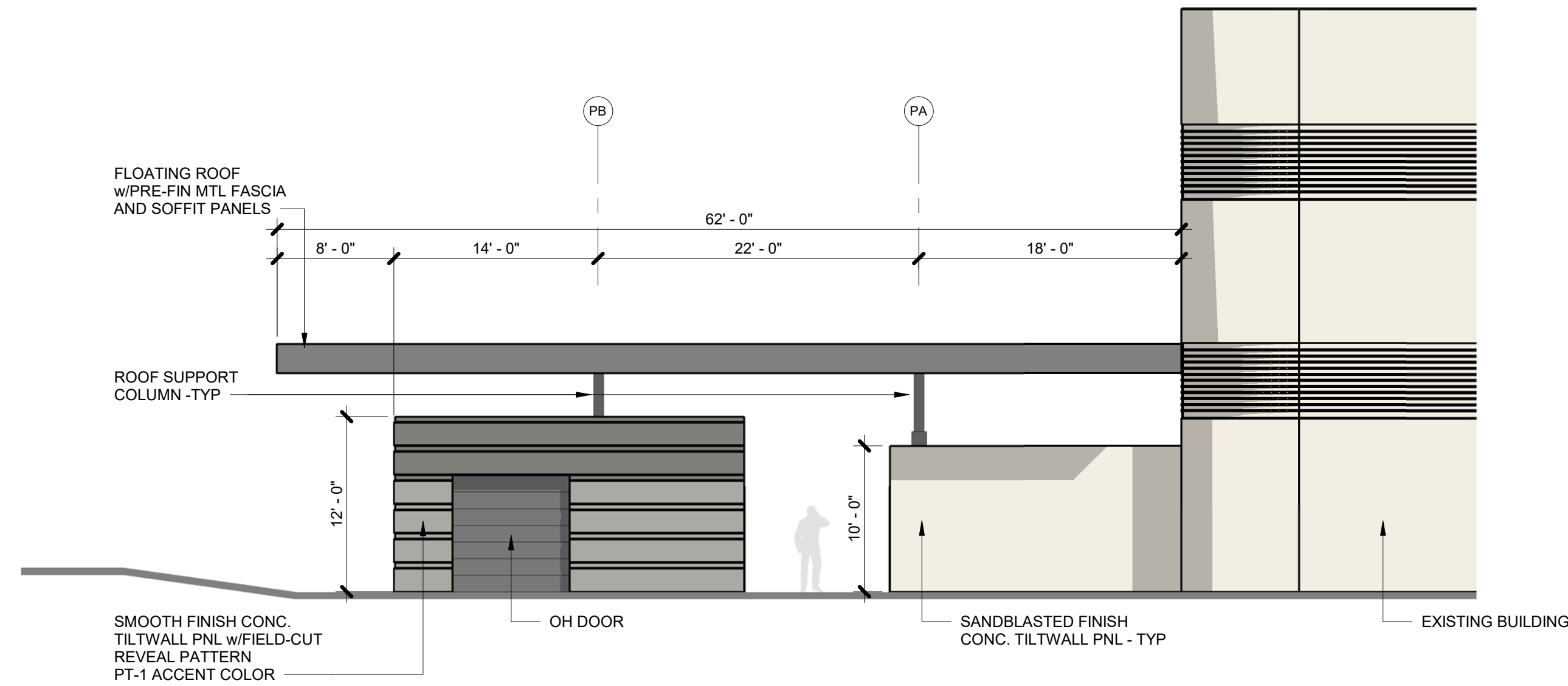
SP-2020-011



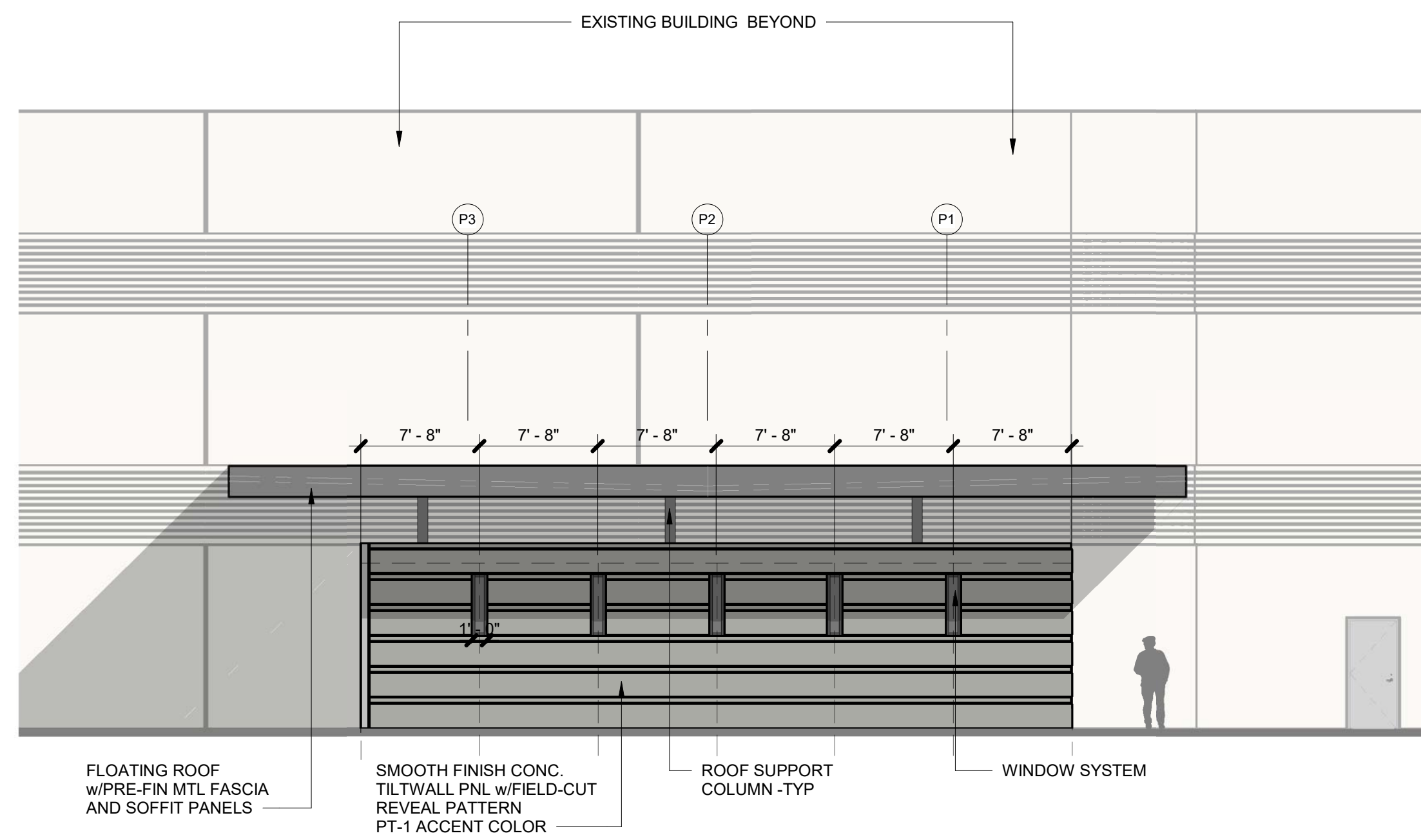
02 PAVILION ROOF
SCALE: 1/8" = 1'-0"
TRUE 32' PLAN



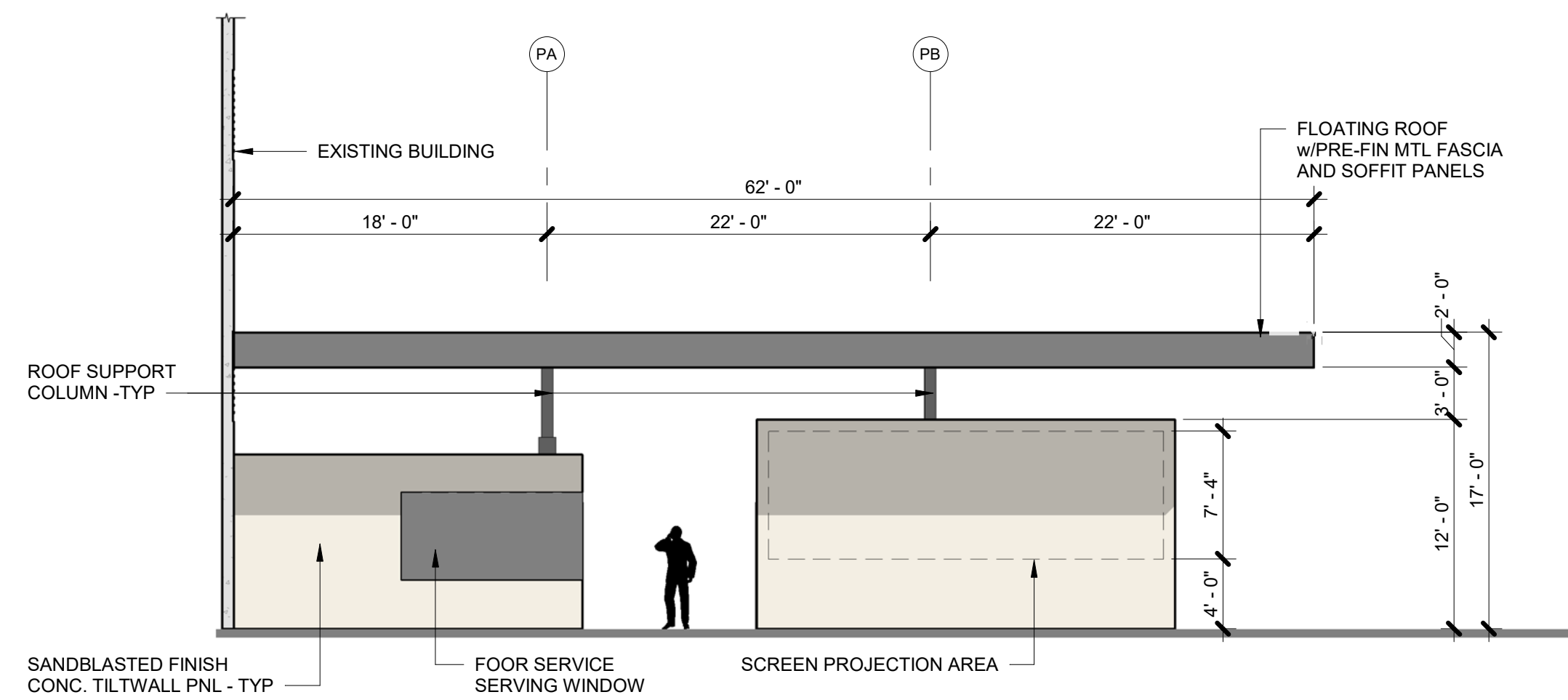
01 PAVILION PLAN
SCALE: 1/8" = 1'-0"
TRUE 32' PLAN



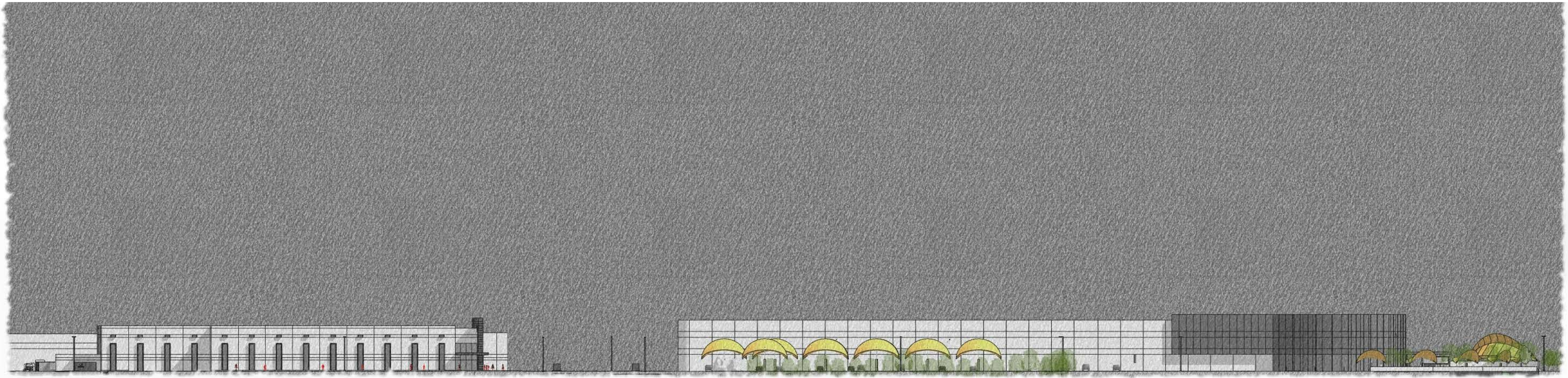
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SCALE: 1/8" = 1'-0"



04 EAST ELEVATION PAVILION
SCALE: 1/8" = 1'-0"



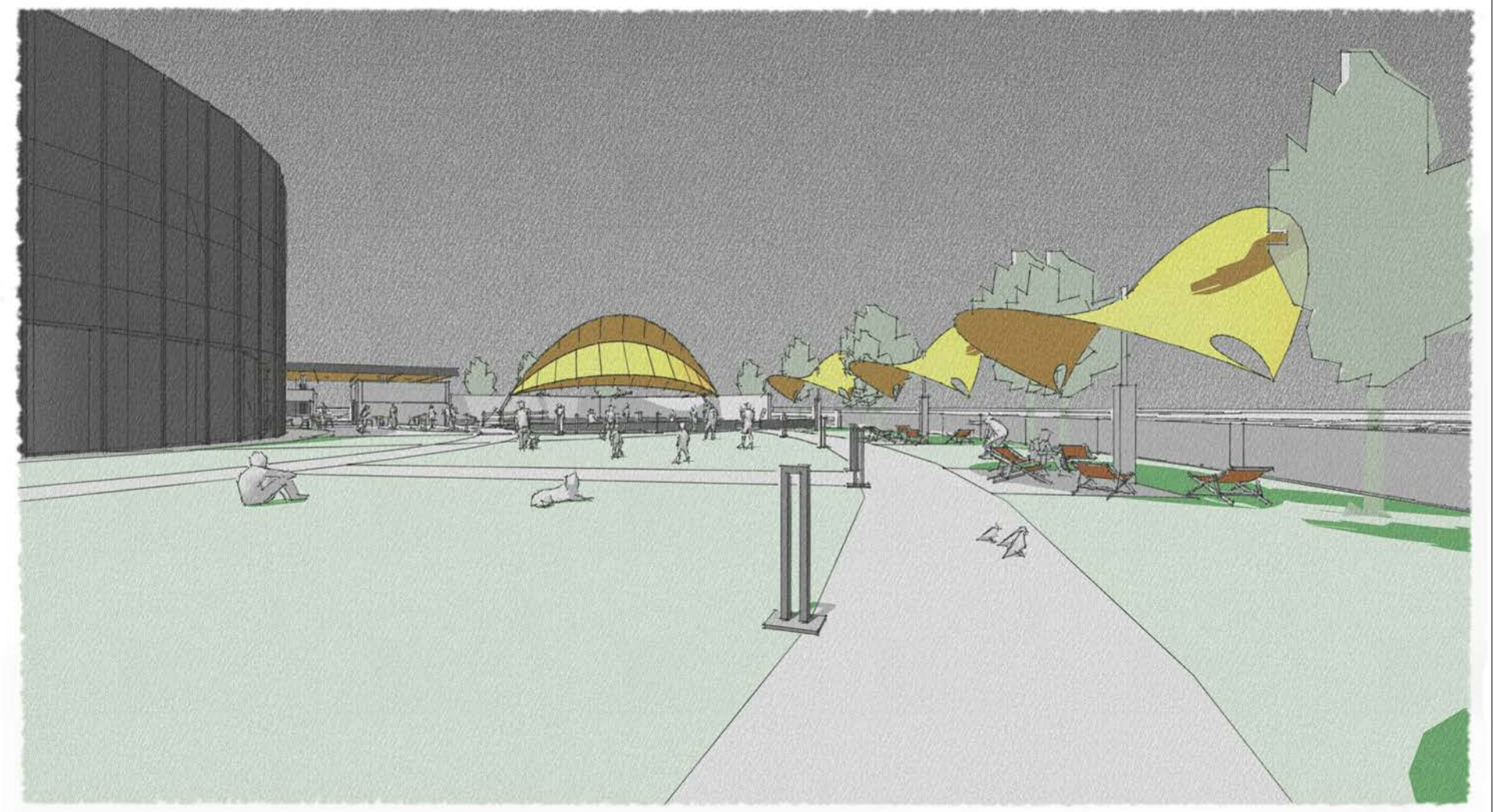
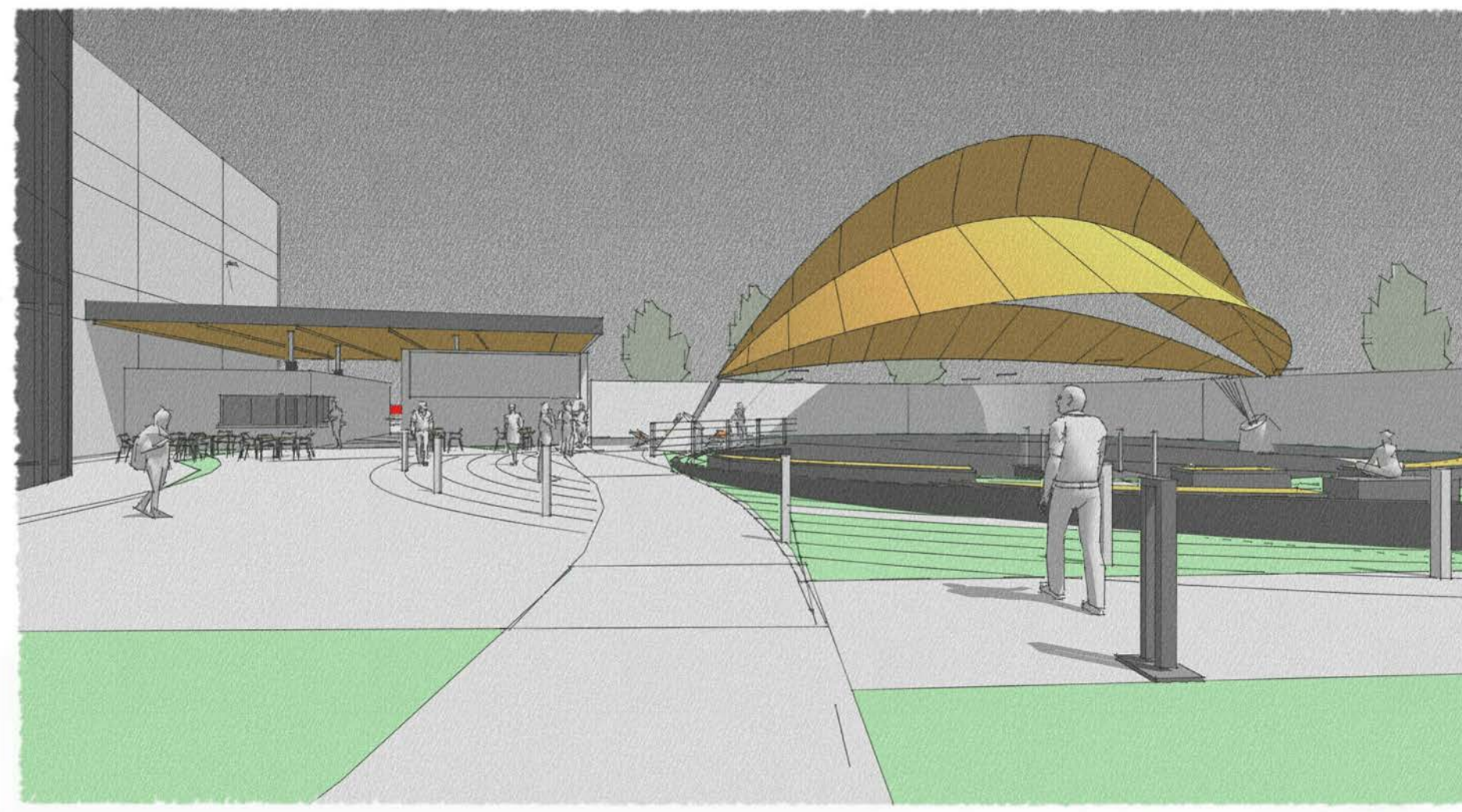
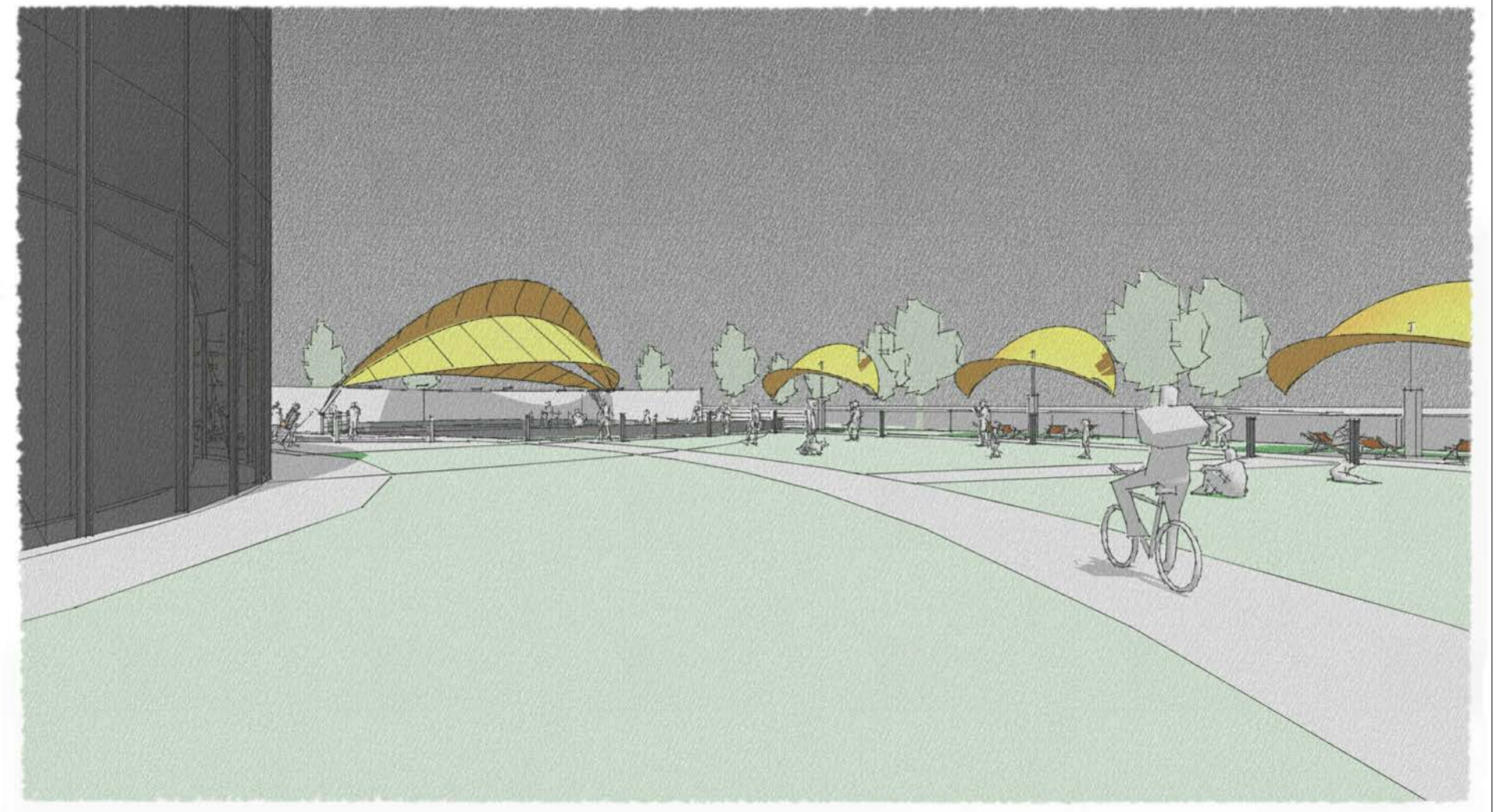
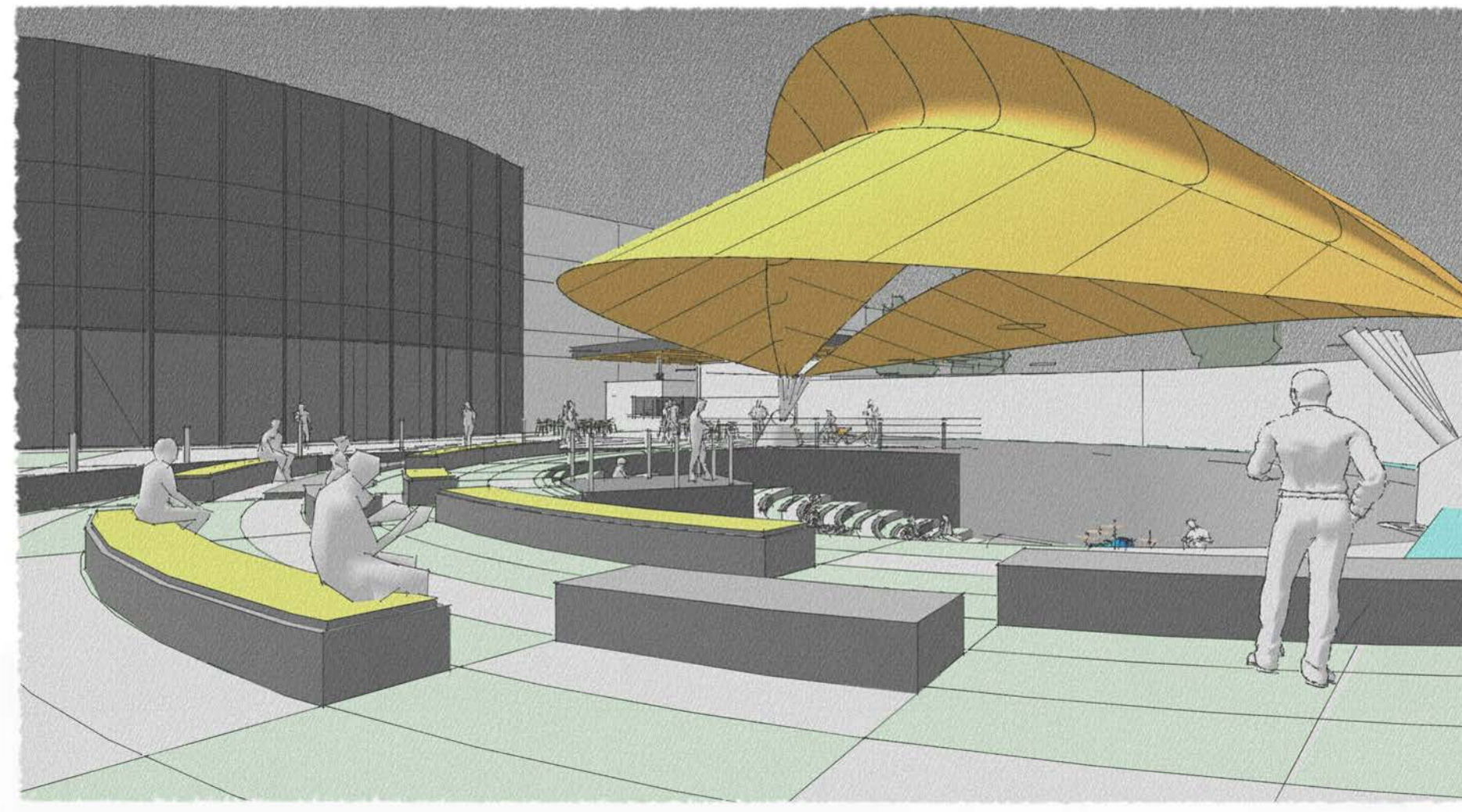
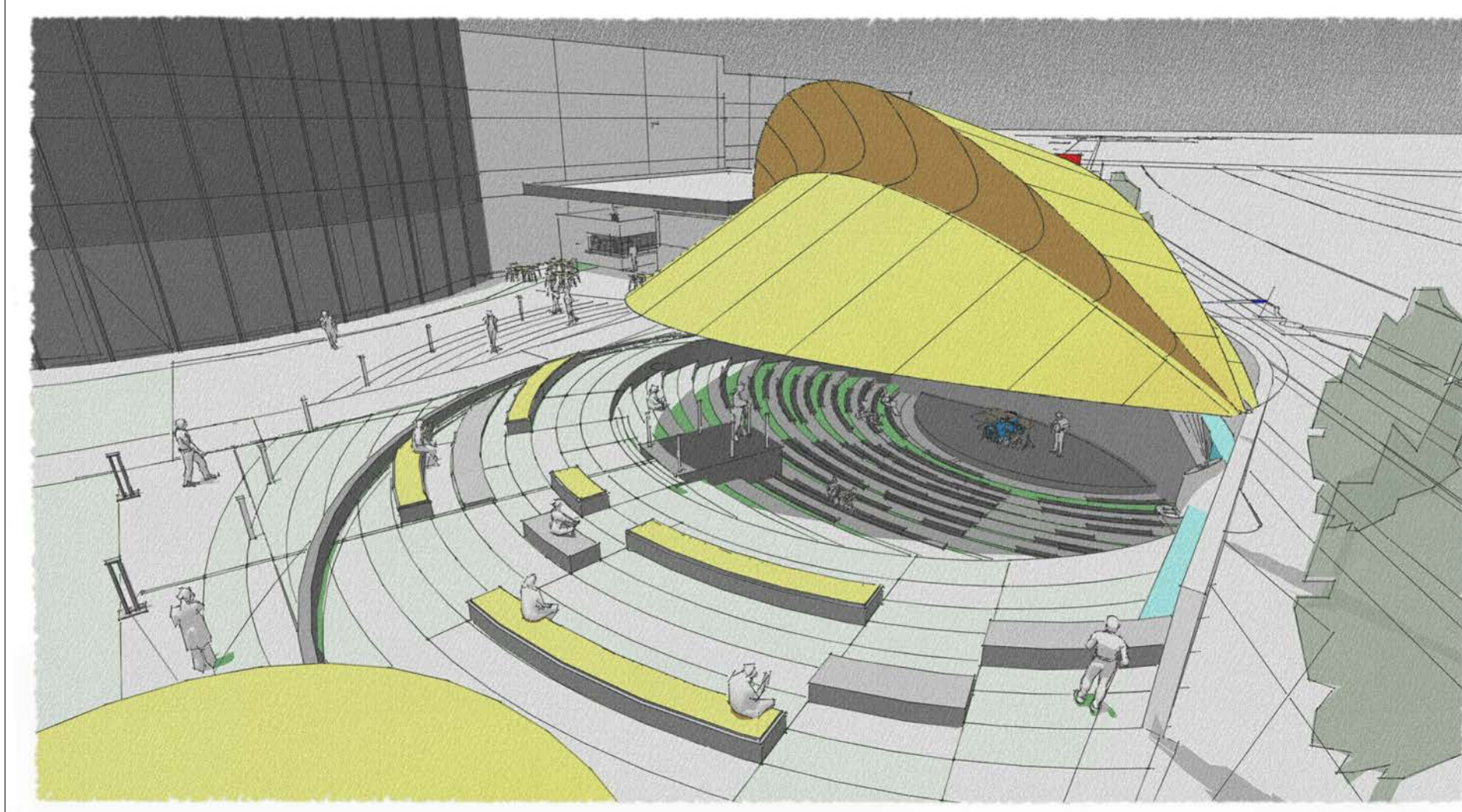
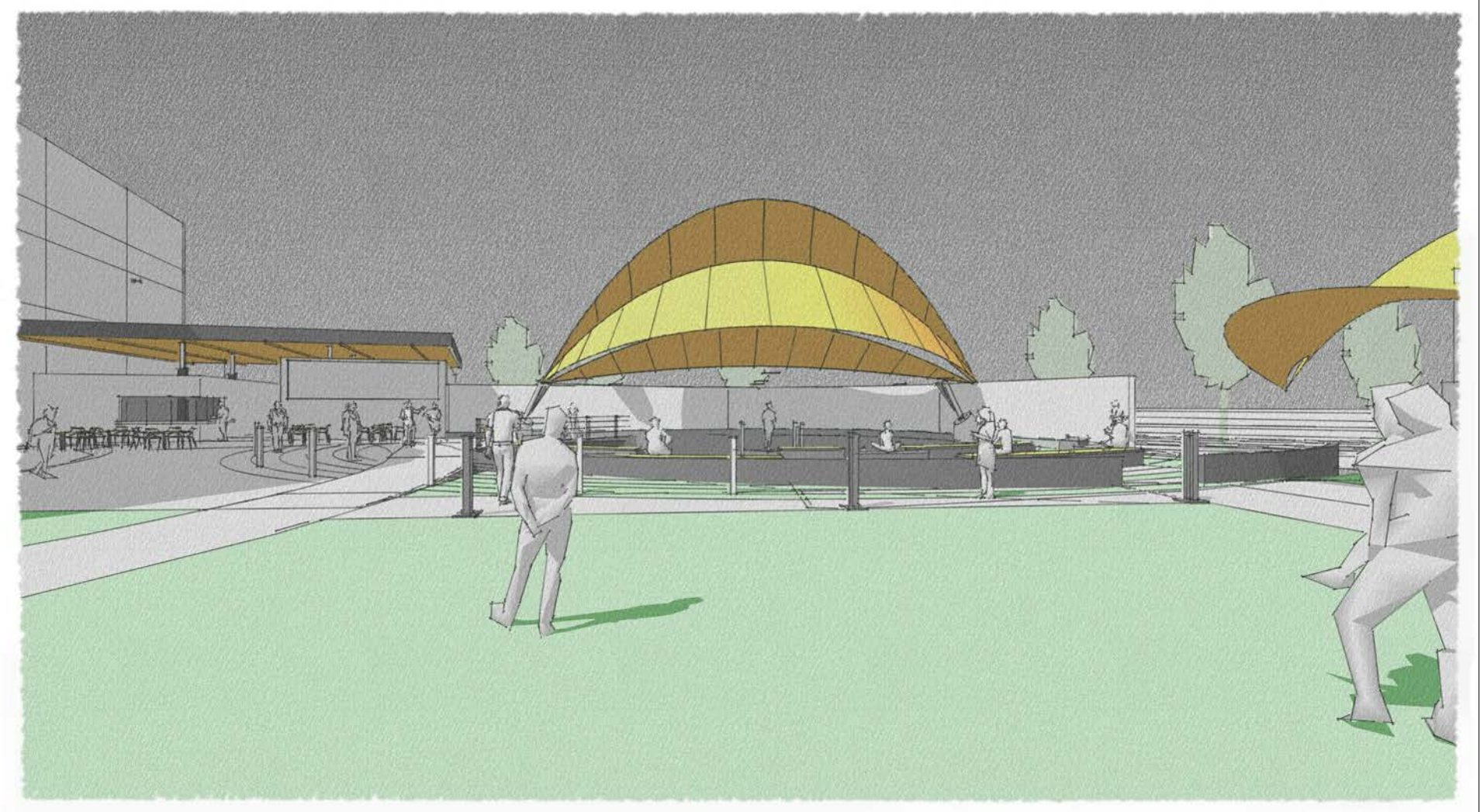
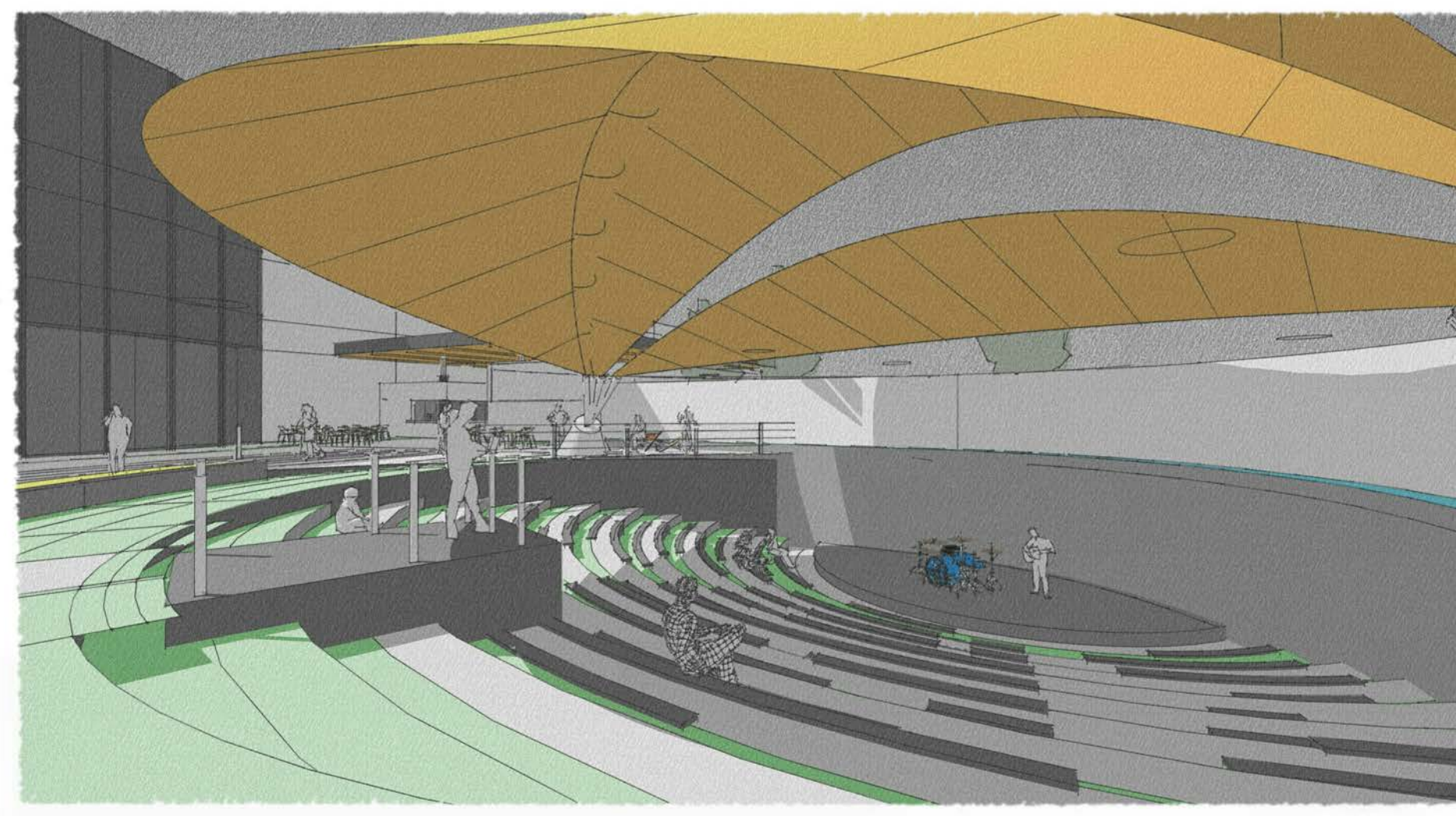
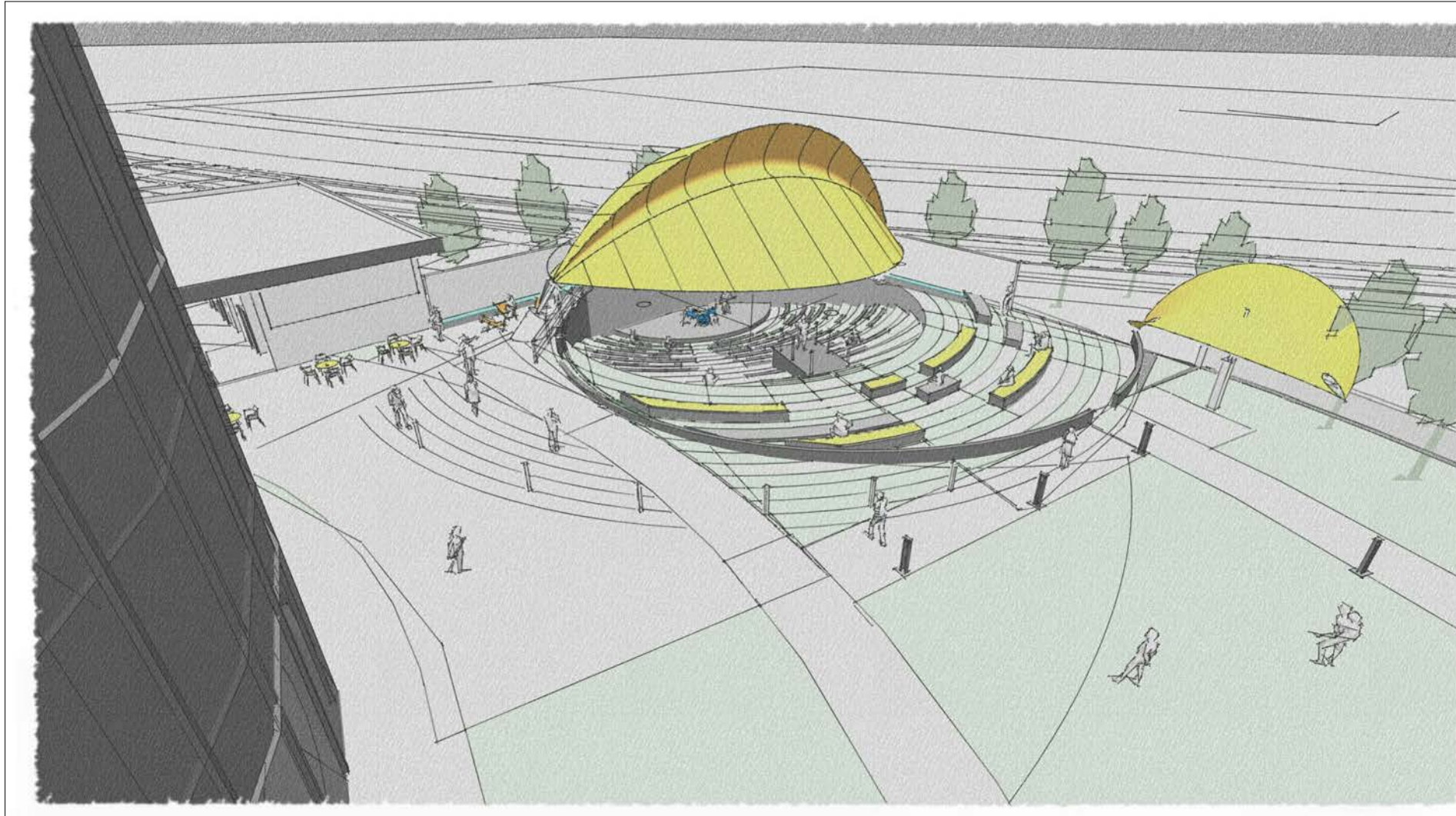
03 SOUTH ELEVATION PAVILION
SCALE: 1/8" = 1'-0"



SOUTH CAMPUS ELEVATION - JUSTIN RD

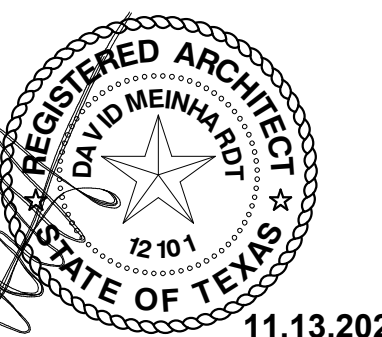


EAST CAMPUS ELEVATION - JOHN KING BLVD



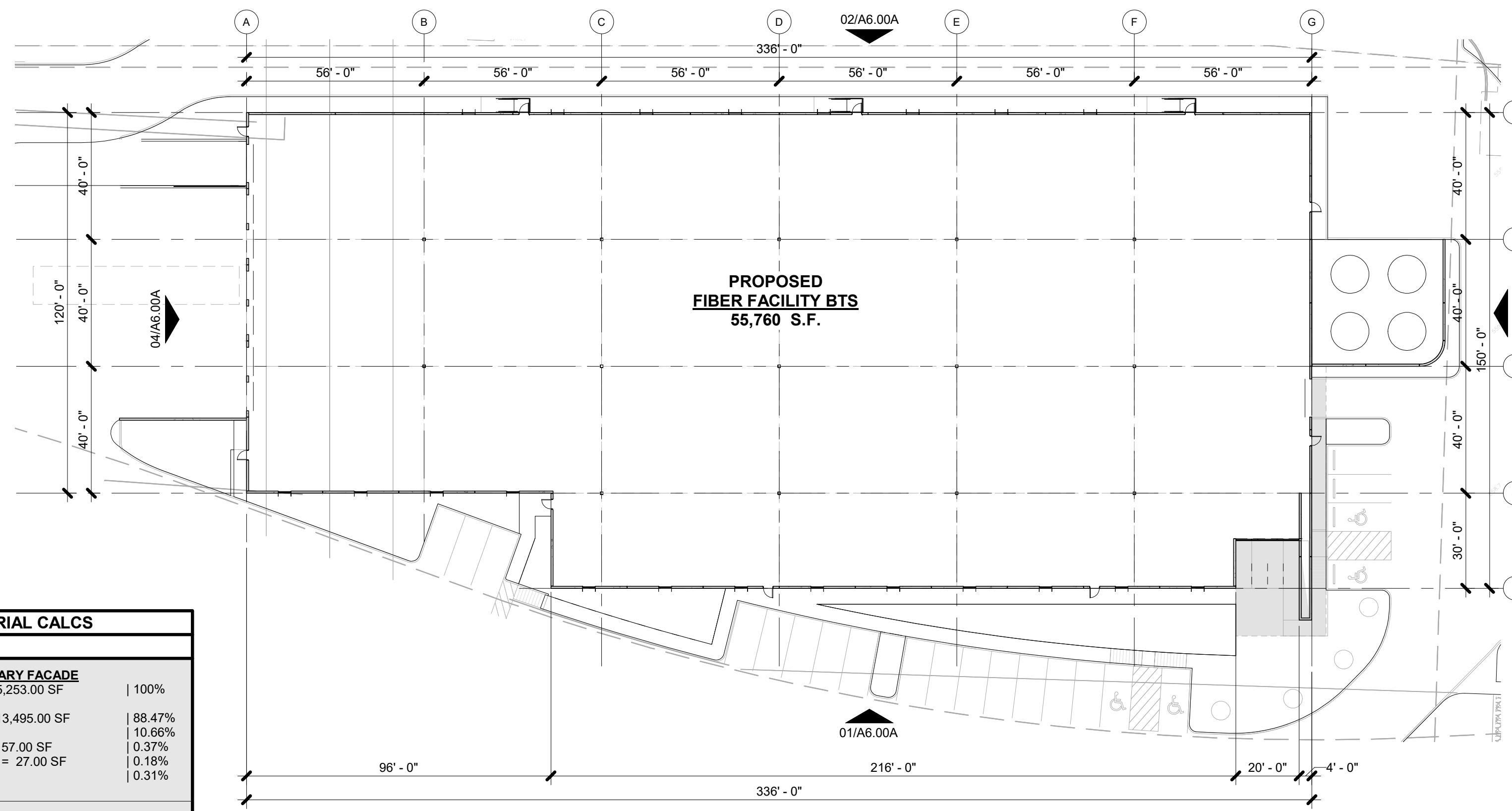
CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS
1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
1800 DALLAS PARKWAY
SUITE 500
DALLAS TEXAS 75206
P: 214.440.4000

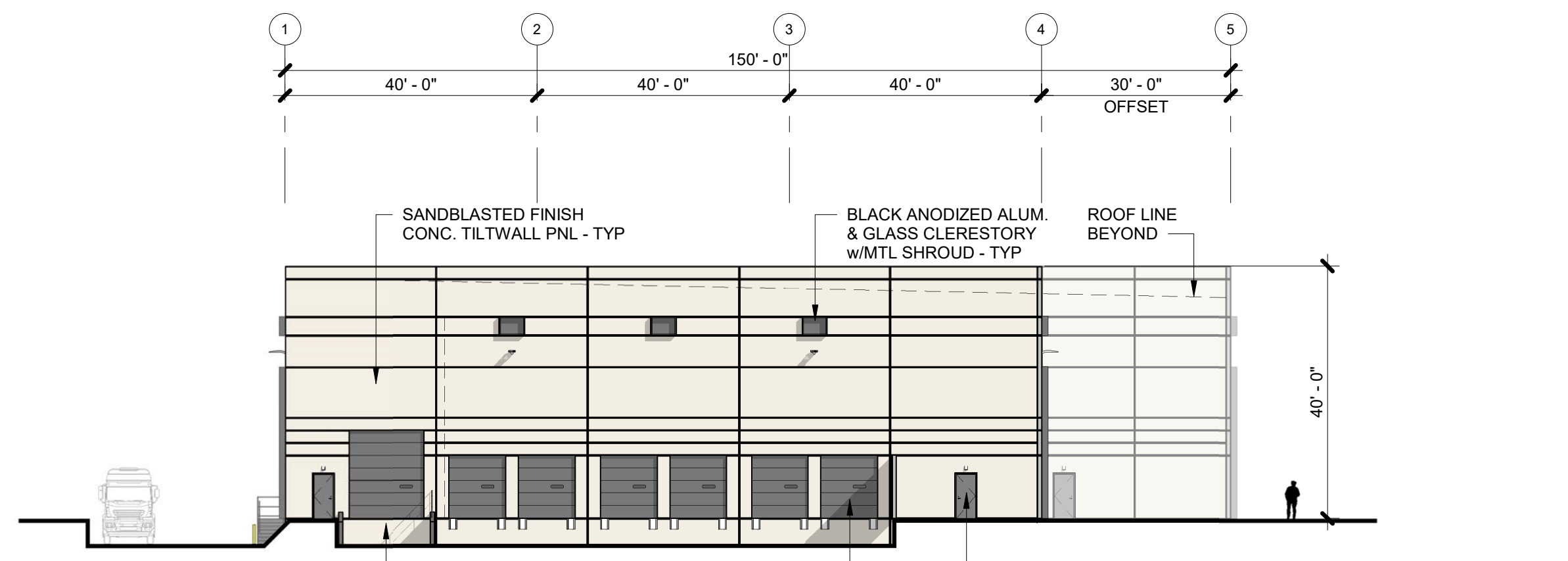


PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: P&Z CONCEPT IMAGES

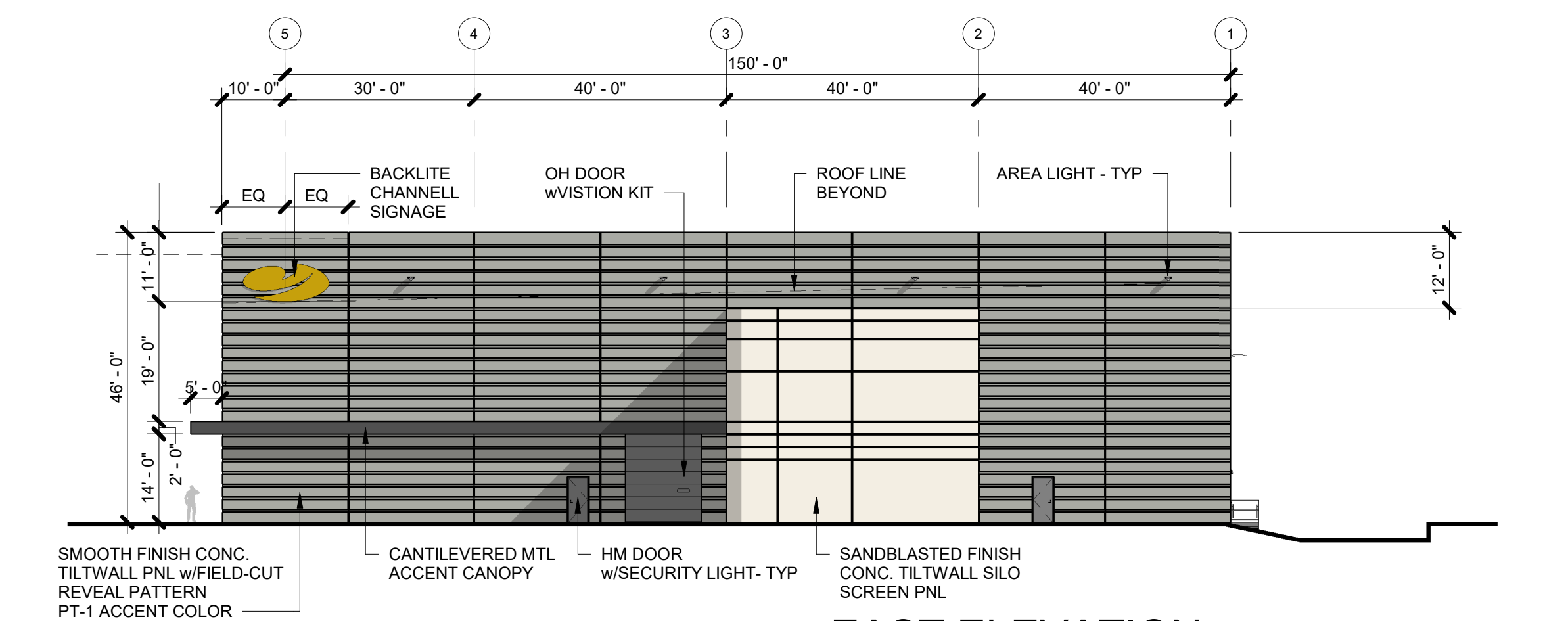
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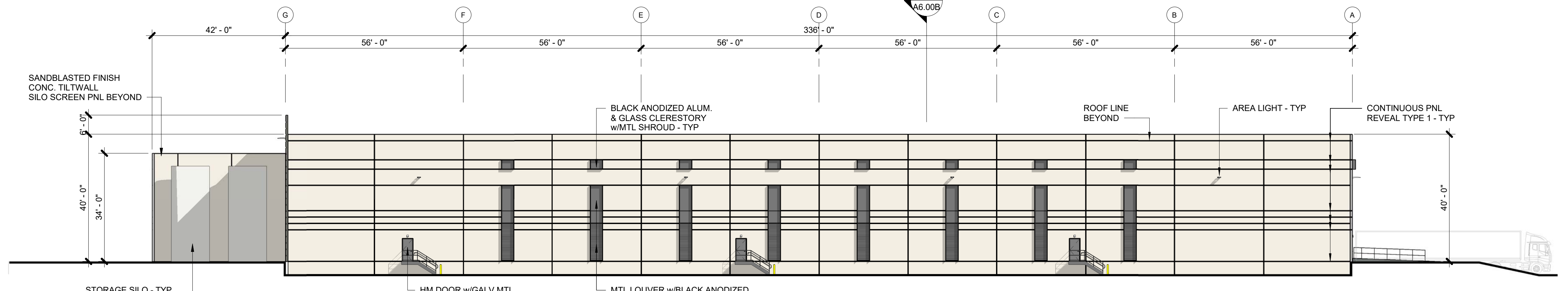
05 OVERALL SHELL FLOOR PLAN
SCALE: 1" = 30'-0"



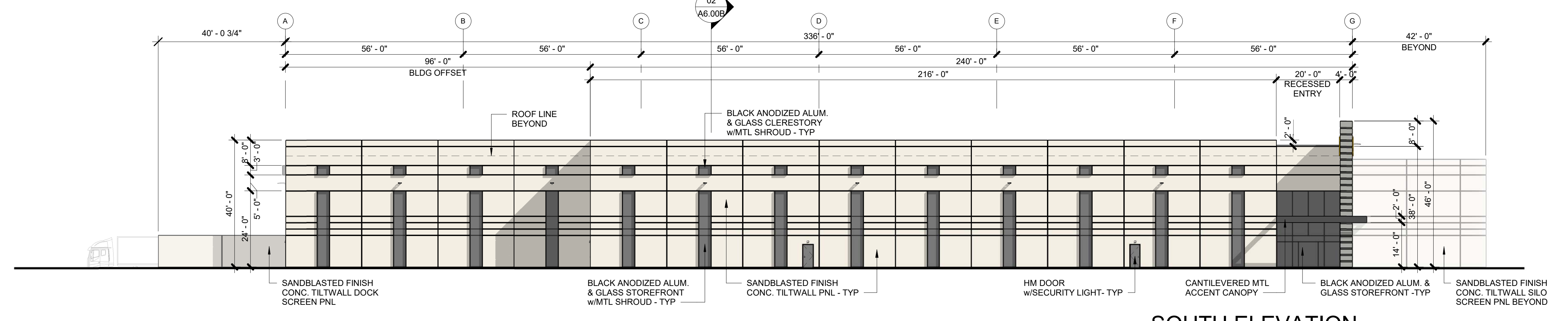
04 WEST ELEVATION
SCALE: 1" = 20'-0"



03 EAST ELEVATION
SCALE: 1" = 20'-0"



02 NORTH ELEVATION
SCALE: 1" = 20'-0"



01 SOUTH ELEVATION
SCALE: 1" = 20'-0"

ELEVATION + MATERIAL CALCS	
SOUTH ELEVATION - PRIMARY FACADE	
TOTAL FACADE AREA = 15,253.00 SF	100%
• CONCRETE TILTWALL = 13,495.00 SF	88.47%
• GLASS = 1,626.00 SF	10.66%
• MTL ACCENT CANOPY = 57.00 SF	0.37%
• MTL WINDOW SHROUDS = 27.00 SF	0.18%
• HM DOORS = 48.00 SF	0.31%
WEST ELEVATION - PRIMARY FACADE	
TOTAL FACADE AREA = 6,290.00 SF	100%
• CONCRETE TILTWALL = 5,473.00 SF	87.01%
• GLASS = 36 SF	0.57%
• MTL WINDOW SHROUDS = 1.00 SF	0.02%
• HM DOORS = 72.00 SF	1.14%
• OH DOORS = 708.00 SF	11.26%
NORTH ELEVATION	
TOTAL FACADE AREA = 16,216.00 SF	100%
• CONCRETE TILTWALL = 15,371.00 SF	97.79%
• GLASS = 419.00 SF	2.58%
• MTL WINDOW SHROUDS = 17.00 SF	0.10%
• MTL LOUVERS = 337.00 SF	2.08%
• HM DOORS = 72.00 SF	0.44%
EAST ELEVATION	
TOTAL FACADE AREA = 4,935.00 SF	100%
• CONCRETE TILTWALL = 1,613.00 SF	80.65%
• GLASS = 1.00 SF	0.05%
• MTL ACCENT CANOPY = 170.00 SF	8.50%
• HM DOORS = 48.00 SF	2.40%
• OH DOORS = 168.00 SF	8.40%

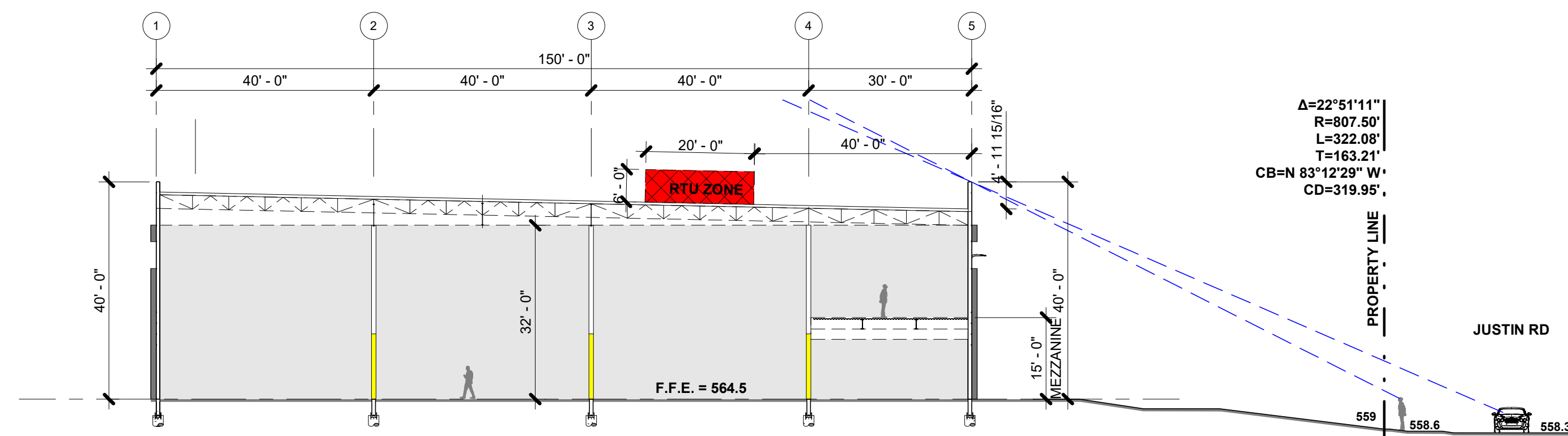
ARTICULATION CALCS	
SOUTH ELEVATION - PRIMARY FACADE	
1. WALL HEIGHT = 40'-0"	216'-0" PROVIDED
2. WALL LENGTH = 4 x 40'-0" = 160'-0" MAX	15'-0" PROVIDED
3. WALL PROJECTION = 25% X 40'-0" = 10'-0" MIN	20'-0" PROVIDED
4. ENTRY / ARCH ELEMENT LENGTH = 33% x 40'-0" = 13'-2 3/8" MIN	8'-0" PROVIDED
5. PROJECTION HEIGHT = 25% x 40'-0" = 10'-0" MIN	25'-0" PROVIDED
6. ENTRY / ARCH ELEMENT WIDTH = 2 x (25% x 40'-0") = 20'-0"	
WEST ELEVATION - PRIMARY FACADE	
1. WALL HEIGHT = 40'-0"	120'-0" PROVIDED
2. WALL LENGTH = 4 x 40'-0" = 160'-0" MAX	N/A
3. WALL PROJECTION = 25% X HEIGHT = N/A	N/A
4. ENTRY / ARCH ELEMENT LENGTH = 33% x LENGTH = N/A	N/A
5. PROJECTION HEIGHT = 25% x HEIGHT = N/A	N/A
6. ENTRY / ARCH ELEMENT WIDTH = 2 x (25% x H)	N/A
NORTH ELEVATION - SECONDARY FACADE	
1. WALL HEIGHT = 40'-0"	336'-0" PROVIDED
2. WALL LENGTH = 3 x 40'-0" = 120'-0" MAX	N/A
3. ENTRY / ARCH ELEMENT LENGTH = 15% x LENGTH = N/A	N/A
4. ENTRY / ARCH ELEMENT WIDTH = 15% x HEIGHT = N/A	N/A
5. PROJECTION HEIGHT = 15% x HEIGHT	N/A
EAST ELEVATION - SECONDARY FACADE	
1. WALL HEIGHT = 46'-0"	80'-0" PROVIDED
2. WALL LENGTH = 3 x 46'-0" = 138'-0" MAX	40'-0" PROVIDED
3. ENTRY / ARCH ELEMENT LENGTH = 15% x 80'-0" = 12'-0" MIN	42'-0" PROVIDED
4. ENTRY / ARCH ELEMENT WIDTH = 15% x 46'-0" = 6'-10 13/16" MIN	12'-0" PROVIDED
5. PROJECTION HEIGHT = 15% x 46'-0" = 6'-10 13/16" MIN	



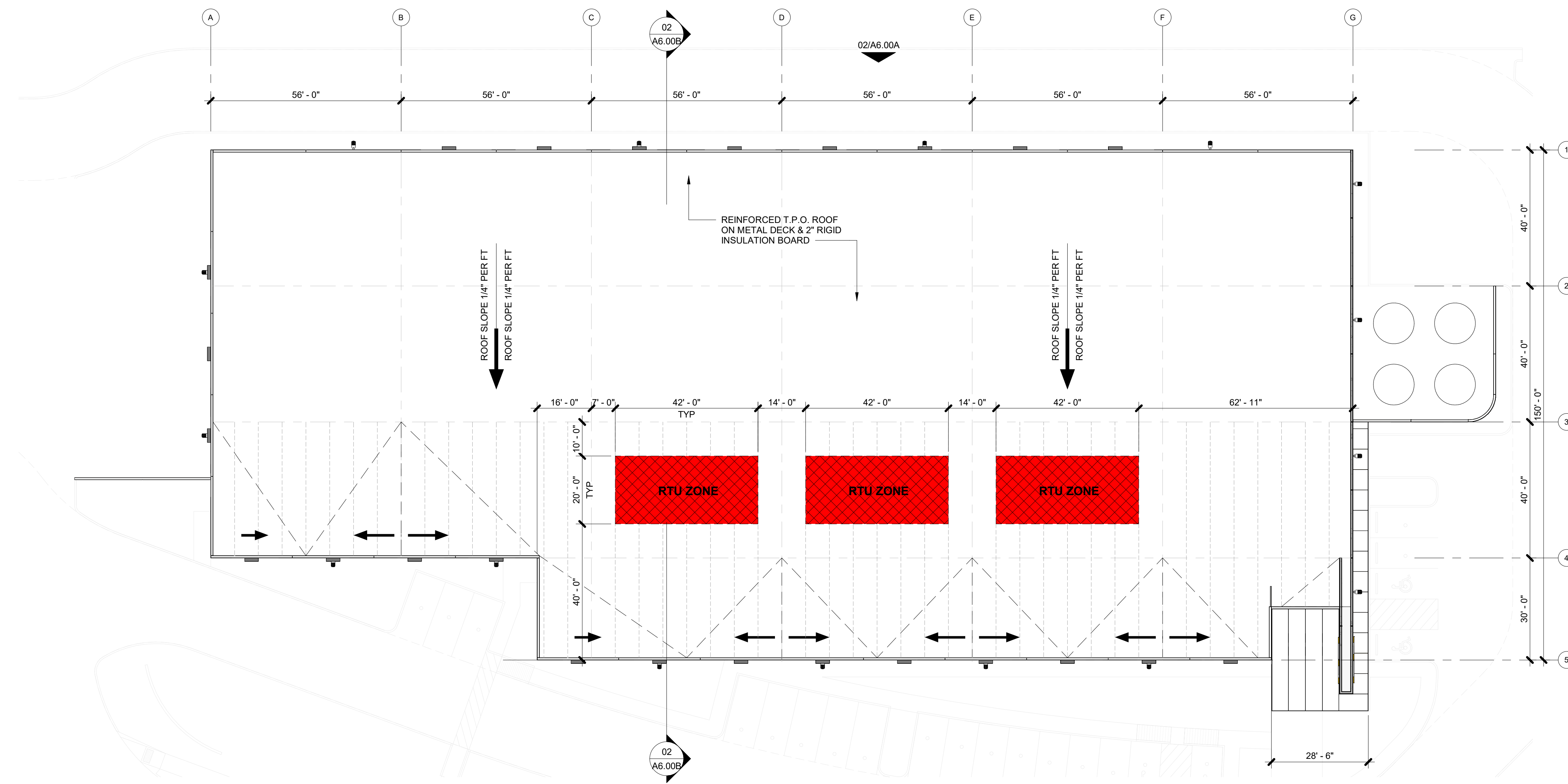
PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: P&Z ELEVATIONS

A6.00A

11/13/2020 9:54:41 AM I:\MA-SERVER-02\Projects\MISC\20205-CHANNELL_Campus\ARCH_CHANNELL_50K_R20.rvt



02 BUILDING SECTION
SCALE: 1" = 20'-0"

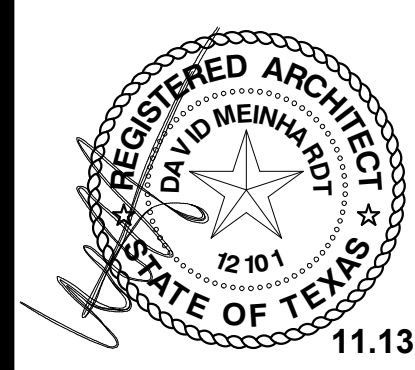


01 OVERALL ROOF PLAN
SCALE: 1" = 20'-0"

REVISIONS

CHANNELL CAMPUS IMPROVEMENTS
1700 JUSTIN ROAD
ROCKWALL, TEXAS

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
1800 DALLAS PARKWAY
SUITE 400
DALLAS TEXAS 75208
P.O. BOX 4000



PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: P&Z DIAGRAMS

A6.00B

SP-20-2020-011



**PROPOSED
FIBER FACILITY BTS
55,760 S.F.**

CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS
1700 JUSTIN ROAD

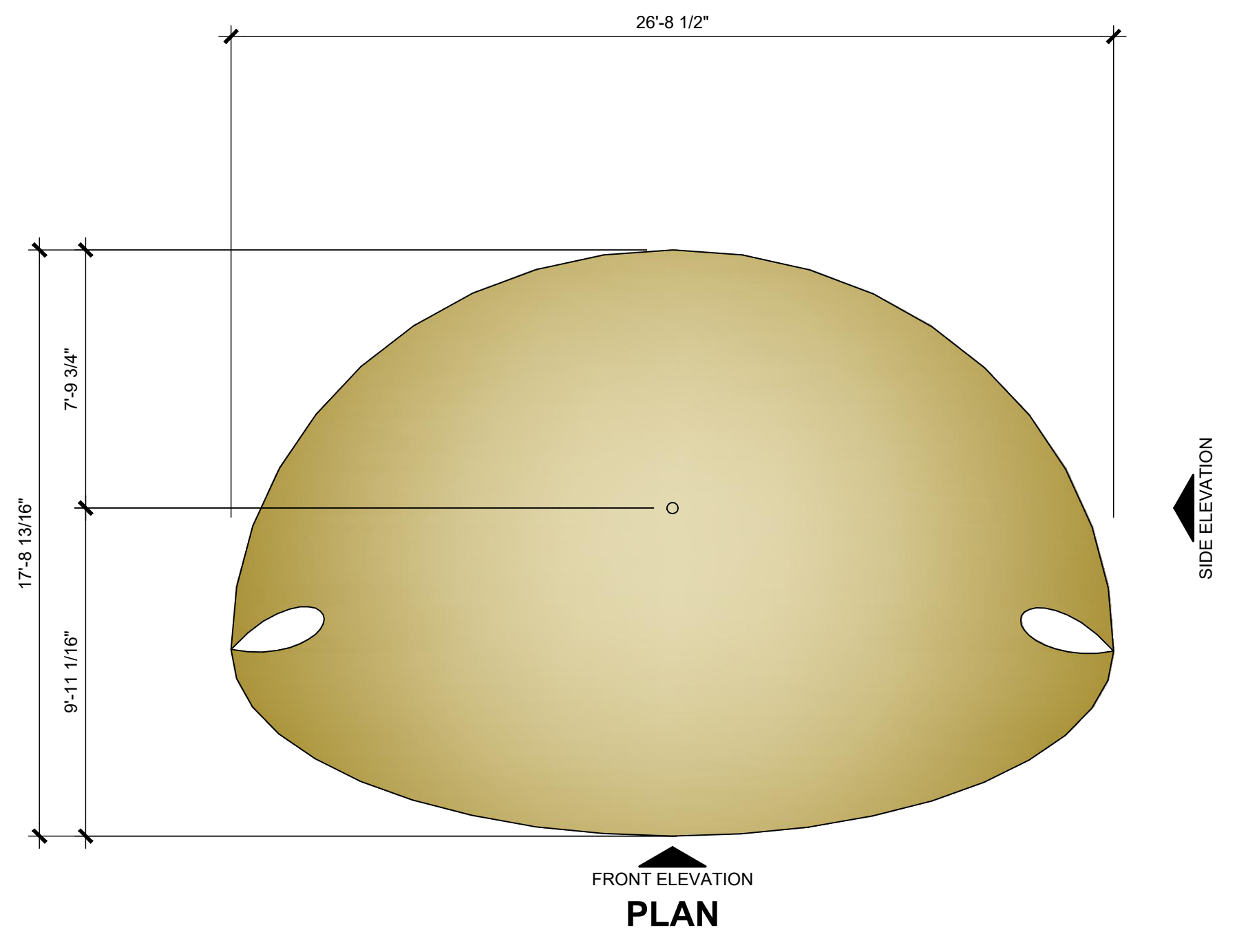
**MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.**
1800 DALLAS PARKWAY
SUITE 400
DALLAS TEXAS 75204
P.O. BOX 4000



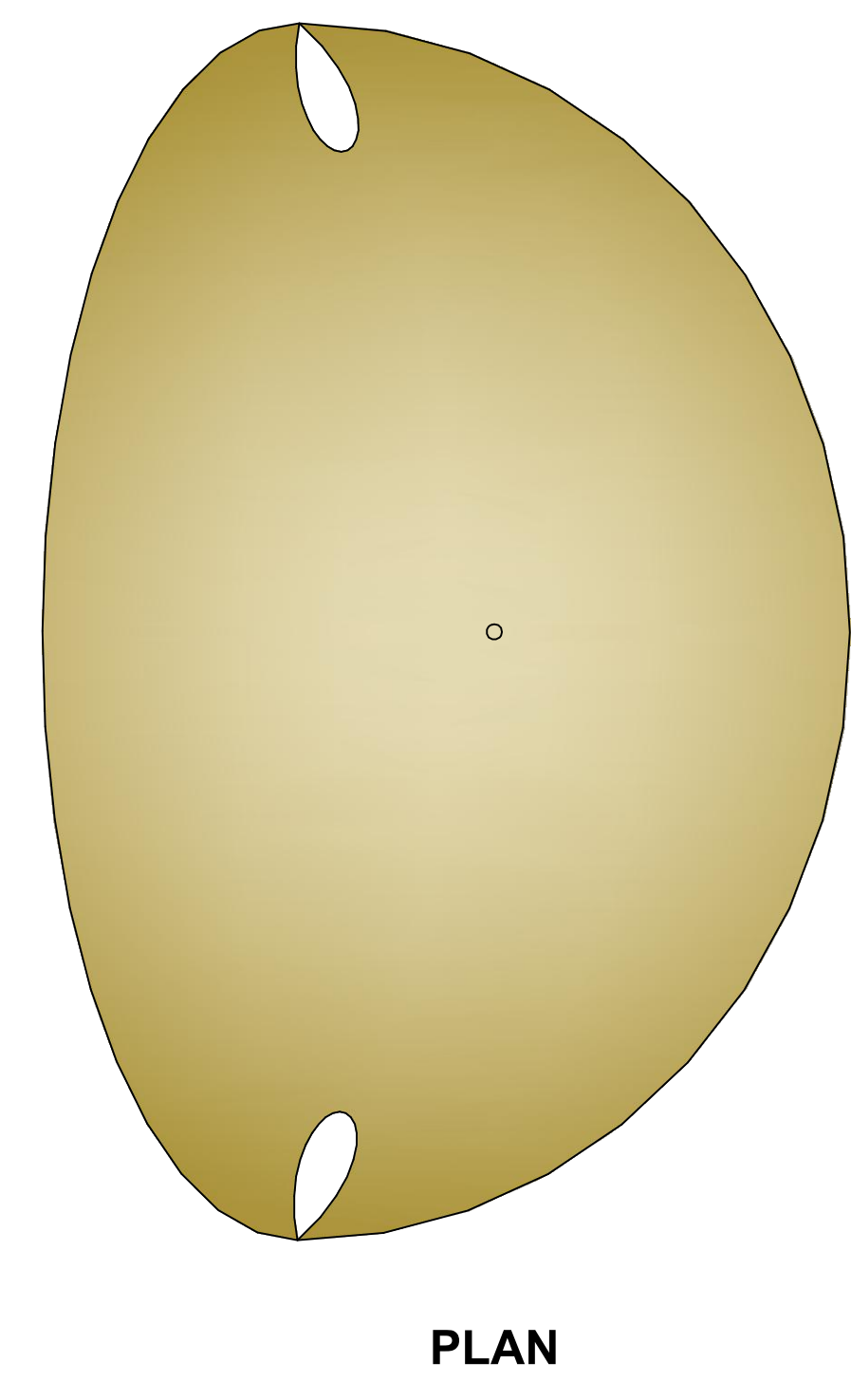
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DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: P&Z VISUALIZATION

A6.00C

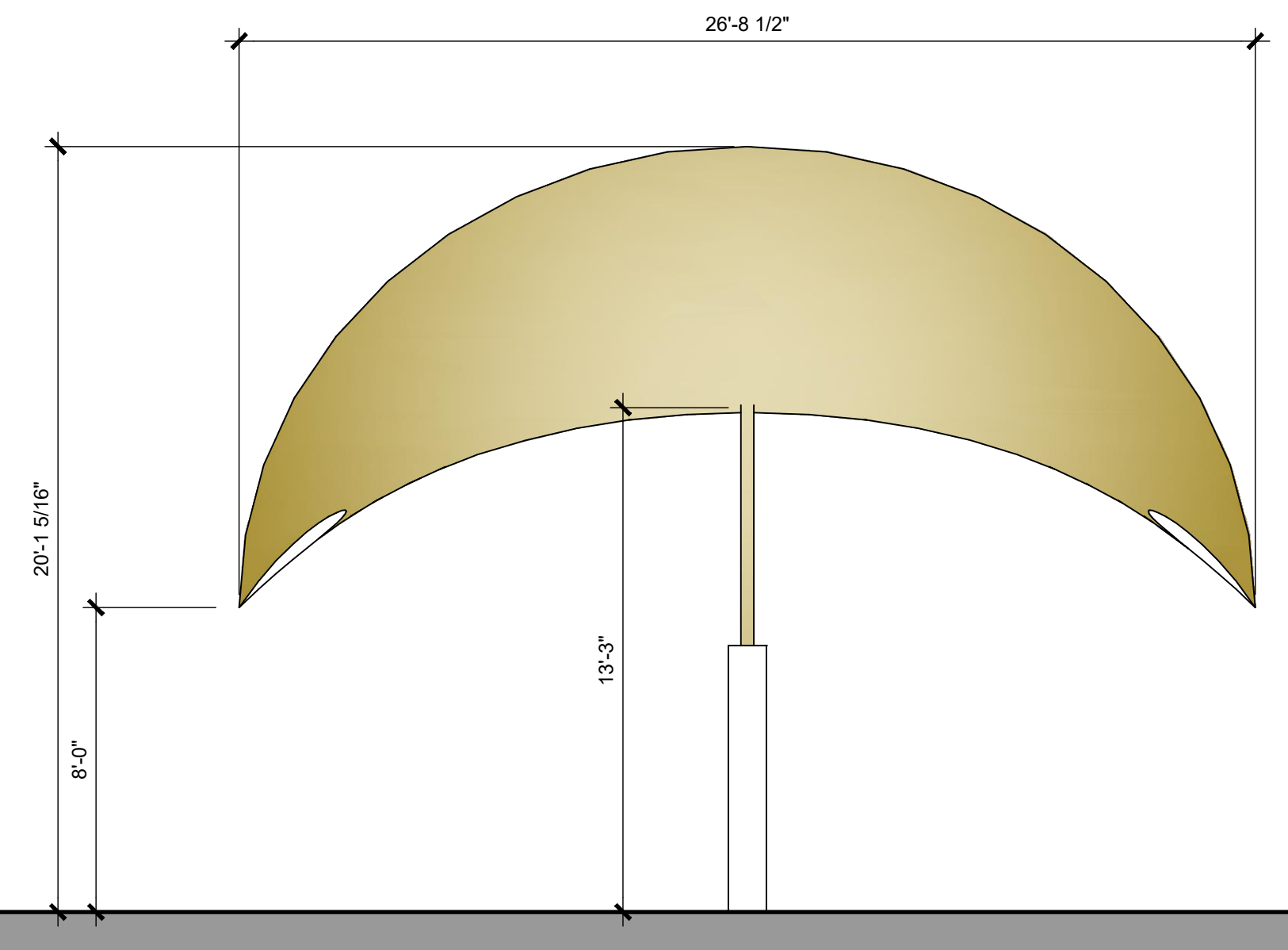
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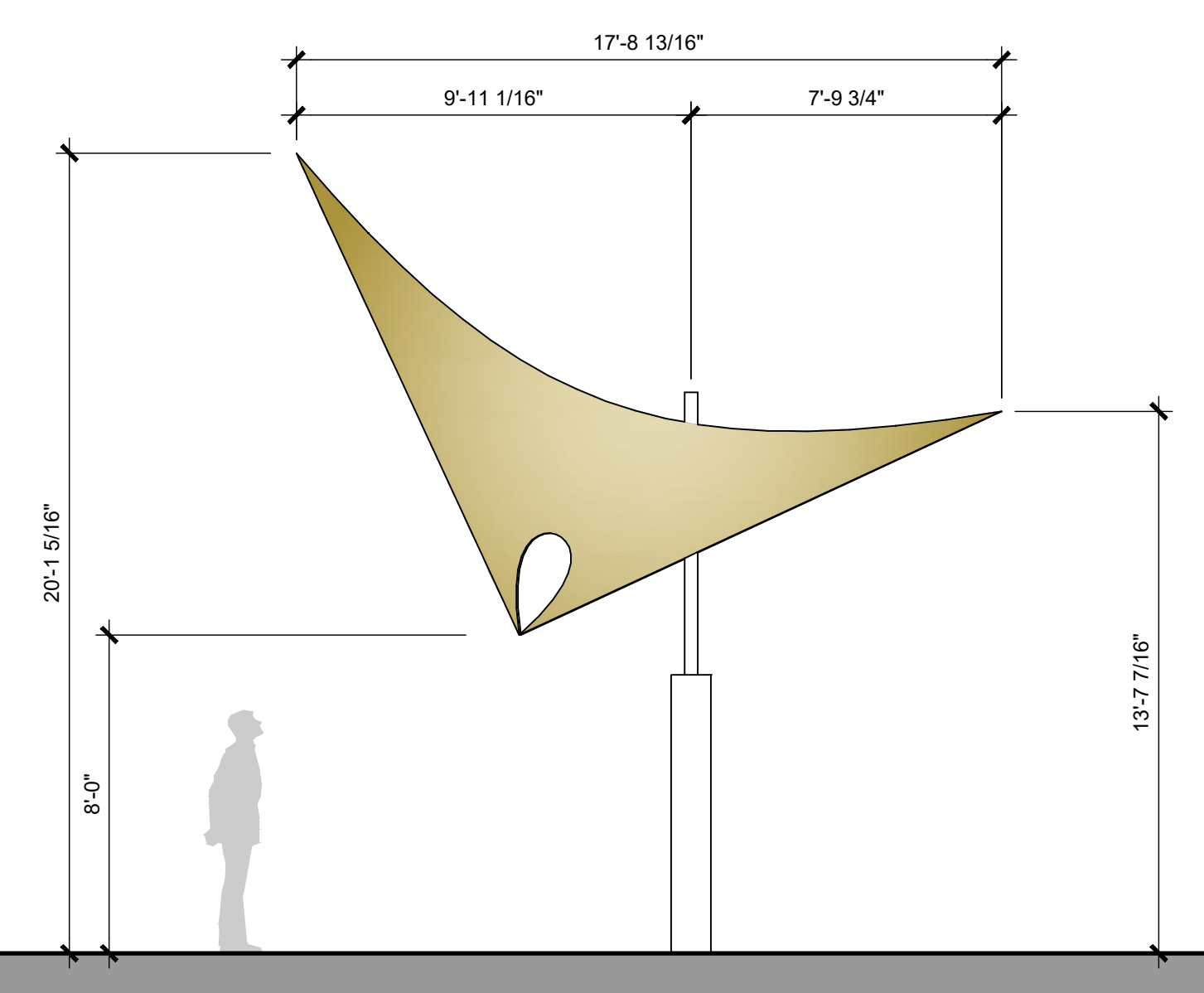
FRONT ELEVATION



PLAN



SIDE ELEVATION



01 **SMALL TENSILE**
 SCALE: 1/4" = 1'-0"

SP-20-2020-011

REVISIONS:

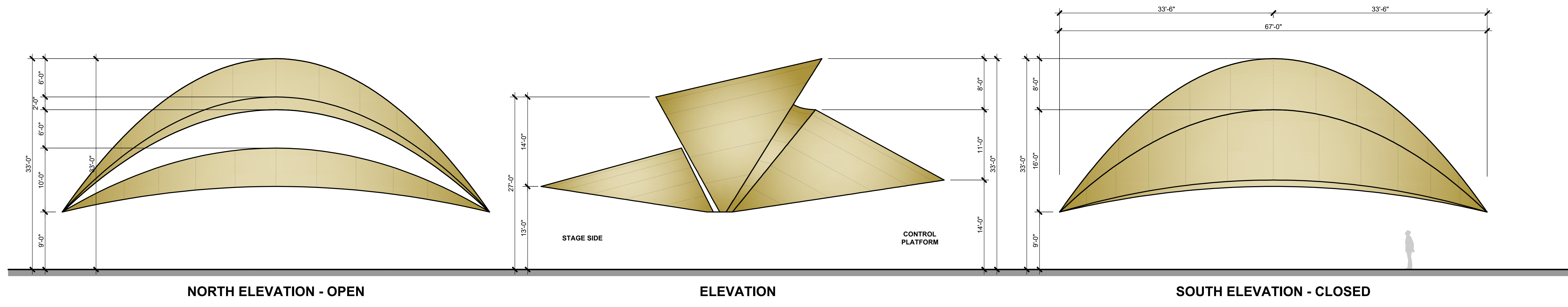
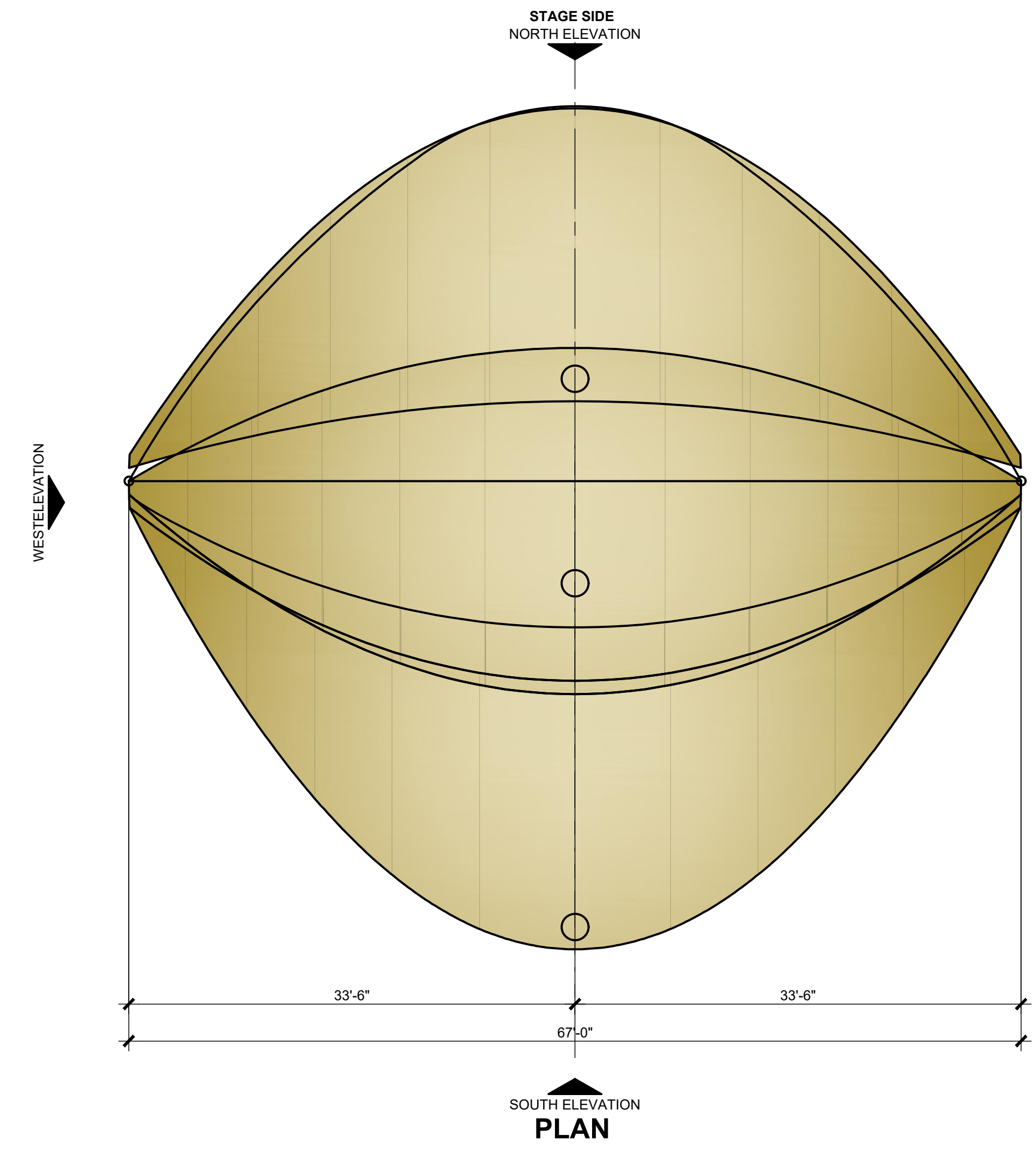
CHANNELL CAMPUS IMPROVEMENTS
 ROCKWALL, TEXAS
 1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES
 ARCHITECTS, P.L.L.C.
 1400 DALLAS PARKWAY
 SUITE 200
 DALLAS TEXAS 75244
 972.960.8800



PROJECT NO: 20-205
 DATE: 11.13.2020
 DRAWN BY: DBC
 CHECKED BY: ---
 SHEET: TENSILE CONCEPT

A9.00



\\WA-SERVER-02\Projects\MISC\20205-CHANNELL Corp\Cds Sheil\205-Channel Tensile.dwg, 11/13/2020 9:52:44 AM

CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS
1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES ARCHITECTS, P.L.L.C
HEAD OFFICE: DALLAS, TEXAS
1700 JUSTIN ROAD
DALLAS, TEXAS 75084
TEL: 972.968.8800



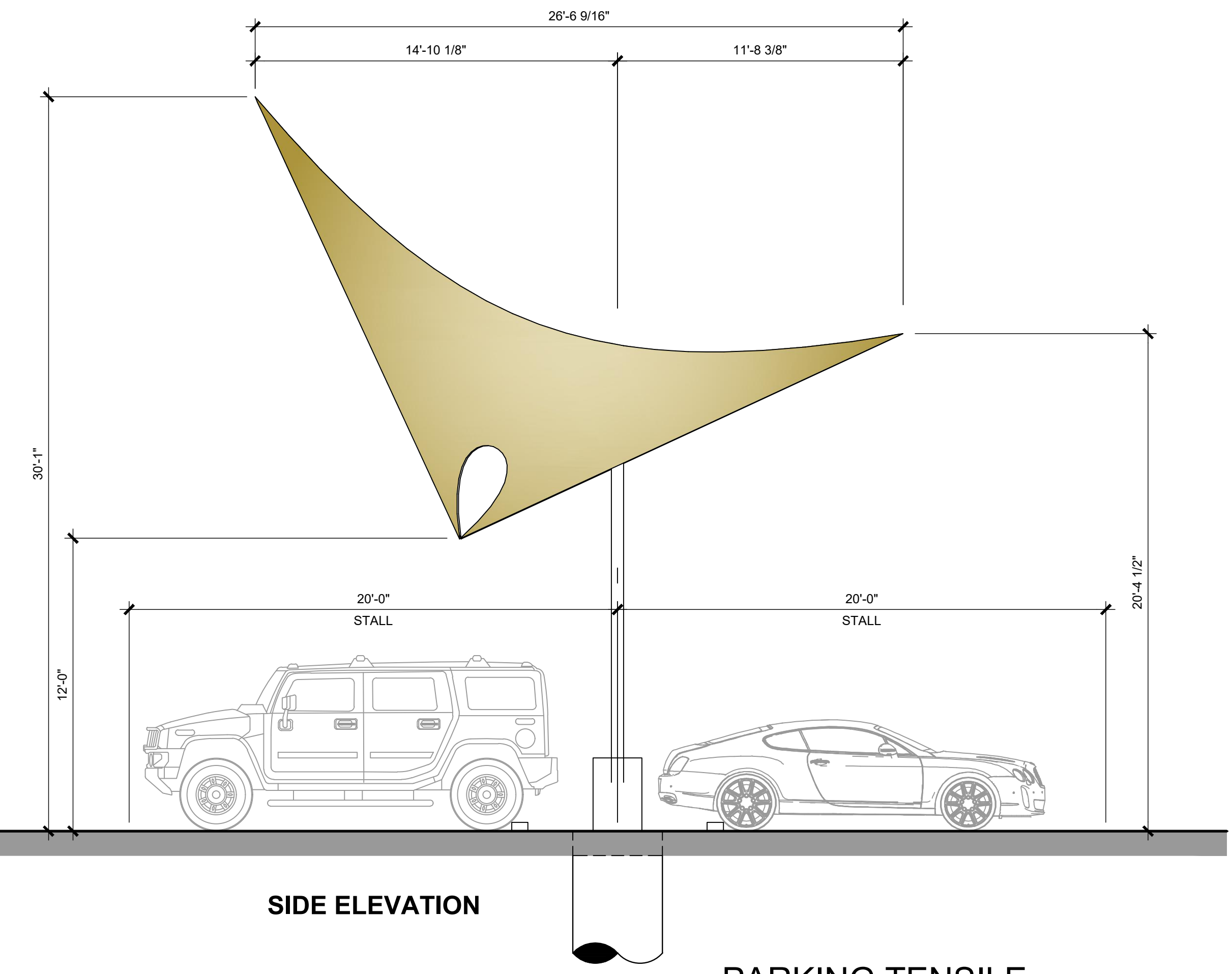
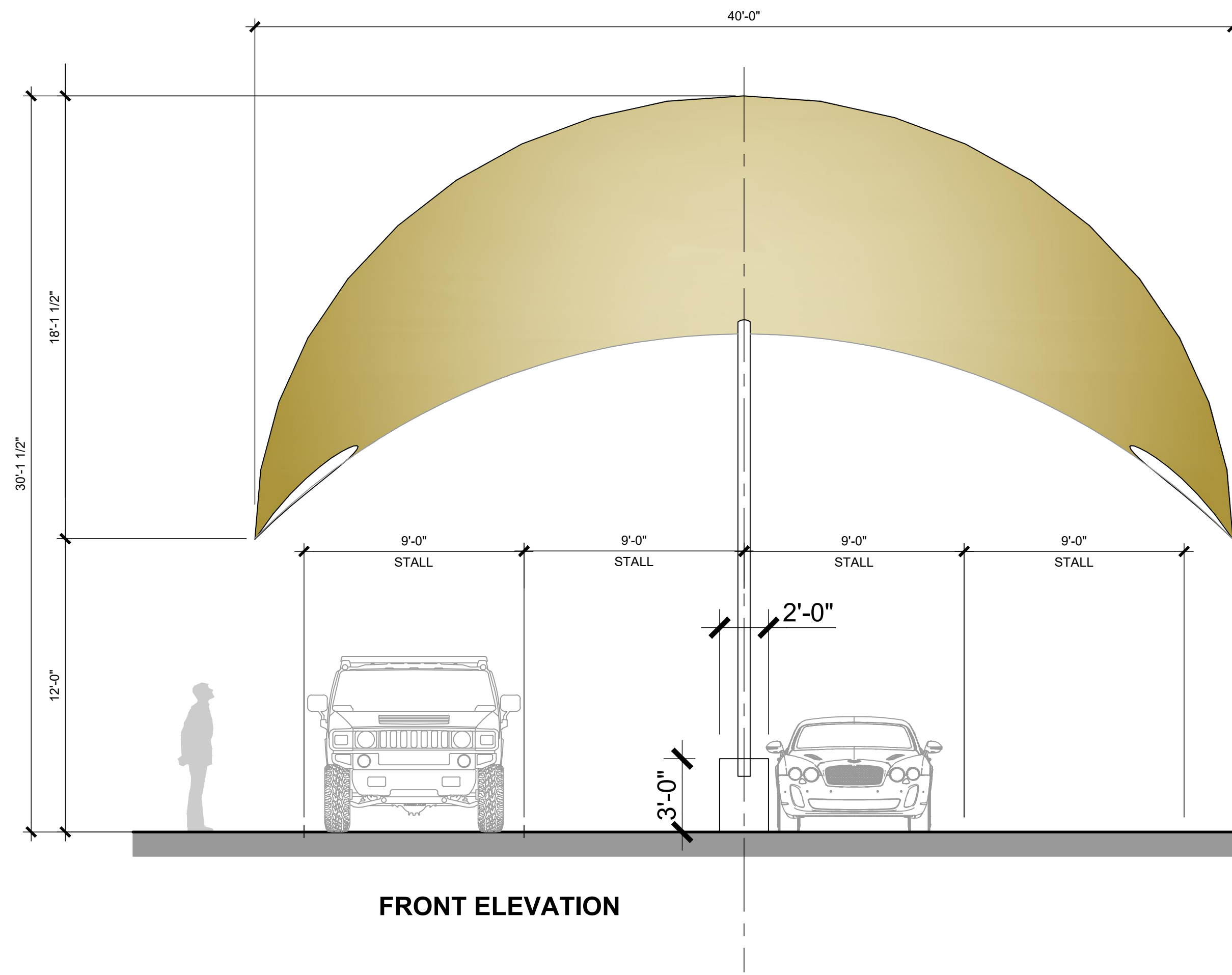
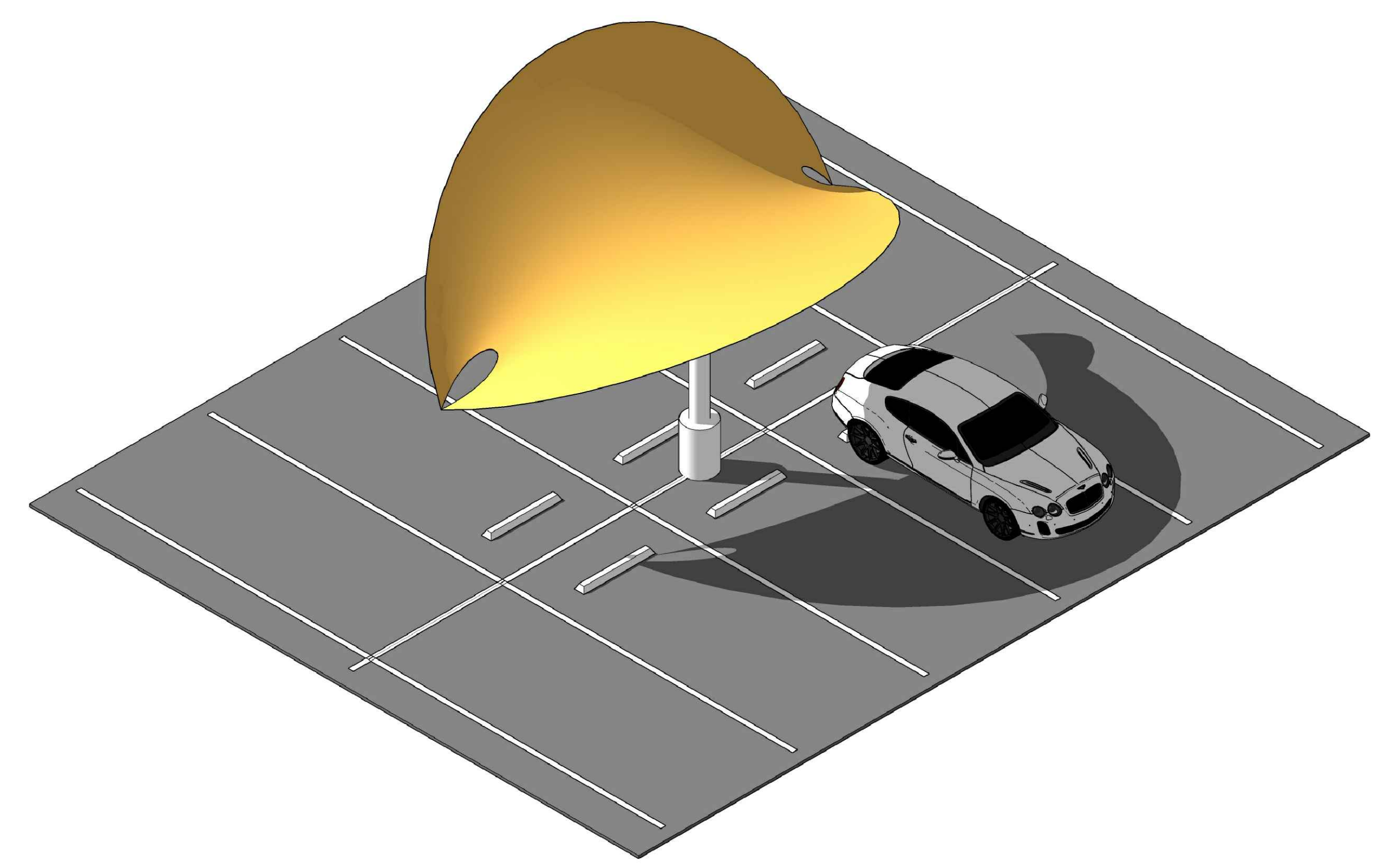
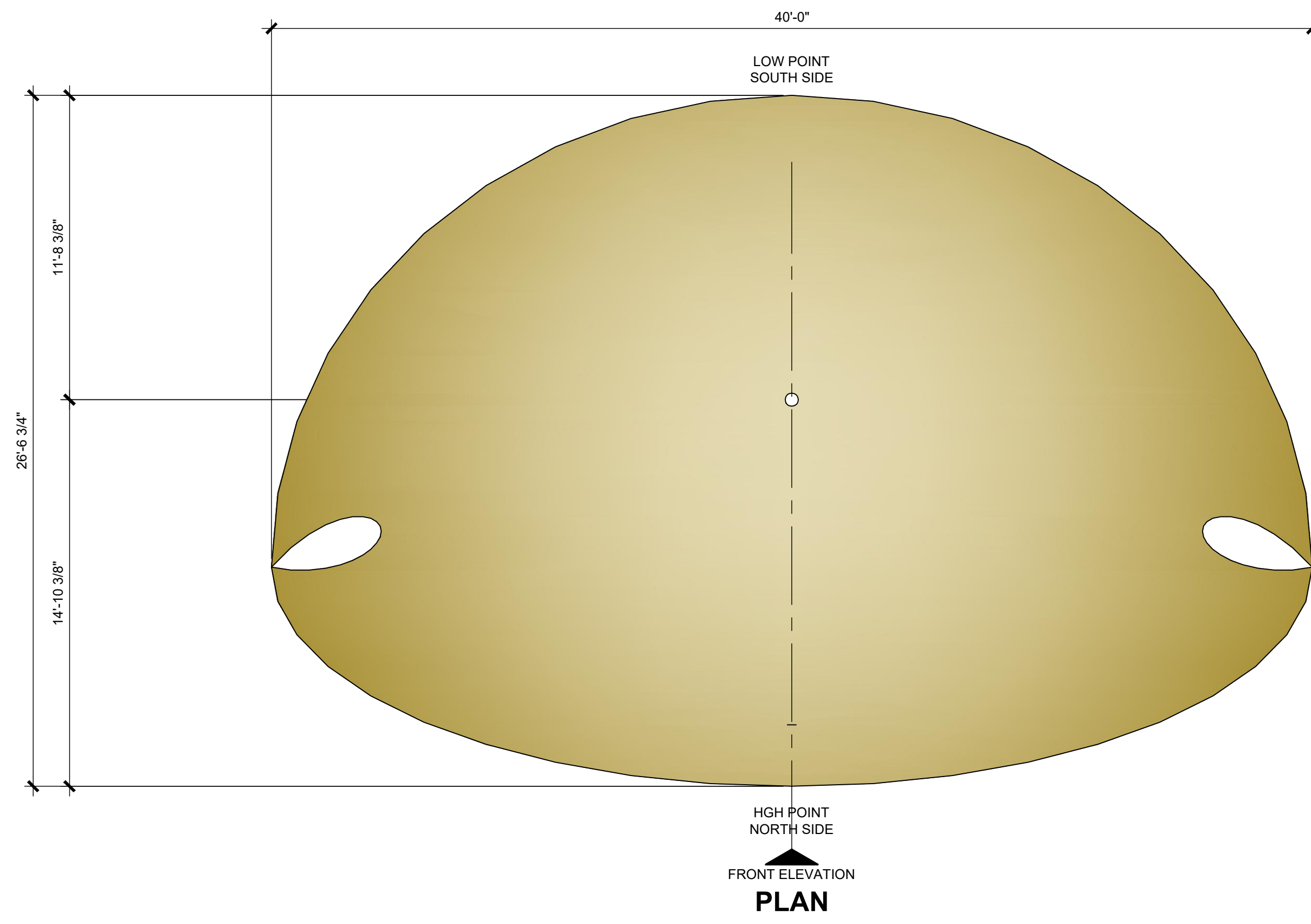
11.13.2020

PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: ---
SHEET: TENSILE CONCEPT

01 AMPHITHEATER TENSILE
SCALE: 1/8" = 1'-0"

SP-20-2020-011

A9.01

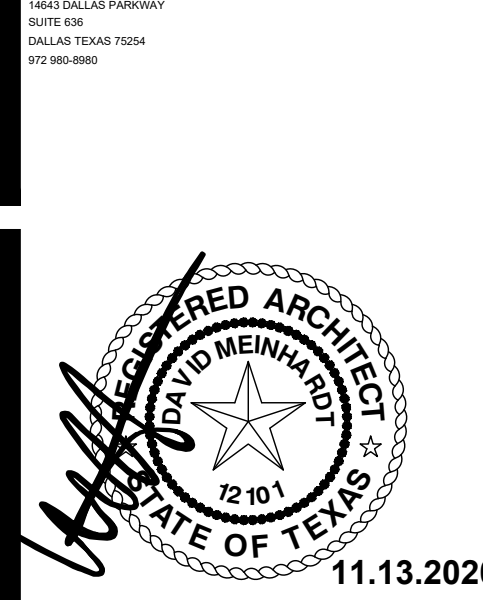


01 PARKING TENSILE
SCALE: 1/4" = 1'-0"

REVISIONS:

CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS
1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.



PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: ---
SHEET: TENSILE CONCEPT

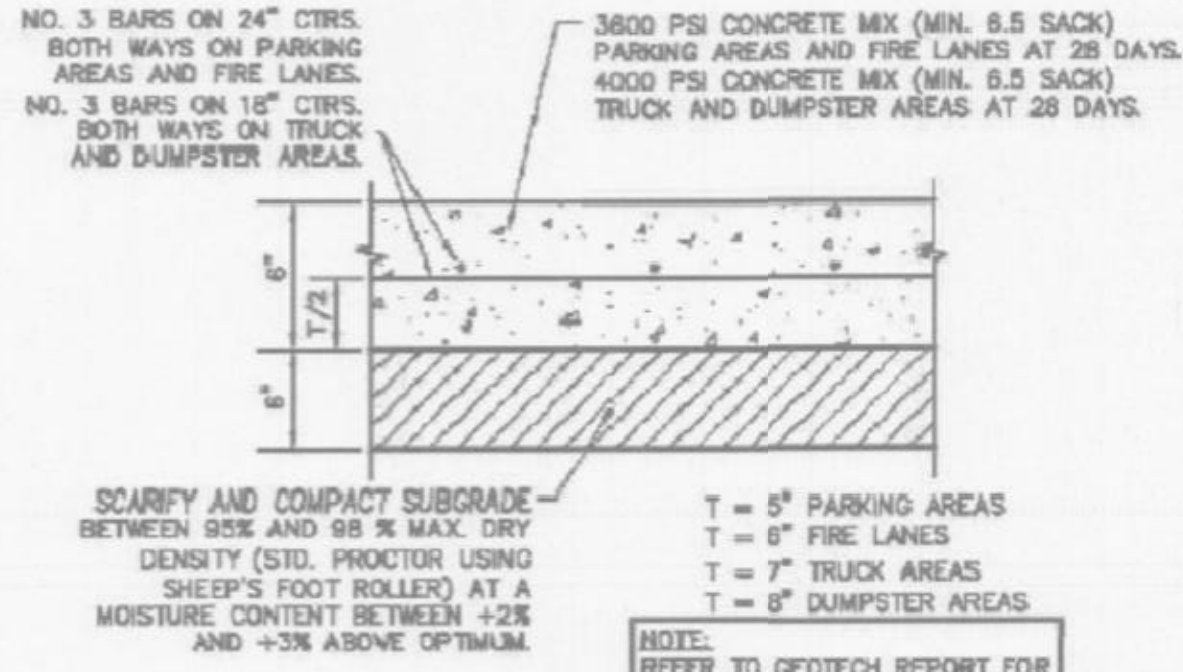
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SP-20-2020-011

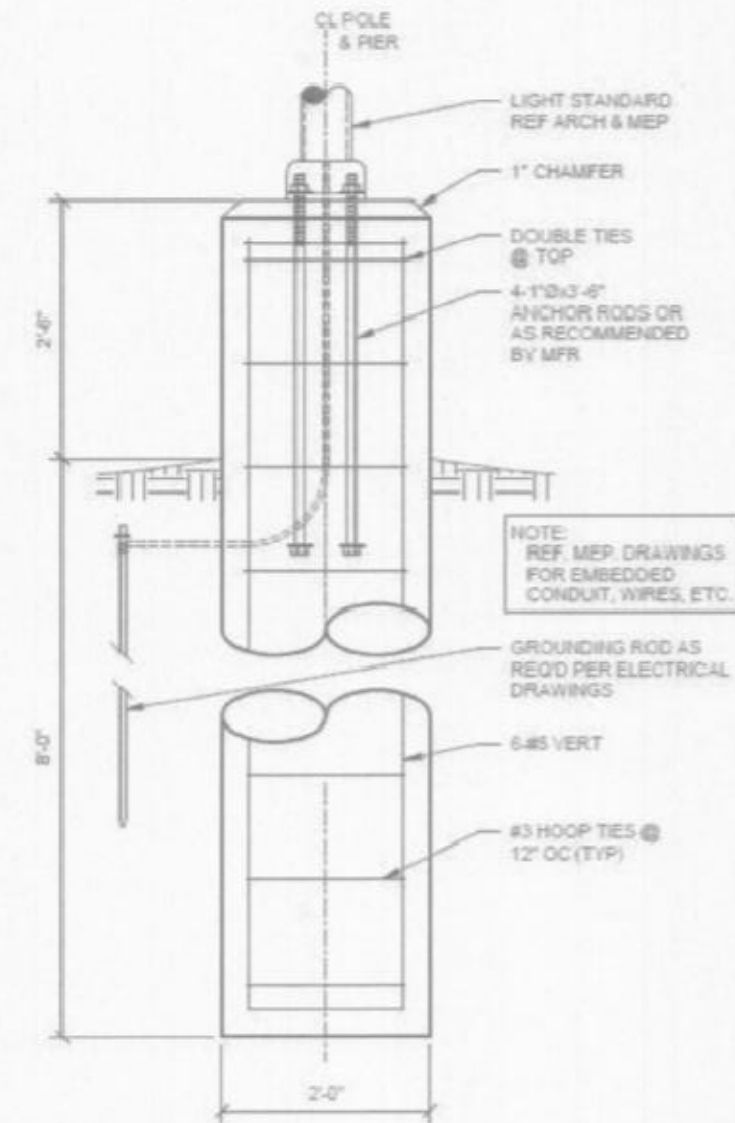
\\WA-SERVER-02\Projects\MISC\20205-CHANNELL Corp\Cds Sheil\205-Channell Tensile.dwg, 11/13/2020 9:52:44 AM

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Beyond N Property Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Car Parking	+	1.1 fc	8.2 fc	0.1 fc	82.0:1	11.0:1
Drive	+	1.9 fc	8.8 fc	0.3 fc	29.3:1	6.3:1



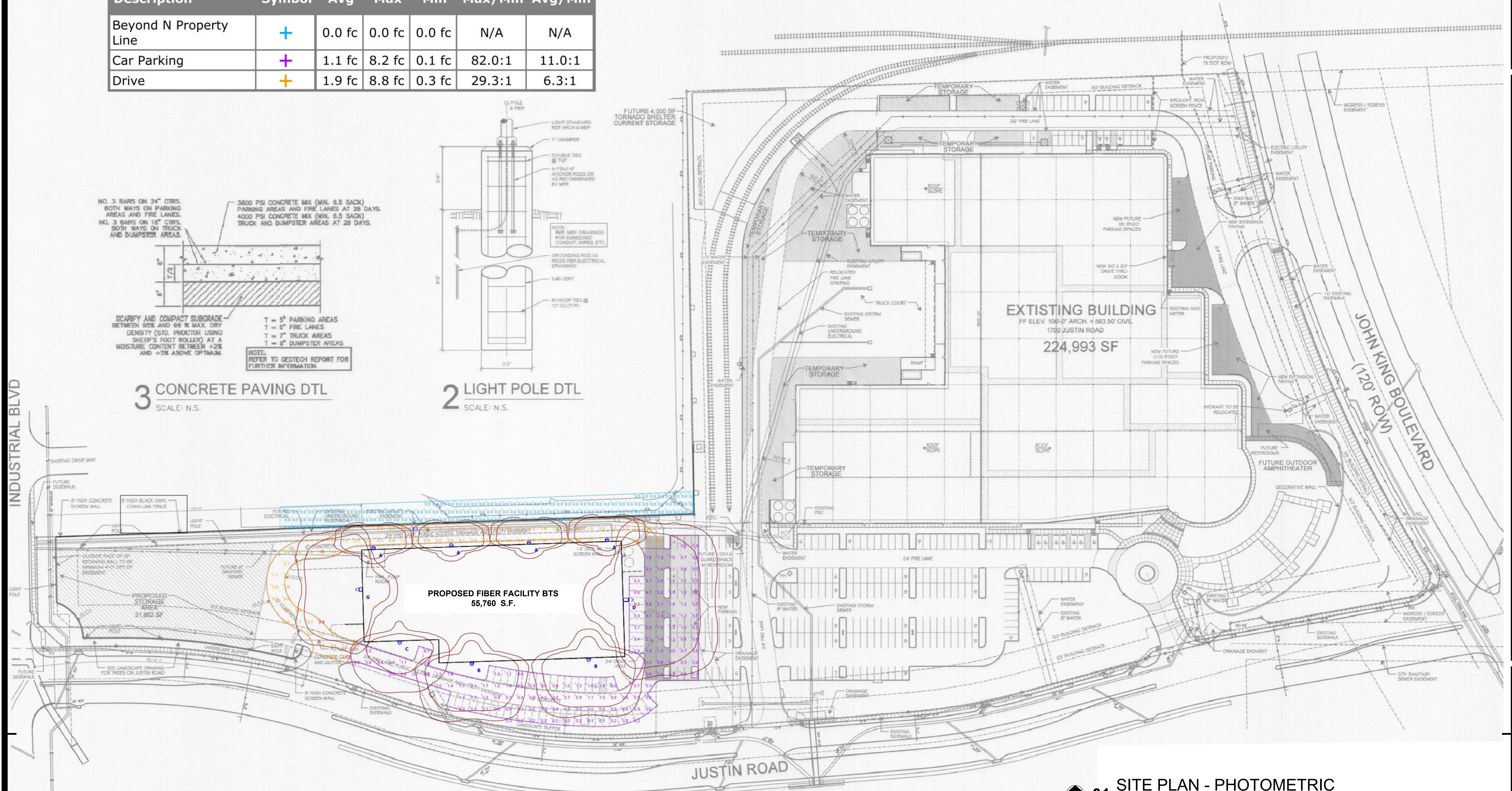
3 CONCRETE PAVING DTL
SCALE: N.S.



2 LIGHT POLE DTL
SCALE: N.S.

INDUSTRIAL BLVD

\\WA-SERVER-02\Projects\MISC\2020\5-CHANNELL Corp\CDs_Shell\205-A100 Series.dwg, 11/13/2020 10:45:05 AM



SYMBOLY	
PROPOSED STORAGE AREA	31,862 SF
TOTAL SITE AREA	18.762 ACRES

SYMBOLY	
—	GAS
—	SANITARY SEWER
—	WATER
—	ELECTRICAL



01 SITE PLAN - PHOTOMETRIC

SCALE: 1" = 60'-0"



SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

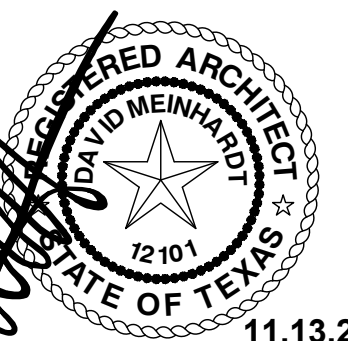
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER | DEVELOPER
CHANNELL
26040 YNEZ ROAD | P.O. BOX 9022
TEMECULA, CA-USA 92589-9022
951-719-2600
BILL CHANNELL JR - bchannelljr@channell.com

CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS
1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
1440 DALLAS PARKWAY
SUITE 500
DALLAS TEXAS 75244
972-940-8880



11.13.2020

PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: SITE PLAN - PHOTOMETRIC

A9.03-E



CHANNELL

Where The Industry Connects.®

CHANNELL CAMPUS IMPROVEMENTS

1700 JUSTIN ROAD | ROCKWALL, TEXAS 75006



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A LIGHT INDUSTRIAL (LI) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR LIGHT INDUSTRIAL (LI) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 18.762-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, CHANNELL SUBDIVISION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by David Meinhardt of Meinhardt & Associates Architects on behalf of Ed Burke of Channell Commercial Corporation for the approval of a zoning change from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses, on a 18.762-acre parcel of land identified as Lot 3, Block A, Channell Commercial Corporation, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of any buildings on the *Subject Property* shall generally be in

accordance with the *Concept Building Elevations*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of an amphitheater on the *Subject Property* shall generally be in accordance with the *Concept Amphitheater Plan*, depicted in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of any shade canopies on the *Subject Property* shall generally be in accordance with the *Concept Canopy Plan*, depicted in *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 6. That any landscaping planted or installed on the *Subject Property* shall generally be in accordance with the *Concept Landscape Plan*, depicted in *Exhibit 'G'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'G'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 7. That any lighting installed on the *Subject Property* shall generally be in accordance with the *Concept Photometric Plan*, depicted in *Exhibit 'H'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'H'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 8. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'I'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'I'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 9. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 10. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 11. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 12. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

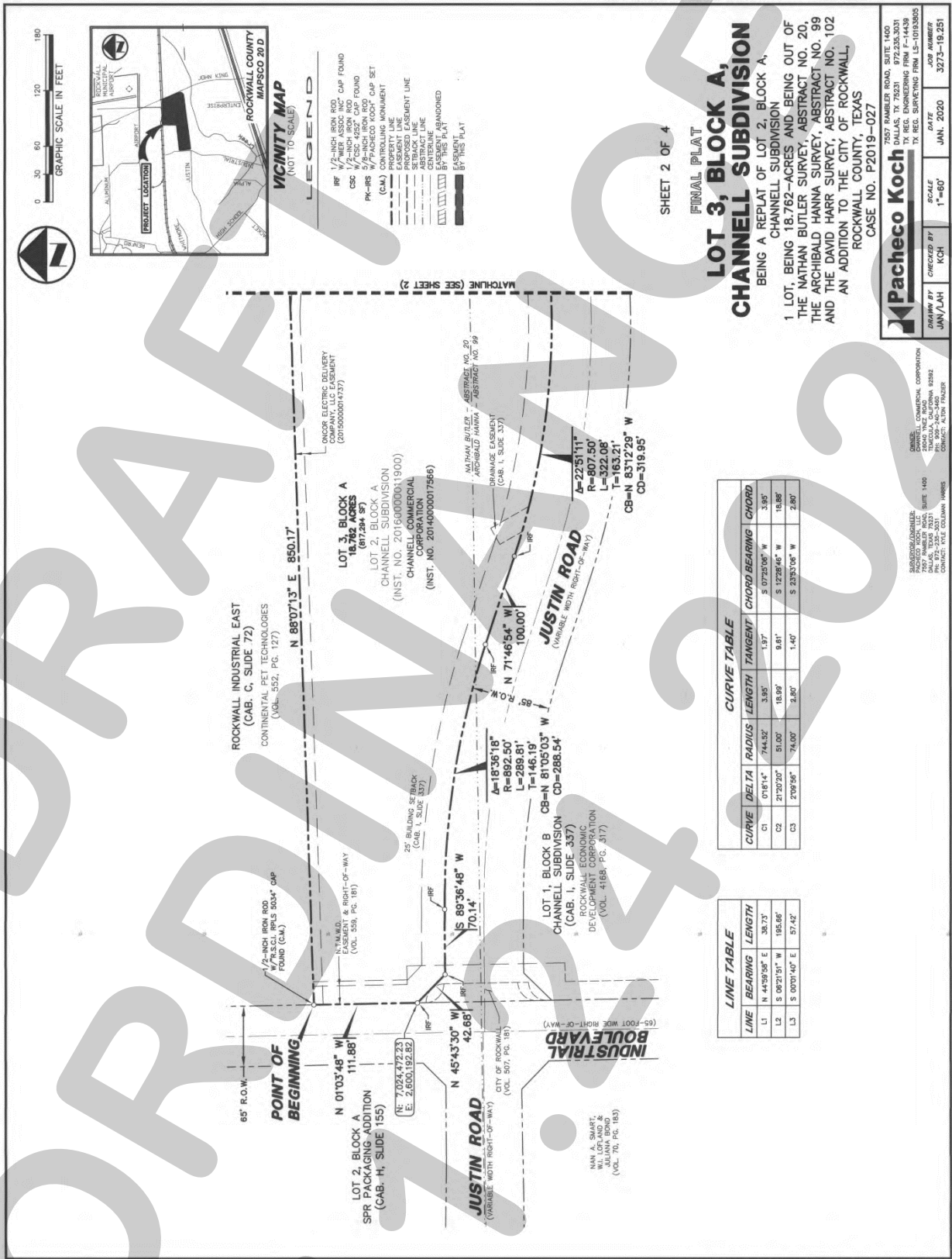
1st Reading: December 21, 2020

2nd Reading: January 4, 2021

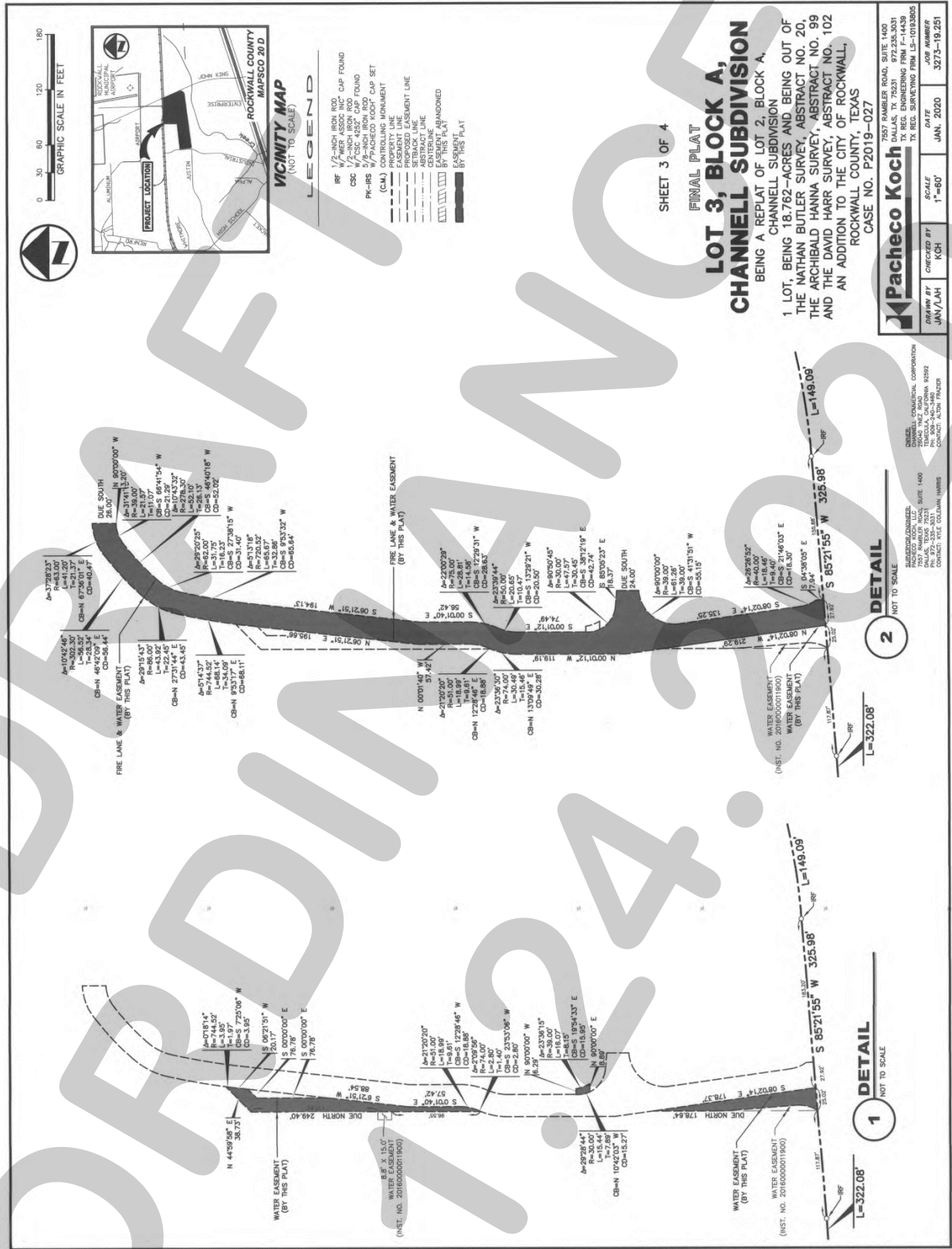
Exhibit 'A':
Legal Description

DRAFT
ORDINANCE
11.24.2020

**Exhibit 'B':
Lot 3, Block A, Channell Subdivision**

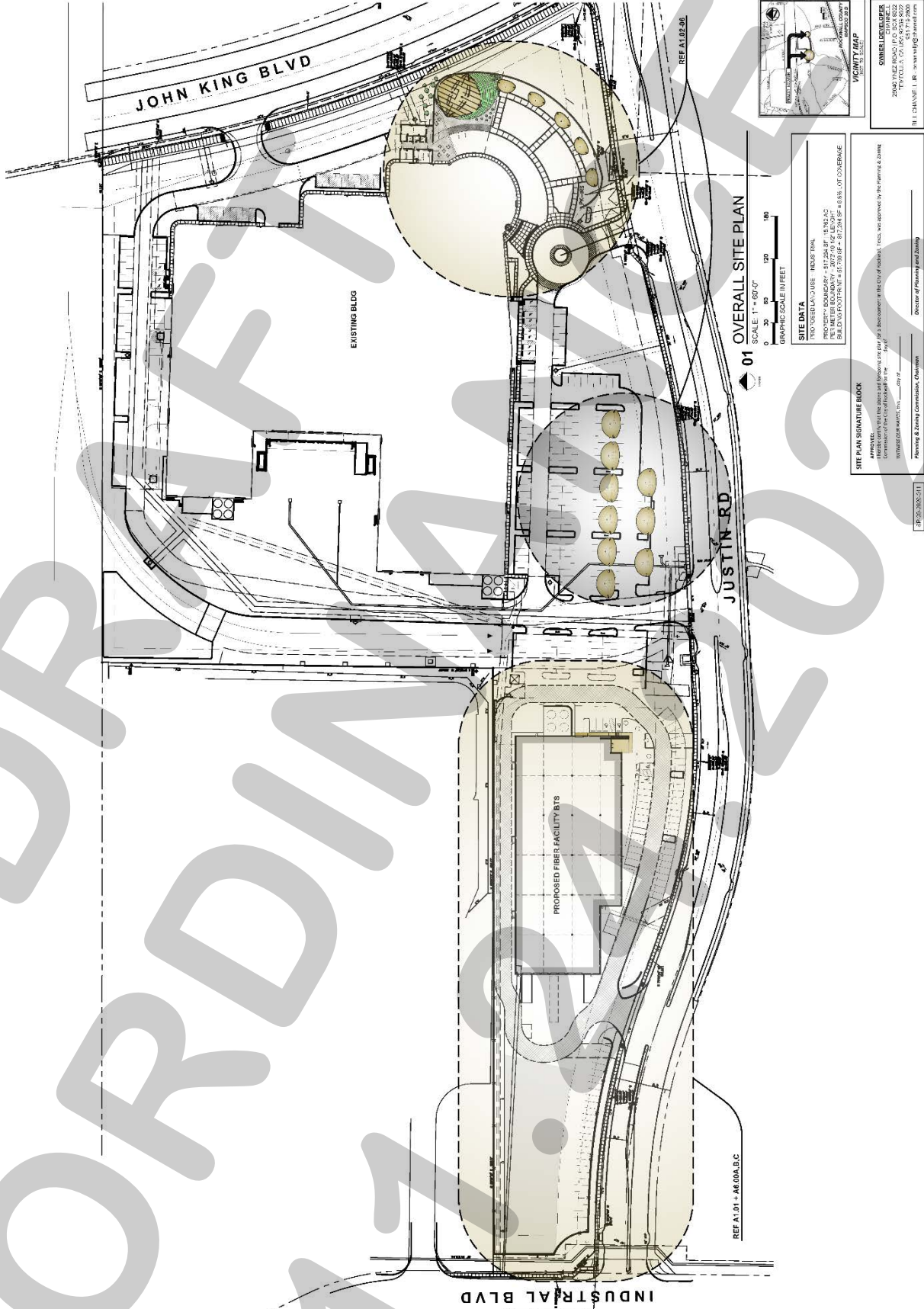


**Exhibit 'B':
Lot 3, Block A, Channell Subdivision**



LP024LET 01/15/2020 - 10:17AM
M:\DWG-32\273-19251\DWG\SURVEY C30 2018\273-19251R9.DWG

Exhibit 'C':
Concept Plan



DRAFT

Exhibit 'C':
Concept Plan



01 PARTIAL SITE PLAN

SCALE: 1" = 30'-0"
GRAPHIC SCALE IN FEET
PRELIMINARY PROPOSAL

- 2015 INTERNATIONAL BUILDING CODE (IBC) SECTION 1001 OFFICE BUILDINGS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2015 INTERNATIONAL FIRE CODE (IFC) SECTION 1001 OFFICE BUILDINGS
- 2015 INTERNATIONAL MECHANICAL CODE (IMC)
- 2015 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPC)

PRELIMINARY AREA

- 1.000 TOTAL AREA
- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA

TOTAL IMPROVEMENT AREA

- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA

PROPOSED USE

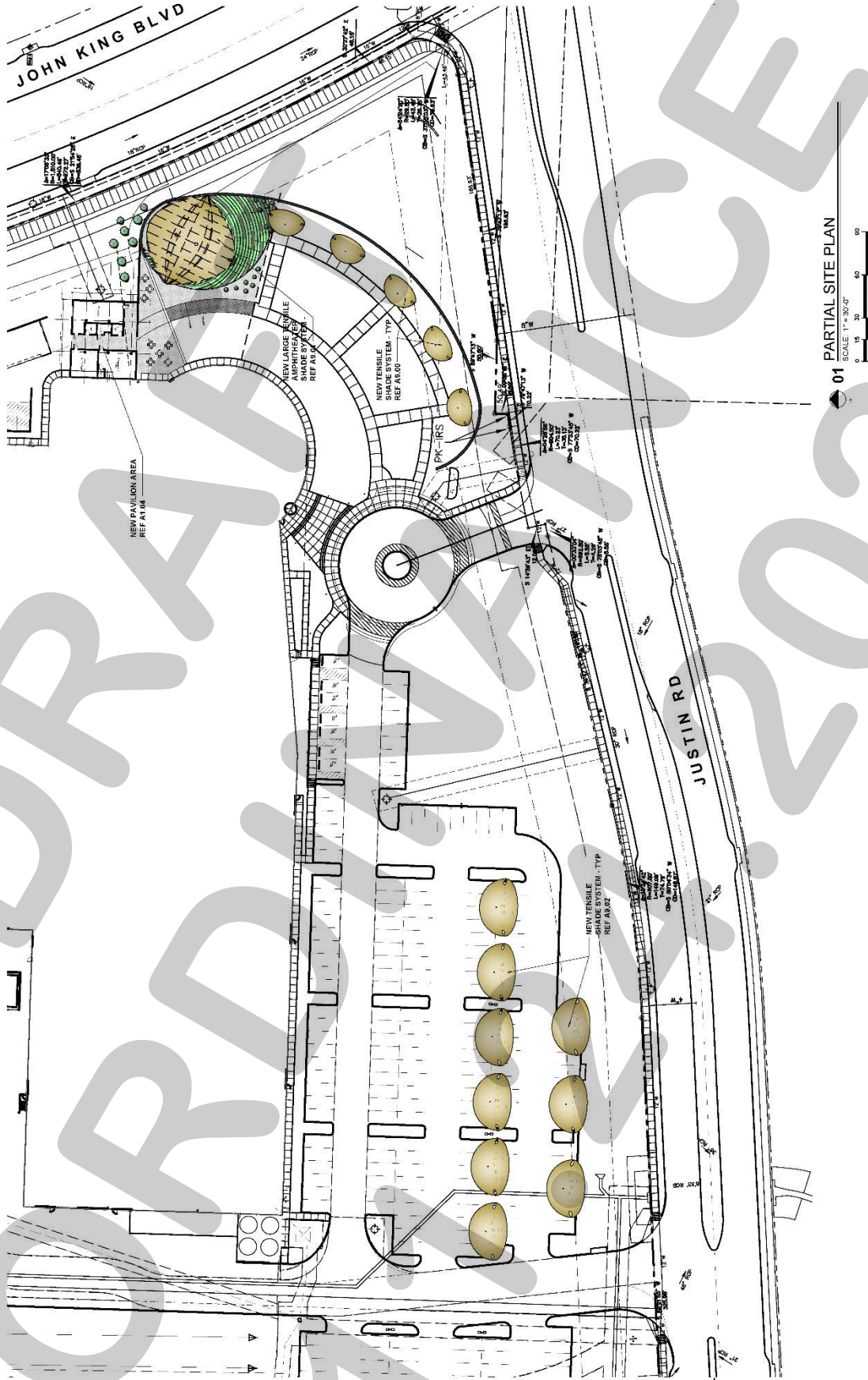
- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA

OFFICE FACTORY

- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA
- 1.000 TOTAL IMPROVEMENT AREA

15-05-25-0011

Exhibit 'C':
Concept Plan



**Exhibit 'D':
Concept Building Elevations**

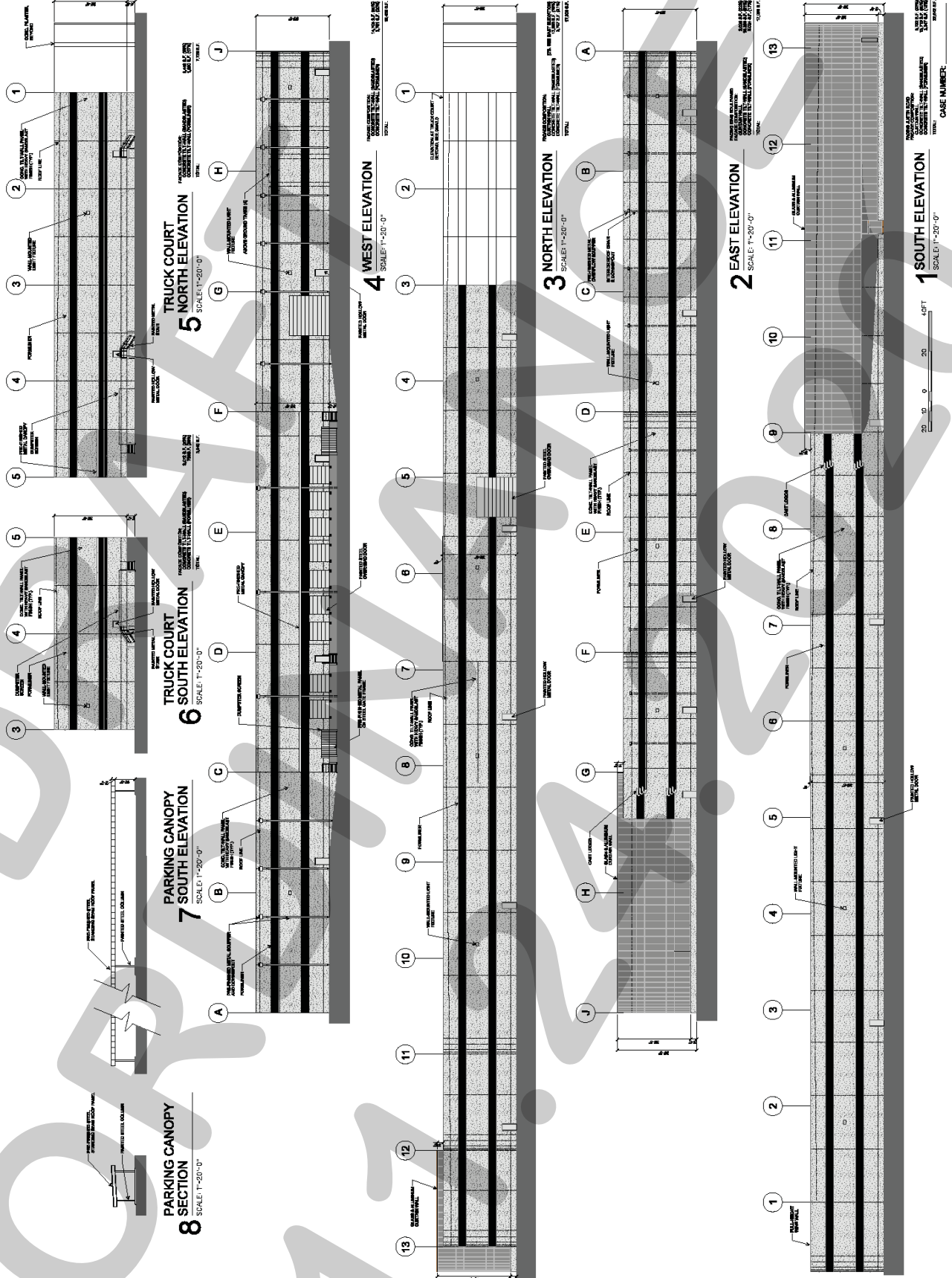


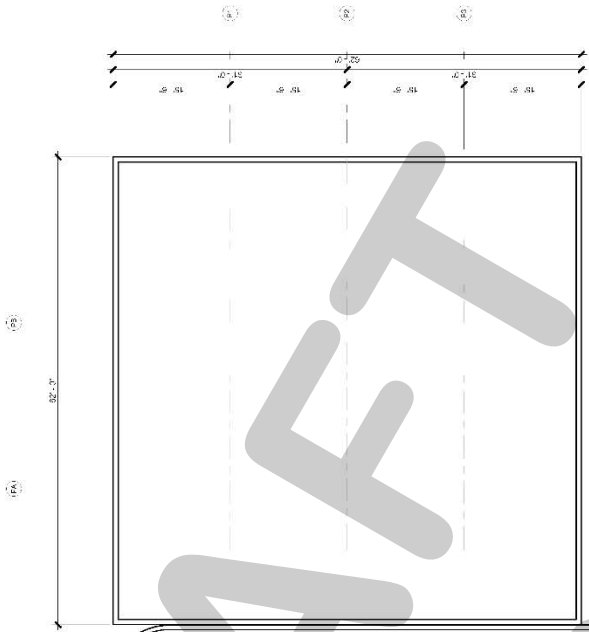
Exhibit 'D': Concept Building Elevations



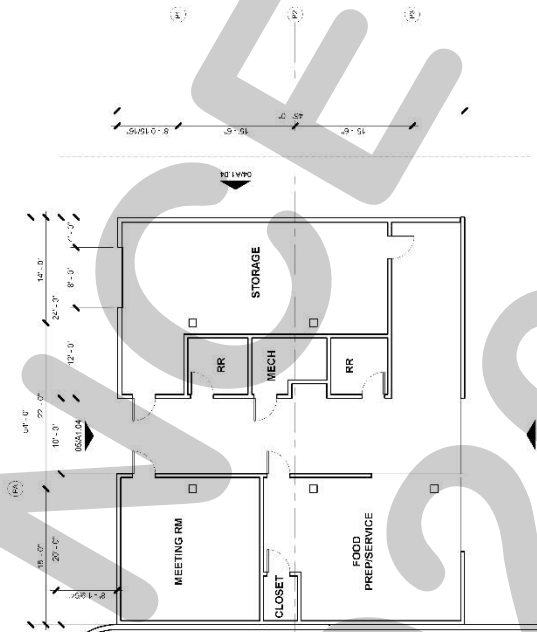
ELEVATION - MATERIAL CALCS	
WEST ELEVATION - PRIMARY FACADE	100% TOTAL FACADE AREA = 10,203.00 SF
• CONCRETE TL WALL = 12,492.00 SF	88.42%
• GLASS & GLASS CURTAIN WALL = 2,709.00 SF	0.37%
• METAL WALL PANELS = 4,400.00 SF	0.31%
WEST ELEVATION - SECONDARY FACADE	100% TOTAL FACADE AREA = 5,200.00 SF
• CONCRETE TL WALL = 3,473.00 SF	87.01%
• METAL WALL PANELS = 1,727.00 SF	0.27%
• GLASS & GLASS CURTAIN WALL = 700.00 SF	11.36%
EAST ELEVATION	100% TOTAL FACADE AREA = 18,216.00 SF
• CONCRETE TL WALL = 13,171.00 SF	97.79%
• METAL WALL PANELS = 1,700.00 SF	0.10%
• GLASS & GLASS CURTAIN WALL = 3,345.00 SF	0.84%
SOUTH ELEVATION	100% TOTAL FACADE AREA = 4,815.00 SF
• CONCRETE TL WALL = 4,045.00 SF	80.05%
• GLASS & GLASS CURTAIN WALL = 770.00 SF	0.80%
• METAL WALL PANELS = 100.00 SF	2.80%
• GLASS & GLASS CURTAIN WALL = 100.00 SF	0.95%

ARTISANALITY GABLES	
SOUTH ELEVATION - PRIMARY FACADE	215'-0" PROVIDED
1. WALL HEIGHT = 42'-0"	15'-0" PROVIDED
2. WALL PROJECTION = 295.5 X 40.0" = 10.0' MIN	29'-0" PROVIDED
3. ENTRY / ARCH ELEMENT LENGTH = 575 X 40.0" = 15.2' MIN	8'-0" PROVIDED
4. ENTRY / ARCH ELEMENT WIDTH = 251 X 40" = 6' 3" MIN	20'-0" PROVIDED
5. ENTRY / ARCH ELEMENT WIDTH = 251 X 40" = 6' 3" MIN	
6. ENTRY / ARCH ELEMENT WIDTH = 251 X 40" = 6' 3" MIN	
WEST ELEVATION - PRIMARY FACADE	100% PROVIDED
1. WALL HEIGHT = 42'-0"	NA
2. WALL PROJECTION = 295.5 X 40.0" = 10.0' MIN	NA
3. ENTRY / ARCH ELEMENT LENGTH = 575 X 40.0" = 15.2' MIN	NA
4. ENTRY / ARCH ELEMENT LENGTH = 575 X 40.0" = 15.2' MIN	NA
5. ENTRY / ARCH ELEMENT WIDTH = 251 X 40.0" = 6' 3" MIN	NA
6. ENTRY / ARCH ELEMENT WIDTH = 251 X 40.0" = 6' 3" MIN	NA
NORTH ELEVATION - SECONDARY FACADE	356'-0" PROVIDED
1. WALL HEIGHT = 42'-0"	NA
2. WALL LENGTH = 33 X 40.0" = 132.0' MAX	NA
3. ENTRY / ARCH ELEMENT LENGTH = 195 X 40.0" = 15.6' MIN	NA
4. ENTRY / ARCH ELEMENT WIDTH = 155 X 40.0" = 15.5' MIN	NA
5. PROJECTION HEIGHT = 55 X 40.0" = 22.0' MIN	NA
EAST ELEVATION - SECONDARY FACADE	49'-0" PROVIDED
1. WALL HEIGHT = 42'-0"	49'-0" PROVIDED
2. WALL LENGTH = 33 X 40.0" = 132.0' MAX	47'-0" PROVIDED
3. ENTRY / ARCH ELEMENT LENGTH = 195 X 40.0" = 15.6' MIN	47'-0" PROVIDED
4. ENTRY / ARCH ELEMENT WIDTH = 155 X 40.0" = 15.5' MIN	17'-0" PROVIDED
5. PROJECTION HEIGHT = 55 X 40.0" = 22.0' MIN	

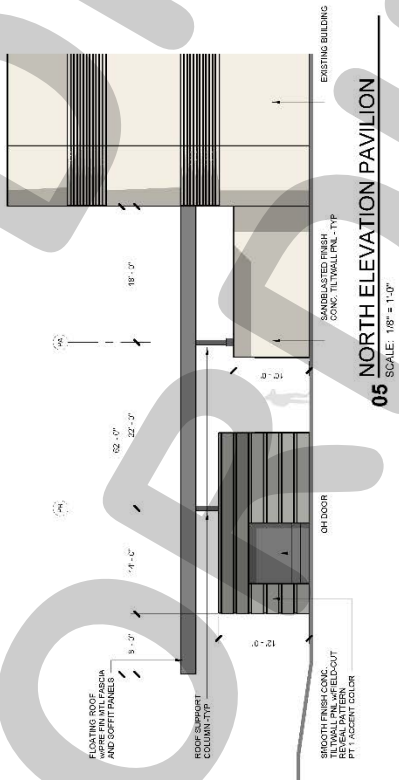
**Exhibit 'D':
Concept Building Elevations**



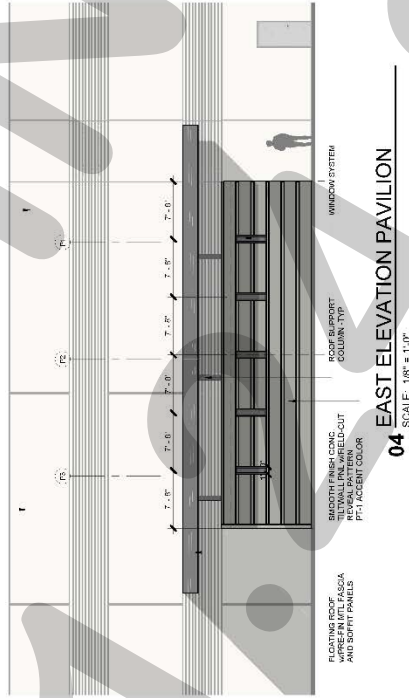
02 PAVILION ROOF
SCALE: 1/8" = 1'-0"
TABLE 32 PLAN



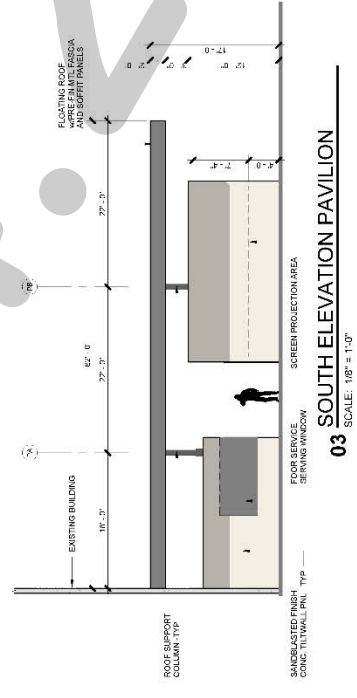
01 PAVILION PLAN
SCALE: 1/8" = 1'-0"
TABLE 32 PLAN



05 NORTH ELEVATION PAVILION
SCALE: 1/8" = 1'-0"
EXISTING BUILDING SETBACK



04 EAST ELEVATION PAVILION
SCALE: 1/8" = 1'-0"



03 SOUTH ELEVATION PAVILION
SCALE: 1/8" = 1'-0"

Exhibit 'D':
Concept Building Elevations



Exhibit 'D':
Concept Building Elevations

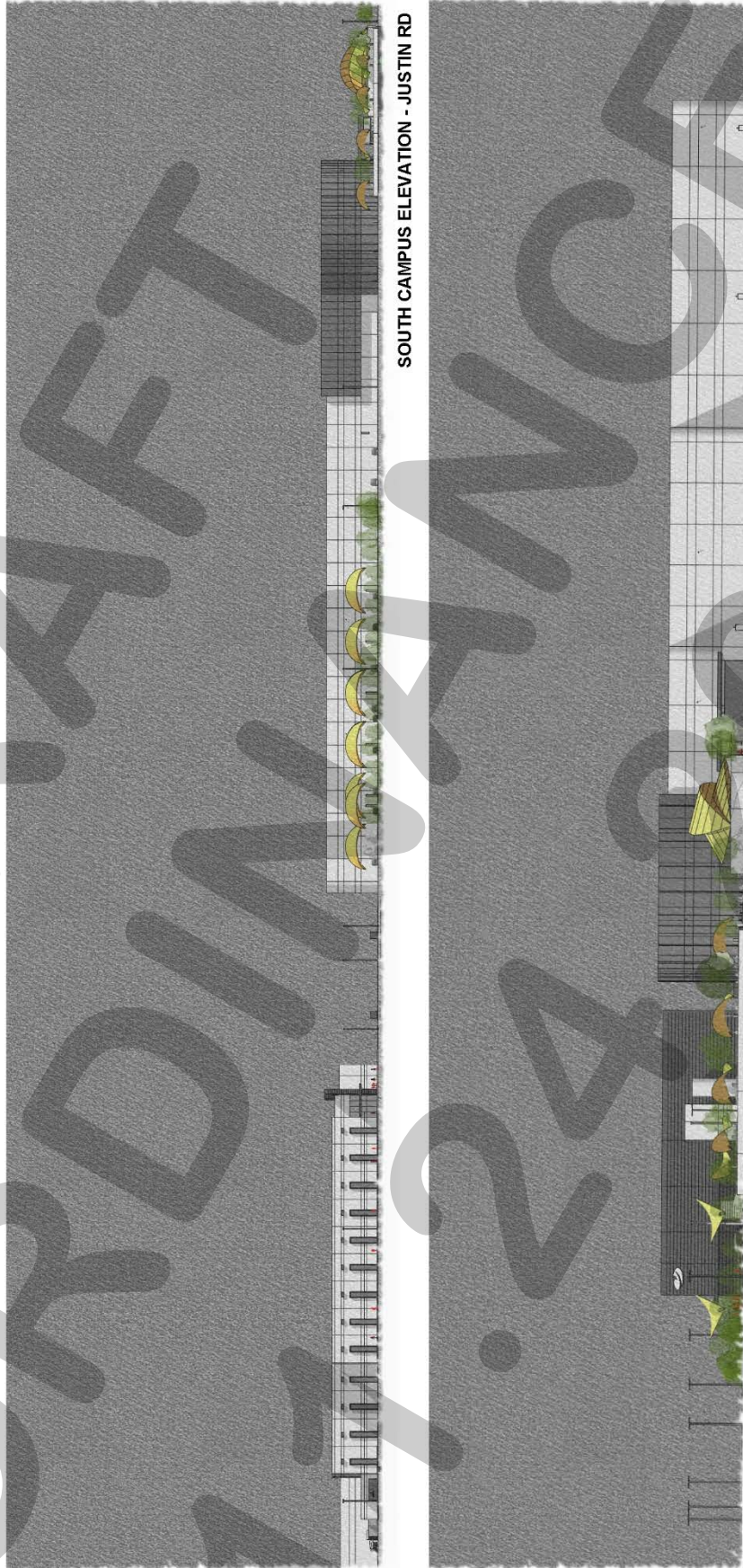
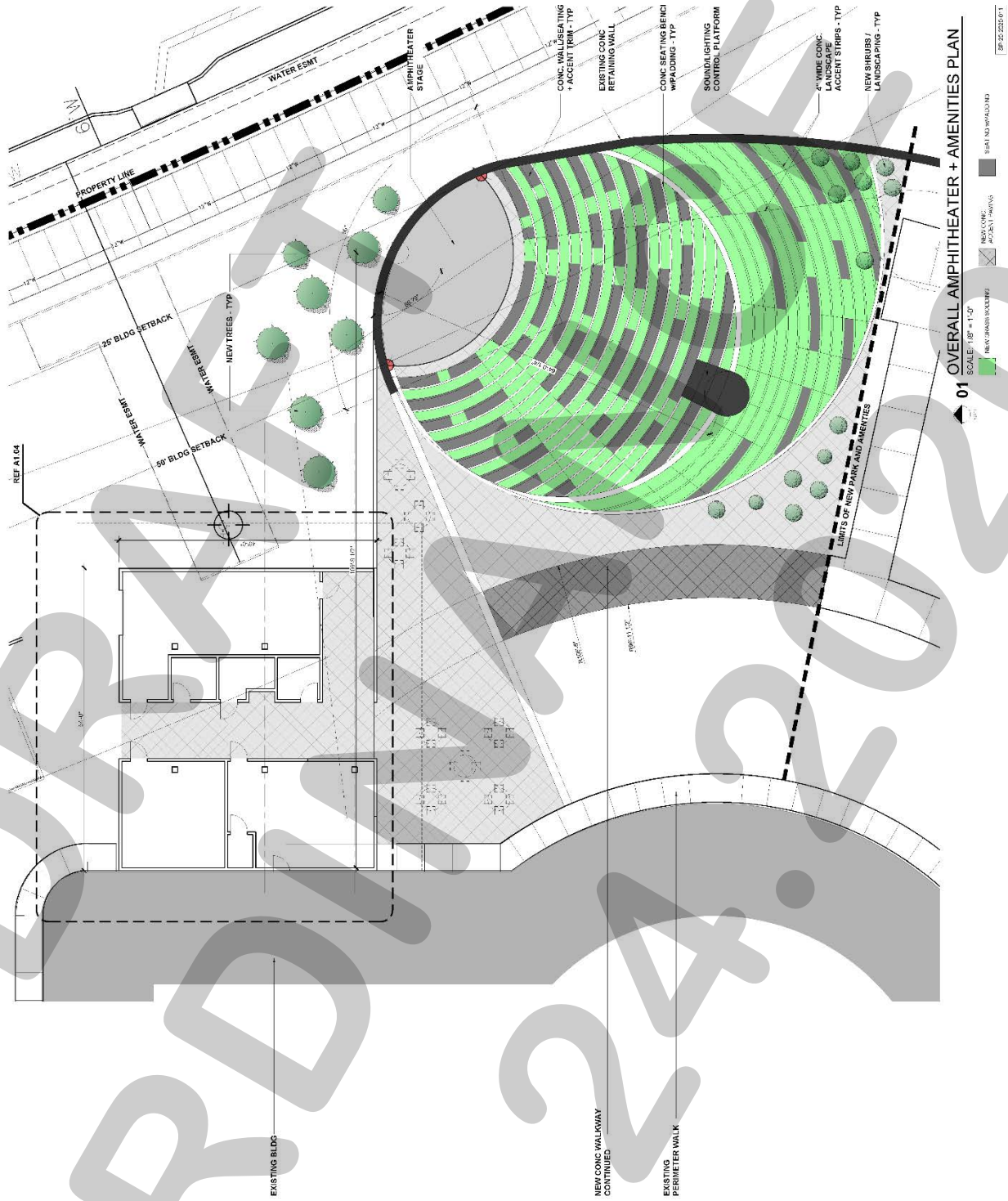


Exhibit 'E':
Concept Amphitheater Plan



01 OVERALL AMPHITHEATER + AMENITIES PLAN
 SCALE: 1/8" = 1'-0"
 REF: CONG - NEW GRASS (SOLID); ACCEHT STRIPS; HSAI ND W/PADDING; 3/22/2020

Exhibit 'E':
Concept Amphitheater Plan



Exhibit 'E':
Concept Amphitheater Plan

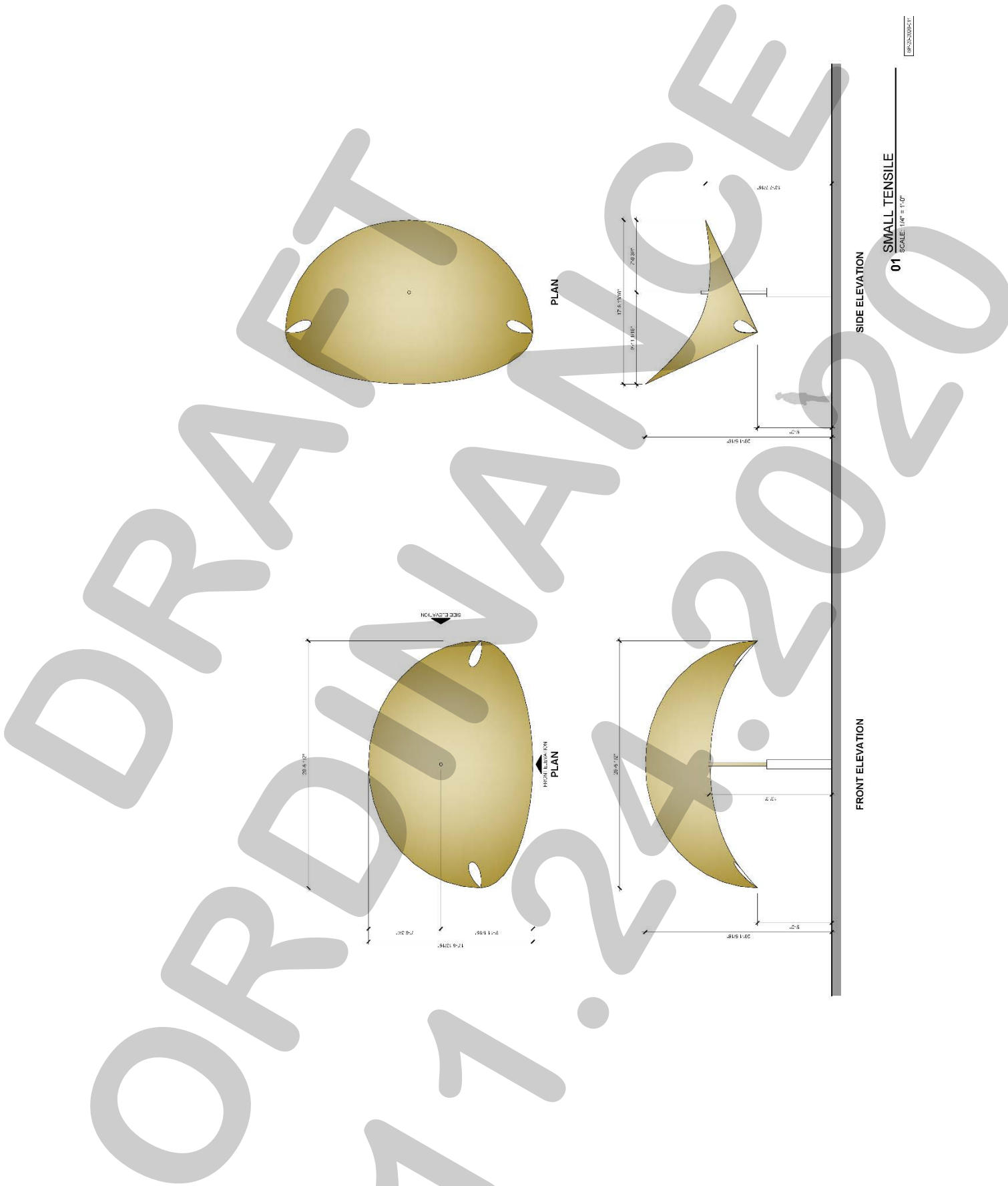


01 AMPHITHEATER TENSILE
 SCALE: 1/8" = 1'-0"

15-2-2020/21



Exhibit 'F':
Concept Canopy Plan



01 SMALL TENSILE
 SCALE: 1/4" = 1'-0"

Exhibit 'G': Concept Landscape Plan

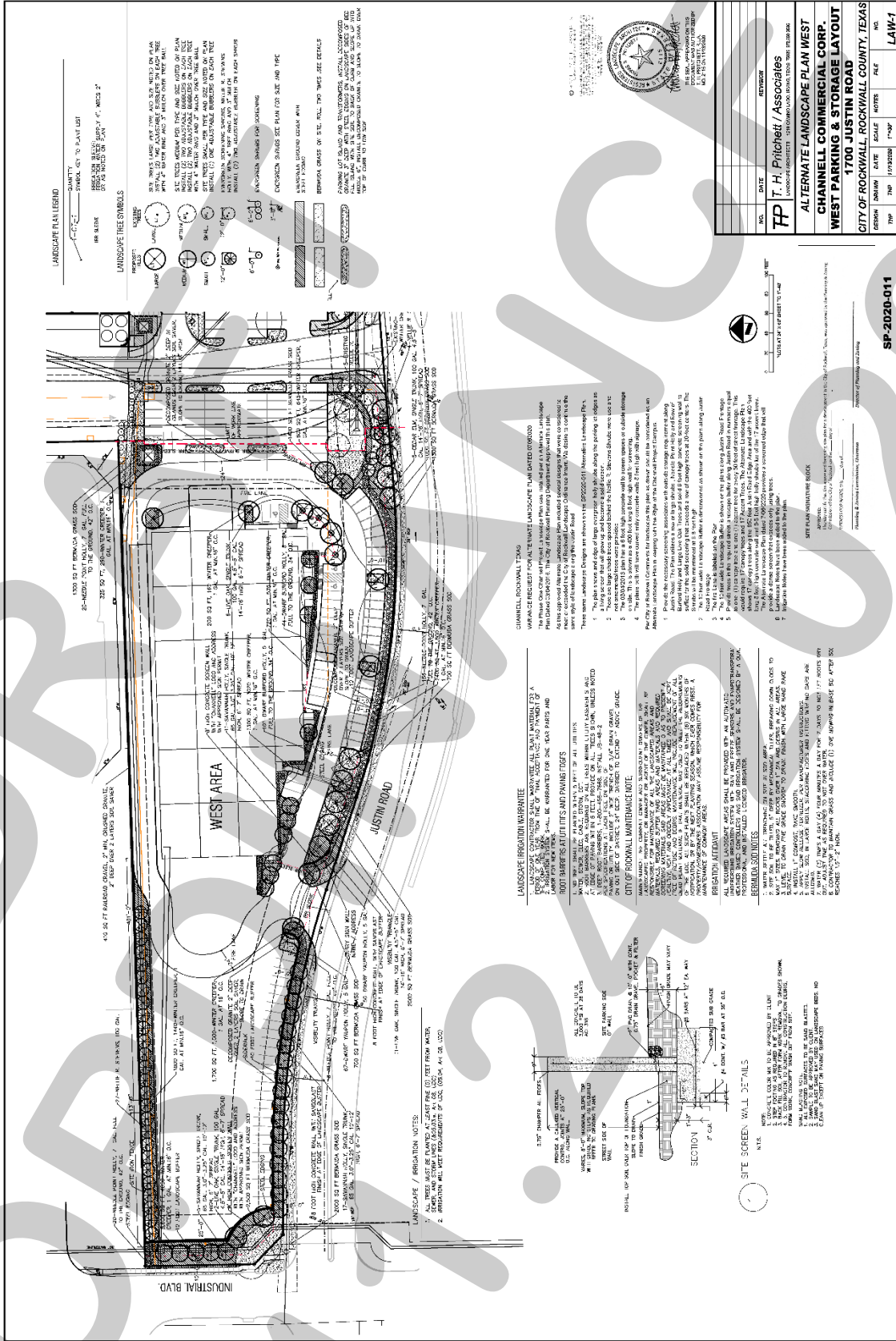
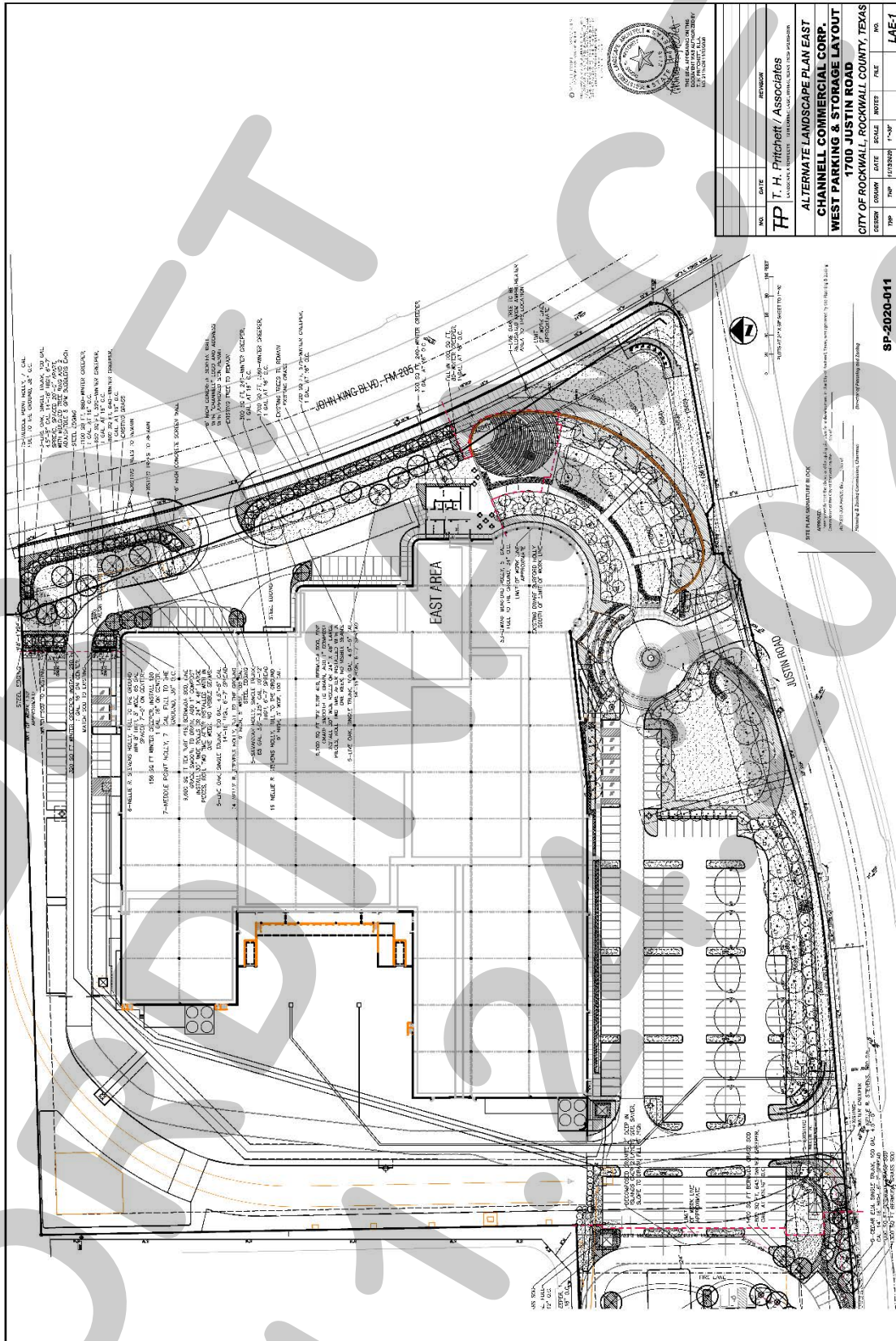


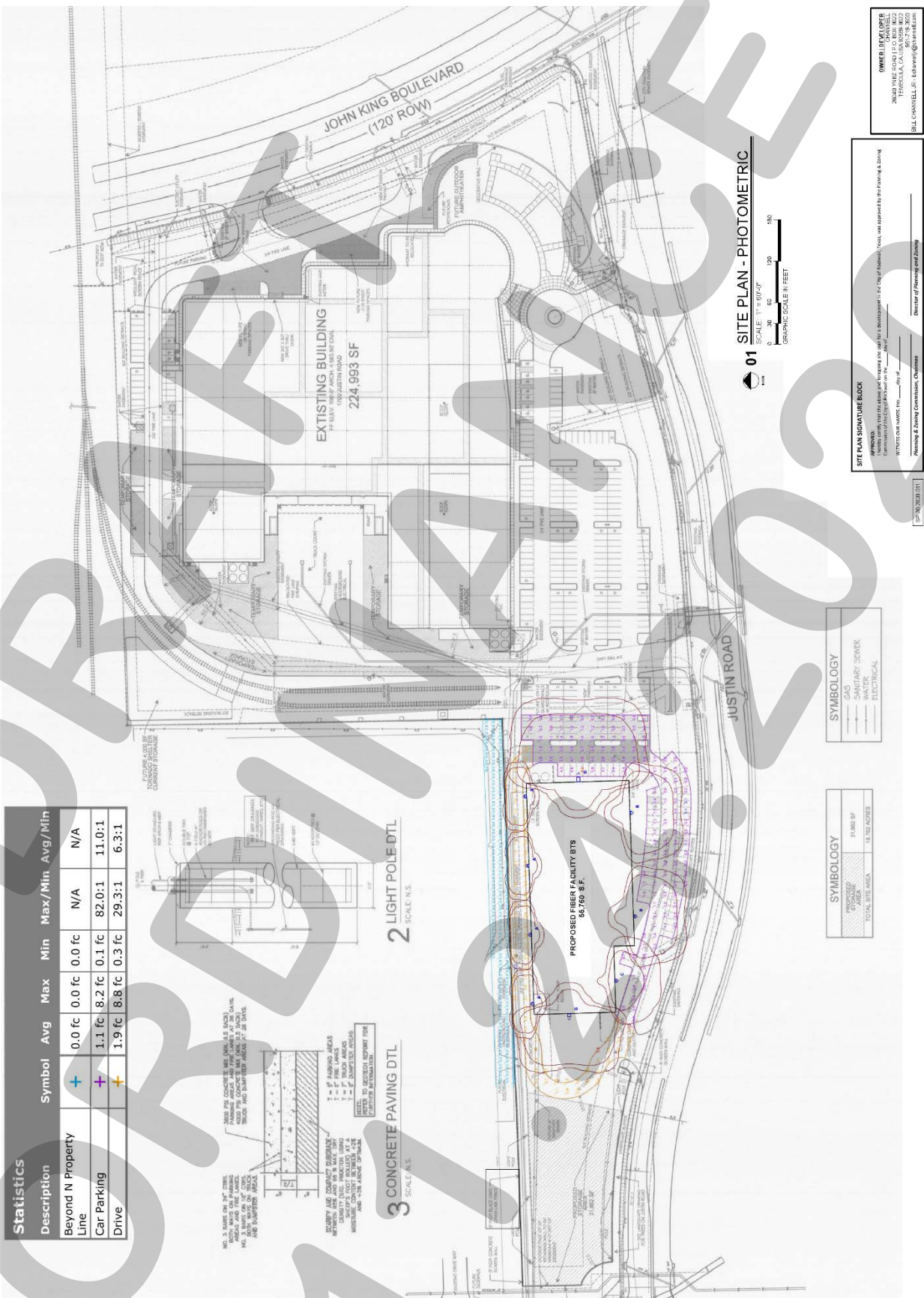
Exhibit 'G':
Concept Landscape Plan



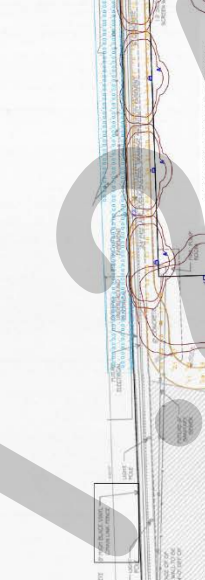
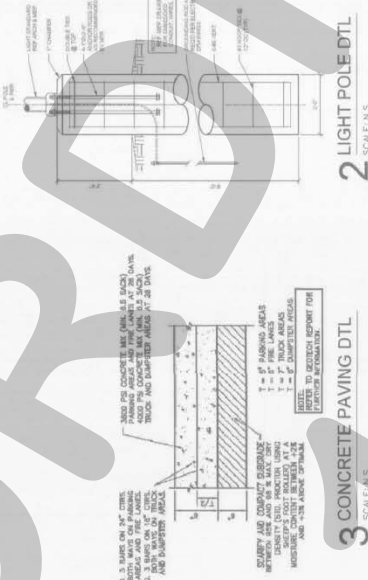
NO.	GATE	REVISION
HP T. H. Pritchett / Associates ALTERNATE LANDSCAPE PLAN EAST CHANNELL COMMERCIAL CORP. WEST PARKING & STORAGE LAYOUT 1700 JUSTIN ROAD CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
DESIGN	DATE	SCALE
DRAWN	DATE	SCALE
NO.	FILE	NO.
14132001	1'-0"	LAE-1

SP-2020-011

**Exhibit 'H':
Concept Photometric Plan**



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Beyond N Property Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Car Parking	+	1.1 fc	8.2 fc	0.1 fc	82.0:1	11.0:1
Drive	+	1.9 fc	8.8 fc	0.3 fc	29.3:1	6.3:1



01 SITE PLAN - PHOTOMETRIC
SCALE: 1" = 80'-0"
GRAPHIC SCALE IN FEET

SYMBOL
PROPOSED FIRE FACILITY
TOTAL SITE AREA
31,882 SF
18,782 ACRES

SYMBOL
GAS
SANITARY/SEWER
WATER
ELECTRICAL

SYMBOL
EXISTING BUILDING
224,993 SF
1750 JUSTIN ROAD

PROPOSED FIRE FACILITY
65,760 SF

3 CONCRETE PAVING DTL
SCALE: 1/8" = 1'-0"

2 LIGHT POLE DTL
SCALE: 1/2" = 1'-0"

SITE PLAN SIGNATURE BLOCK
I hereby certify that this plan and accompanying site data for a development in the City of Rockwall, Texas, was prepared by the Planning & Zoning Commission of the City of Rockwall, Texas, on this _____ day of _____, 2020.

Director of Planning and Zoning

OWNER DEVELOPER
ZACHRY GROUP, P.C. 10000 W. BELLEVUE
FIRETELLA, CA 95026 9072
BILL CHANNELL, JR. bchannell@zachry.com

SP-18-0020-01

Exhibit '1':
Density and Development Standards

I.1 Purpose.

The purpose of this Planned Development District ordinance is to provide flexible design standards to accommodate an industrial campus that incorporates unique architecture and land uses that are otherwise not permitted in the Light Industrial (LI) District. These land uses include an industrial facility with corporate offices, a distribution center, a light assembly center, an amphitheater and pavilion, and outside storage.

I.2 Review Process.

All development on the *Subject Property* shall require site plan approval in accordance with Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Upon submittal of a site plan, the Director of Planning and Zoning shall review the application and determine the following: [1] if the Director of Planning and Zoning determines that the site plan does generally conform to this Planned Development District ordinance then the site plan may be reviewed and approved administratively, or [2] if the Director of Planning and Zoning determines that the site plan does not generally conform to this Planned Development District ordinance then the site plan will be subject to review by the Architectural Review Board (ARB) [*if necessary*], and the Planning and Zoning Commission.

I.3 Planned Development District Standards.

(1) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, only those uses permitted within the Light Industrial (LI) District and the SH-205 By-Pass Overlay (SH-205 BY OV) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.

(2) Development Standards. Unless specifically provided for by this Planned Development District ordinance, the development standards required for property in a Light Industrial (LI) District and the SH-205 By-Pass Overlay (SH-205 BY OV) District, as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), are applicable to any development on the *Subject Property*.

(a) Setbacks. The building setbacks shall be as stated by the Unified Development Code (UDC); however, the following exceptions shall be permitted:

(1) Justin Road. Concrete screening walls shall be permitted to be located a minimum of ten (10) feet from the property line adjacent to Justin Road; however, these screening walls shall not be located within 50-feet of John King Boulevard [*unless permitted to do so be 1.3(2)(a)(2) below*].

(2) John King Boulevard. Concrete screening walls and other appurtenances associated with the amphitheater may be located within 20-feet of the property line adjacent to John King Boulevard.

(b) Materials. All materials shall generally conform to the materials depicted in the *Concept Building Elevations* contained in *Exhibit 'D'* of this Planned Development District ordinance; however, tilt-up walls with a sandblasted finish shall be permitted *by-right* on buildings and screening walls in conformance with all concept

Exhibit 'I':
Density and Development Standards

plans contained in *Exhibits 'C' – 'H'* of this Planned Development District ordinance.

DRAFT
ORDINANCE
11.24.2020

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: Z2020-054
PROJECT NAME: SUP for Accessory Structure at 707 Parks Avenue
SITE ADDRESS/LOCATIONS: 707 PARKS AVE, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	11/20/2020	Approved w/ Comments

11/20/2020: I.1 This request is for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, and addressed as 707 Parks Avenue.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email Hlee@rockwall.com.

M.3 For reference, include the case number (Z2020-054) in the lower right-hand corner of all pages on future submittals.

I.4 The subject property is zoned Single-Family 7 (SF-7) District.

I.5 According to Subsection 02.02(7) of Article 13, Definitions, of the Unified Development Code (UDC), a residential garage is clearly defined as:

Residential Garage. A residential accessory building used for the storage of motor vehicles. These structures are typically attached to the primary structure; however, they may also be a detached structure.

In this case, a motor vehicle has no way of getting to the structure (i.e. does not have a residential driveway to the structure) does not support this structure being classified as a residential garage; therefore, staff has classified this as a residential accessory structure.

I.6 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), accessory buildings proposed in a Single-Family 7 (SF-7) District shall adhere to the following requirements:

- (1) Number of Accessory Structures Permitted per Lot: 2
- (2) Maximum SF of Accessory Structure: 144 SF
- (3) Minimum Rear Yard Setback: 3 Feet
- (4) Minimum Side Yard Setback: 6 Feet
- (5) Distance Between Buildings: 6 Feet
- (6) Maximum Building Height: 15 Feet

In addition, all accessory buildings should be constructed to be architecturally compatible to the primary structure and be situated behind the front façade of the building.

M.7 In this case, the proposed new building will conform to the distance between buildings and the maximum building height. The three (3) foot rear yard setback and the six (6) foot side yard setback are not in compliance with the setback requirements and must be corrected.

I.8 In addition, the size of the accessory building exceeds the maximum permitted size for accessory structures in a Single-Family 7 (SF-7) District by 456 SF (i.e. 144 SF – 600 SF = -456 SF).

M.9 Please clearly label the distance between the proposed building and all property lines, and the distance between the building and the primary structure on the site plan. In addition, label the dimensions of the building on the site plan.

M.10 The accessory structure must be built on an engineered concrete foundation that will support the weight of the proposed accessory building.

M.11 Please review the attached Draft Ordinance prior to the November 24, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than December 1, 2020.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 1, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 8, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on November 24, 2020.

I.13 The projected City Council meeting dates for this case will be December 21, 2020 [1st Reading] and January 4, 2021 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Approved w/ Comments
11/18/2020: Verify the new building is outside of all building setbacks			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	11/16/2020	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/17/2020	Approved w/ Comments
11/17/2020: The building shall comply with fire-rated construction requirements for the exterior walls based on the location from property lines in accordance with the Building Code.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/17/2020	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/16/2020	Approved
11/16/2020: No comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-054

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 707 PARKS AVE

Subdivision _____ Lot 9 Block C

General Location DOWNTOWN

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning RESIDENTIAL

Current Use 1/

Proposed Zoning RESIDENTIAL

Proposed Use 1/

Acreage _____ Lots [Current] _____ Lots [Proposed] _____

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner CORRY BELANGER

Applicant _____

Contact Person CORRY BELANGER

Contact Person _____

Address 921 N. ALAMO RD

Address _____

City, State & Zip ROCKWALL TX 75087

City, State & Zip _____

Phone 561.531.2328

Phone _____

E-Mail CORRYWBELANGER@GMAIL

E-Mail _____

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

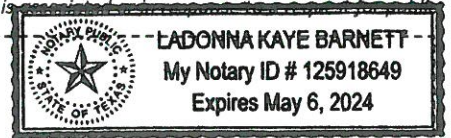
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is permitted by the copyright owner's information."

Given under my hand and seal of office on this the 13th day of November, 2020

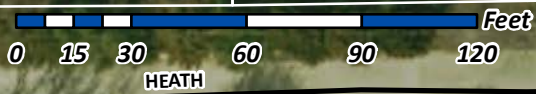
Owner's Signature _____

Notary Public in and for the State of Texas

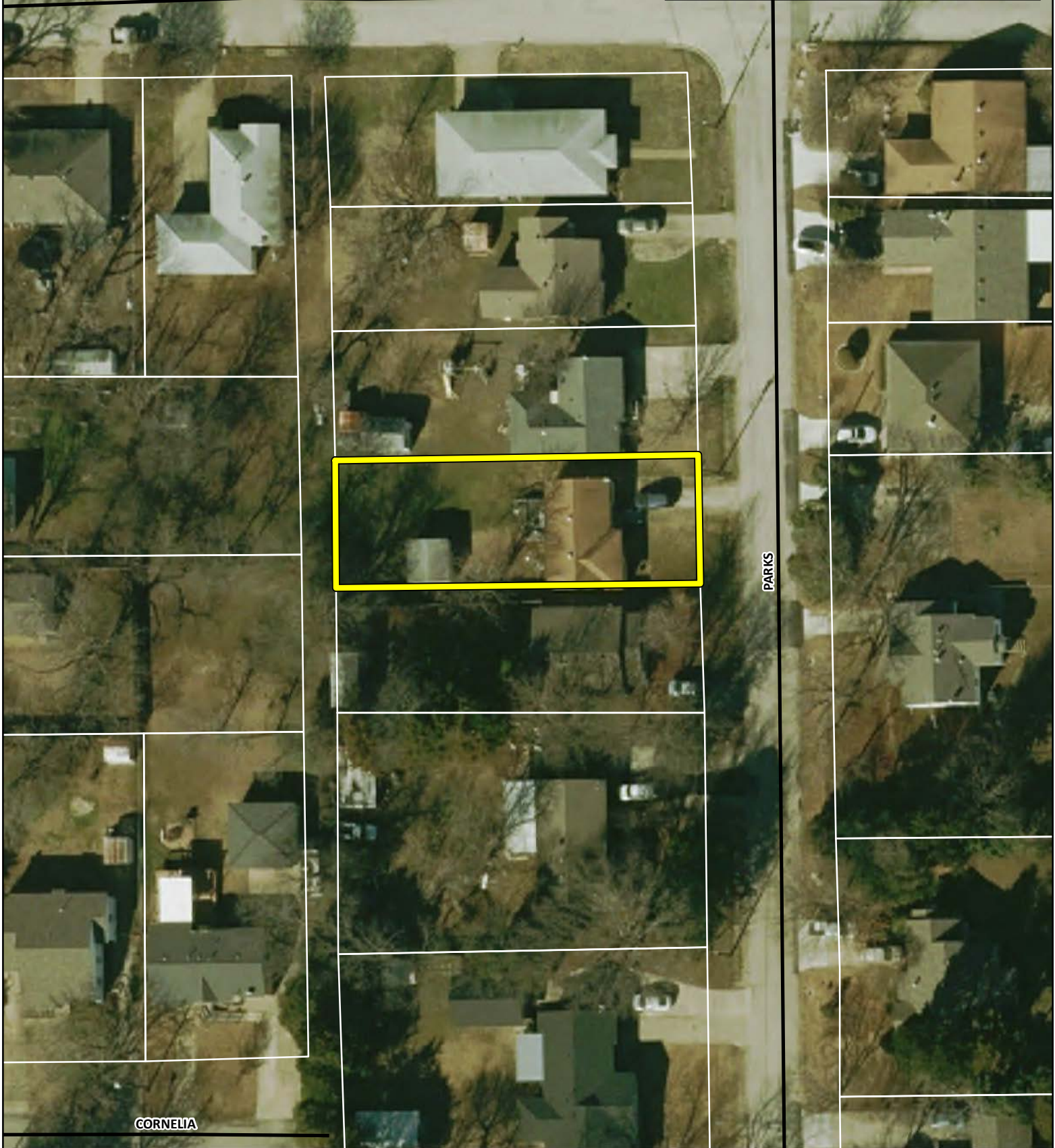
Ladonna Kaye Barnett



My Commission Expires May 6, 2024



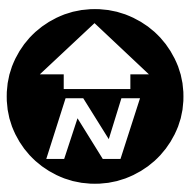
Z2020-054- SUP FOR 707 PARKS AVENUE
ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

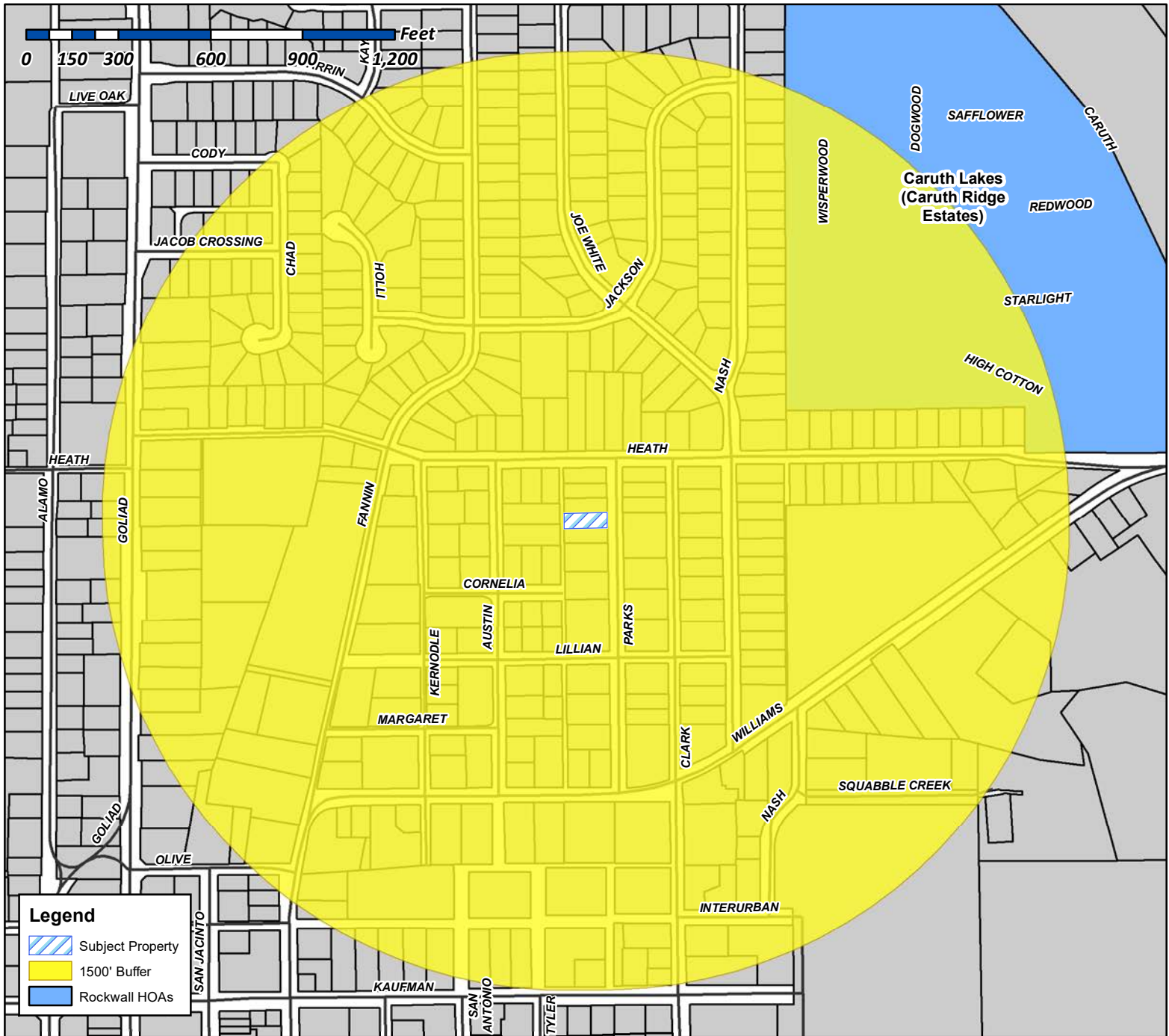




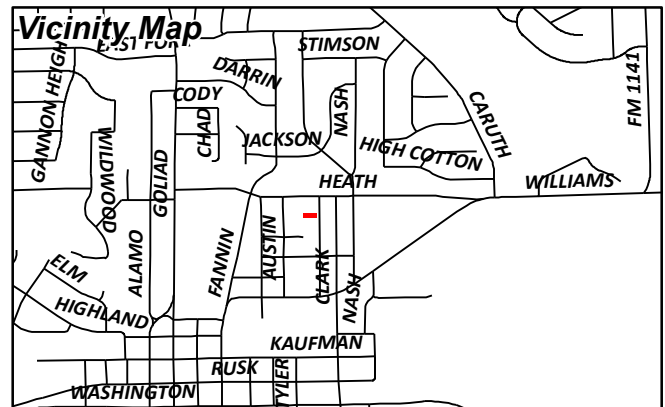
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-054
Case Name: SUP for an Accessory Structure
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 707 Parks Avenue



Date Created: 11/13/2020
For Questions on this Case Call (972) 771-7745

Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, November 18, 2020 2:30 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map Z2020-054.pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-054 Specific Use Permit for an Accessory Structure

Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of a *Specific Use Permit* for an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

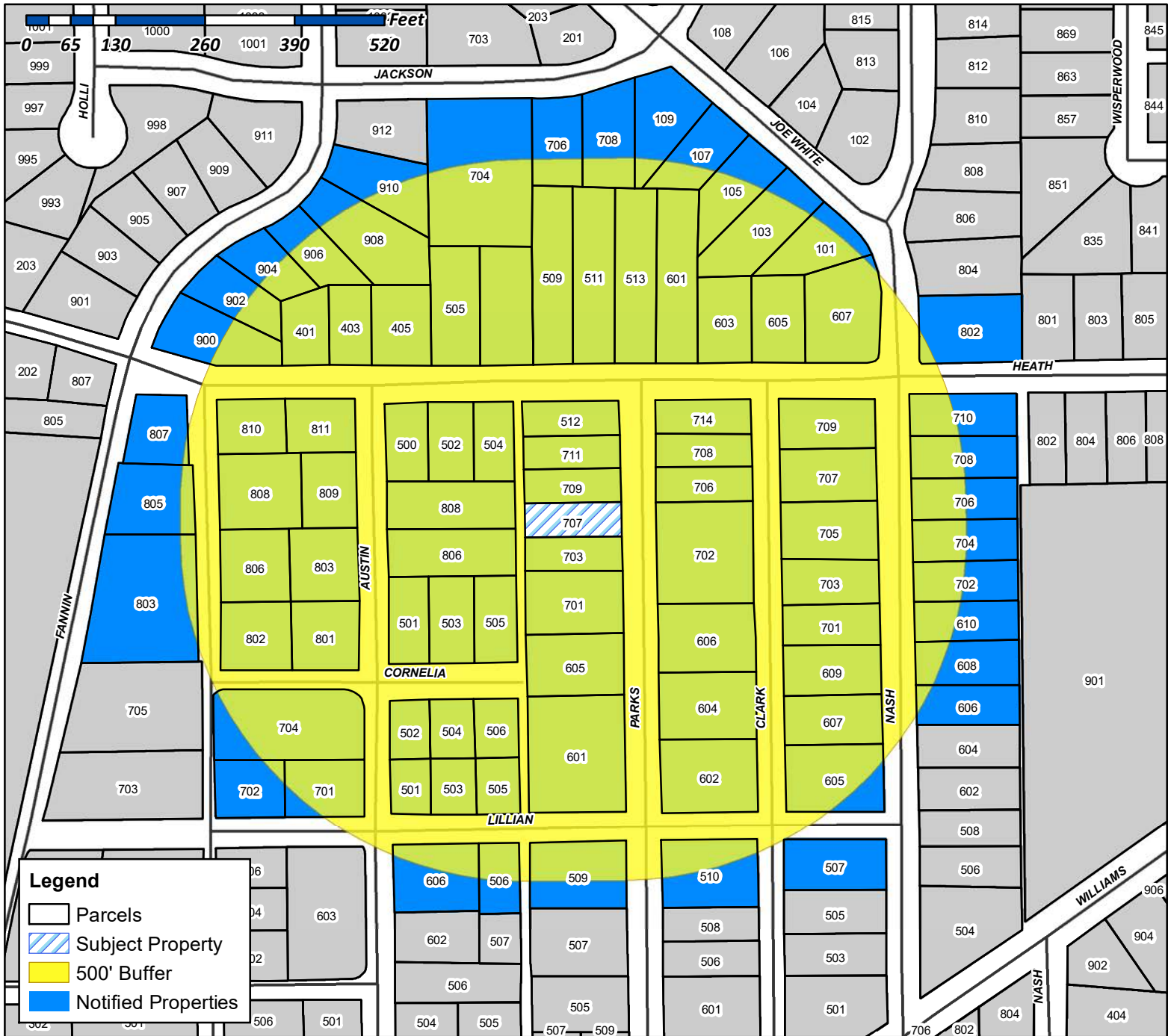
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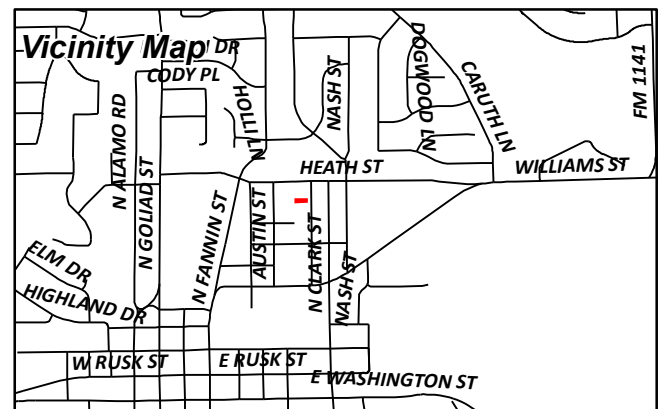
City of Rockwall

Planning & Zoning Department
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(P): (972) 771-7745
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Case Number: Z2020-054
Case Name: SUP for an Accessory Structure
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 707 Parks Avenue



Date Created: 11/13/2020
For Questions on this Case Call (972) 771-7745

ROLAND RANDY C AND ANDREA B
101 JOE WHITE ST
ROCKWALL, TX 75087

GLASS JERRY R
103 JOE WHITE ST
ROCKWALL, TX 75087

SILVA MANUEL
1041 E FM 552
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
105 JOE WHITE ST
ROCKWALL, TX 75087

KRIZAN RASTISLAV
107 JOE WHITE
ROCKWALL, TX 75087

PEOPLES JIMMIE DALE
109 JOE WHITE ST
ROCKWALL, TX 75087

BREWER SHERI RENEE
119 SUNRISE VISTA WAY
PONTE VEDRA, FL 32081

LAWRENCE RUSSELL W AND KELLY D
12 AMITY LANE
ROCKWALL, TX 75087

SABRSULA MELISSA
1571 ANNA CADR RD
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L
2 MANOR COURT
HEATH, TX 75032

HENRY AMANDA A
205 S CLARK
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES
213 SOVEREIGN CT
ROCKWALL, TX 75032

PARK ALLEN
2301 LAFAYETTE DR
HEATH, TX 75032

BLAZEK ALVIN F & DOROTHY H
2614 W 10TH ST
DALLAS, TX 75211

GLASS JERRY R
301 MEADOWDALE DR
ROCKWALL, TX 75087

LASKY KRISTINE ELIZABETH
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

LUSK VIVIAN E AND
EARNEST TIPPING
401 EAST HEATH STREET
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
403EHEATH ST
ROCKWALL, TX 75087

PARK ALLEN
405EHEATHST
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN
501 LILLIAN ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
503 CORNELIA
ROCKWALL, TX 75087

AWAJA PROPERTIES LLC
503 LILLIAN ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
504 CORNELIA
ROCKWALL, TX 75087

TANTON MELVIN V JR
504 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TR
ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN
505 CORNELIA
ROCKWALL, TX 75087

BARRON GILDARDO
505 LILLIAN ST
ROCKWALL, TX 75087

VANHORN PENNI AND
JOE ZYLKA AND BONNIE ZYLKA
505 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
506 CORNELIA
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE
506 LILLIAN ST
ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE
507 NASH ST
ROCKWALL, TX 75087

DOROTIK DAVID W
509 PARKS AVE
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES
509 E HEATH ST
ROCKWALL, TX 75087

RICHARDSON PATRICE
510 COVE RIDGE RD
HEATH, TX 75032

ALLEGRETTO RICHARD JR AND SARAH ANN
510 PARKS AVE
ROCKWALL, TX 75087

RICHARDSON PATRICE
511 E HEATH ST
ROCKWALL, TX 75087

COATS LOIS LOUISE
512 E HEATH ST
ROCKWALL, TX 75087

GREENAWALT PATRICK AND COURTNEY
513 E HEATH ST
ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH
601 PARKS AVE
ROCKWALL, TX 75087

STEGALL VENTURES LLC
601 SUNSET HILL DRIVE
ROCKWALL, TX 75087

STARK ROBERT C
601 E HEATH ST
ROCKWALL, TX 75087

LEAL ROLAND & CAROL
602 PARKS AVENUE
ROCKWALL, TX 75087

SUTTON JUDITH A
603 E HEATH ST
ROCKWALL, TX 75087

FUQUA MATTHEW
604 PARKS AVE
ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA
605 NASH ST
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM
605 PARKS AVE
ROCKWALL, TX 75087

STARK ROBERT S & TINA J
605 E HEATH ST
ROCKWALL, TX 75087

DANIEL RODNEY
606 AUSTIN ST
ROCKWALL, TX 75087

GALASSI TORI D
606 NASH ST
ROCKWALL, TX 75087

WALLS JEFFREY V & NATALIE ANN
606 PARKS AVE
ROCKWALL, TX 75087

SPERLING SANDY
607 E HEATH ST
ROCKWALL, TX 75087

KINSEY TARI L AND DONALD H
607 NASH ST
ROCKWALL, TX 75087

STARK ROBERT S & TINA J
607 SAINT MARY ST
ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA
608 NASH ST
ROCKWALL, TX 75087

TORRES ROSIE
609 NASH ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
610 NASH ST
ROCKWALL, TX 75087

CASTRO RENE & BETSY
700 WINDSONG LN
ROCKWALL, TX 75032

MOONEY BEULAH CHRISTINE
701 AUSTIN ST
ROCKWALL, TX 75087

BLAZEK ALVIN F & DOROTHY H
701 NASH ST
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA
701 PARKS AVE
ROCKWALL, TX 75087

KINSEY TARI L AND DONALD H
702 KERNODLE ST
ROCKWALL, TX 75087

TEMPLETON LORRAINE BIEGLER
702 NASH ST
ROCKWALL, TX 75087

HENRY AMANDA A
702 PARKS AVE
ROCKWALL, TX 75087

ELLISTON REBECCA S
703 NASH STREET
ROCKWALL, TX 75087

HANSON BRANDON R
703 PARKS AVE
ROCKWALL, TX 75087

FRASIER MICHAEL & MARY GRACE
704 JACKSON ST
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

GRIFFIN PATTY JEAN CORNELIUS
704 NASH ST
ROCKWALL, TX 75087

RUSHING BRIAN AND
CHANEL KENTOPP
705 NASH ST
ROCKWALL, TX 75087

ZYLKA PENNI R
706 JACKSON ST
ROCKWALL, TX 75087

ARELLANO JESUS L &
CYNTHIA A HERRERA
706 NASH ST
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN
706 PARKS AVE
ROCKWALL, TX 75087

MCCLAIN LOUETTA
707 NASH ST
ROCKWALL, TX 75087

BELANGER CORKY
707 PARKS AVE
ROCKWALL, TX 75087

LASKY KRISTINE ELIZABETH
708 JACKSON ST
ROCKWALL, TX 75087

SABRSULA MELISSA
708 NASH ST
ROCKWALL, TX 75087

KOLWINSKA GERALDINE D
708 PARKS AVE
ROCKWALL, TX 75087

BREWER SHERI RENEE
709 NASH ST
ROCKWALL, TX 75087

BARRON ARMANDO
709 PARKS AVE
ROCKWALL, TX 75087

STARK ROBERT C
710 AGAPE ST
ROCKWALL, TX 75087

KING MISTY
710 NASH STREET
ROCKWALL, TX 75087

NIXON ALBERT
711 PARKS AVE
ROCKWALL, TX 75087

PALMER LINDA C
714 PARKS AVE
ROCKWALL, TX 75087

BEASLEY GEORGE
801 AUSTIN ST
ROCKWALL, TX 75087

KINSEY DONALD H AND TARI L
802 KERNODLE STREET
ROCKWALL, TX 75087

STEGALL VENTURES LLC
802 NASH ST
ROCKWALL, TX 75087

SILVA MANUEL
803 AUSTIN ST
ROCKWALL, TX 75087

JOHNSON BRADLEY K AND GINGER M
803 KERNODLE ST
ROCKWALL, TX 75087

BUSHNELL MICHAEL S & TIFFANIE C
805 KERNODLE ST
ROCKWALL, TX 75087

AUSTIN TRENTON C
806 AUSTIN ST
ROCKWALL, TX 75087

LAWRENCE RUSSELL W AND KELLY D
806 KERNODLE ST
ROCKWALL, TX 75087

DEL BOSQUE MARIO ETUX
807 KERNODLE ST
ROCKWALL, TX 75087

CASTRO RENE & BETSY
808 AUSTINST
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L
808 KERNODLE ST
ROCKWALL, TX 75087

KINDRED ROBERT M
809 AUSTINST
ROCKWALL, TX 75087

JOSEY BROOKE
810 KERNODLE ST
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

MCCLAIN LOUETTA
8309 TURNBERRY ST
ROWLETT, TX 75089

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3
8916 MEADOW KNOLL
DALLAS, TX 75243

WILSON CHARLES W
900 N FANNIN ST
ROCKWALL, TX 75087

FINK BEVERLY A & ROYCE G
902 N FANNIN STREET
ROCKWALL, TX 75087

HALL WYNNE &
JOANN CAMPBELL
904 N FANNIN ST
ROCKWALL, TX 75087

WILLIAMS BROOKS
906 FANNIN STREET
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3
908 N FANNIN ST
ROCKWALL, TX 75087

JESSEE DAVID AND A JANE
910 N FANNIN ST
ROCKWALL, TX 75087

BELANGER CORKY
921 N ALAMO RD
ROCKWALL, TX 75087

KINDRED ROBERT M
P.O. BOX 261638
PLANO, TX 75026

GRIFFIN PATTY JEAN CORNELIUS
PO BOX 511
FATE, TX 75087

AWAJA PROPERTIES LLC
PO BOX 811
ROYSE CITY, TX 75189

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-054: Specific Use Permit for an Accessory Structure

Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of a Specific Use Permit from an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-054: Specific Use Permit for an Accessory Structure

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

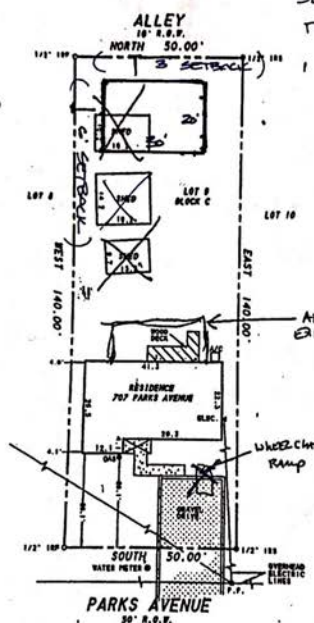
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Handwritten signature/initials

**WOOD SHOP
SLAB ON GRADE
METAL STRUCTURE**

**X- NOT THERE
NEVER HAVE BEEN**



DESCRIPTION

LOT 8, BLOCK C OF THE POWER ADDITION TO THE CITY OF ROCKFALL, ROCKFALL COUNTY, ILLINOIS.

NOTES

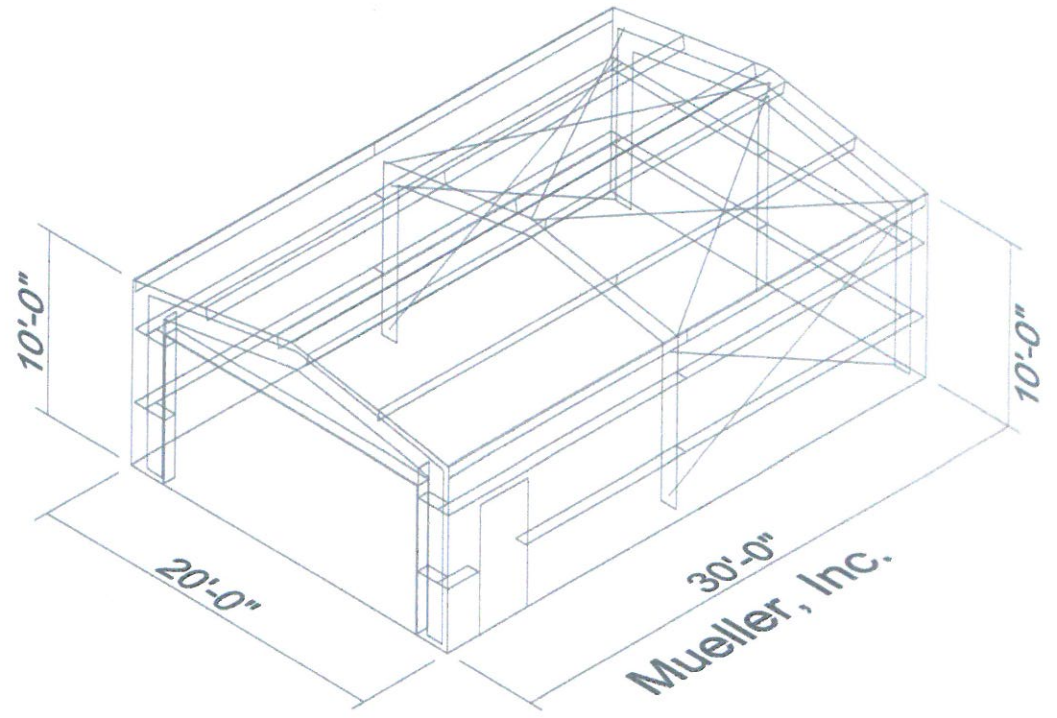
- 1) According to a P.U.L. Flood Insurance Rate Map, Community Panel No. 480547 0005 C, this property is in Zone 1. This property does not appear to be within a 100-year flood plain.
- 2) SEALING SOURCE RECORDED PLAT

I, Ronald B. Peilly, III, Registered Professional Land Surveyor, State of Texas, do certify that the above plat, showing the Urban Survey, was prepared and drawn in accordance with the provisions of the Surveying Act of the State of Texas, and that the same is a true and correct copy of the original survey, and that the same is a true and correct copy of the original survey, and that the same is a true and correct copy of the original survey, and that the same is a true and correct copy of the original survey.

STOVALL & ASSOCIATES

DATE	10/15/2010
TIME	10:00 AM
BY	Ronald B. Peilly, III
FOR	STOVALL & ASSOCIATES
PROJECT	707 PARKS AVENUE, ROCKFALL, ILLINOIS
PLAT	10/15/2010
BOOK	10/15/2010
PAGE	10/15/2010
REVISIONS	
NO. 1	10/15/2010
NO. 2	10/15/2010
NO. 3	10/15/2010
NO. 4	10/15/2010
NO. 5	10/15/2010
NO. 6	10/15/2010
NO. 7	10/15/2010
NO. 8	10/15/2010
NO. 9	10/15/2010
NO. 10	10/15/2010









CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 9, BLOCK E, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Corky Belanger for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum allowable size on a 0.161-acre parcel of land described as Lot 9, Block E, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 600 SF.
- (3) The subject property shall not have more than one (1) accessory building.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

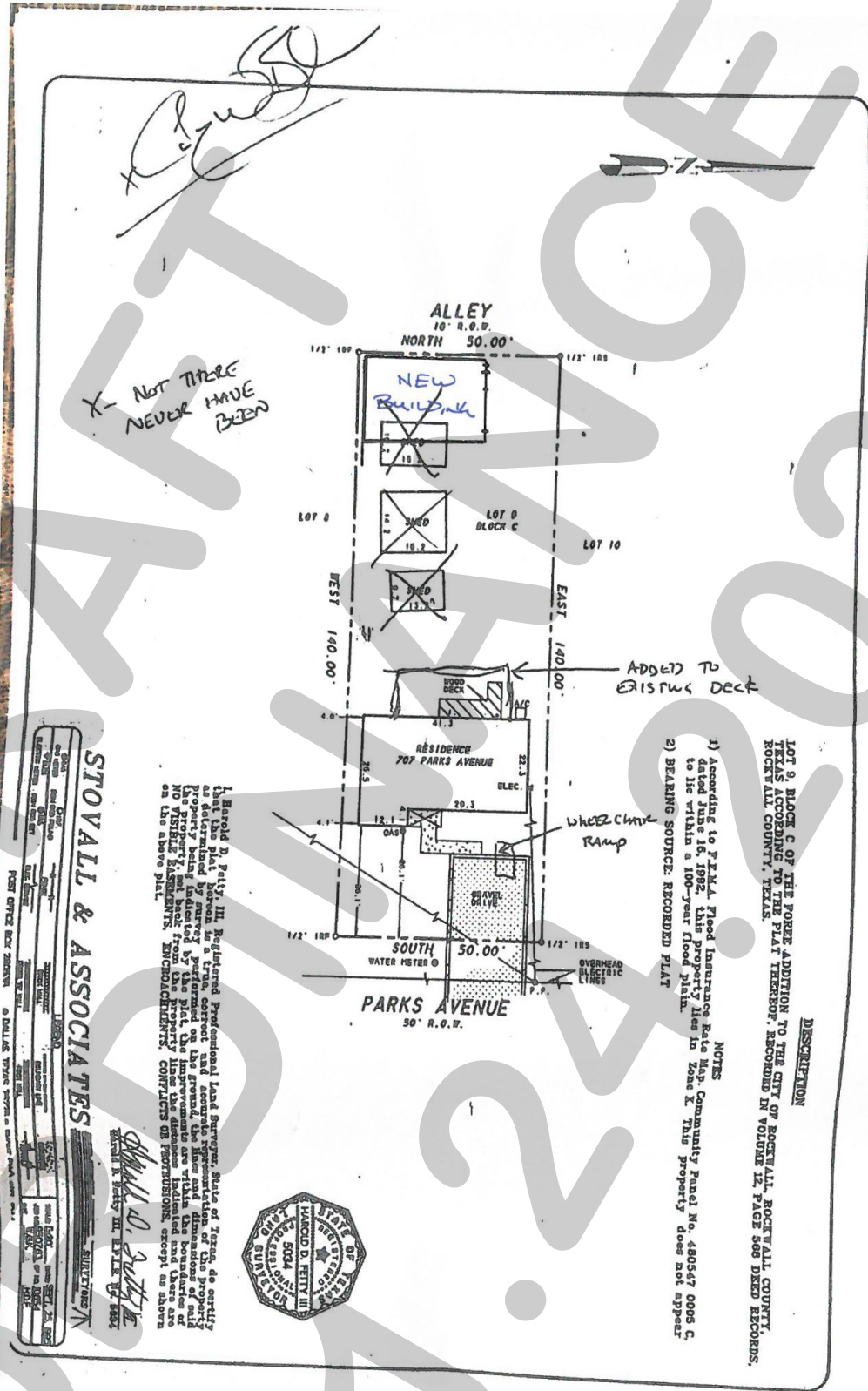
Exhibit 'A'
Zoning Exhibit

Address: 707 Parks Avenue

Legal Description: Lot 9, Block C, Foree Addition

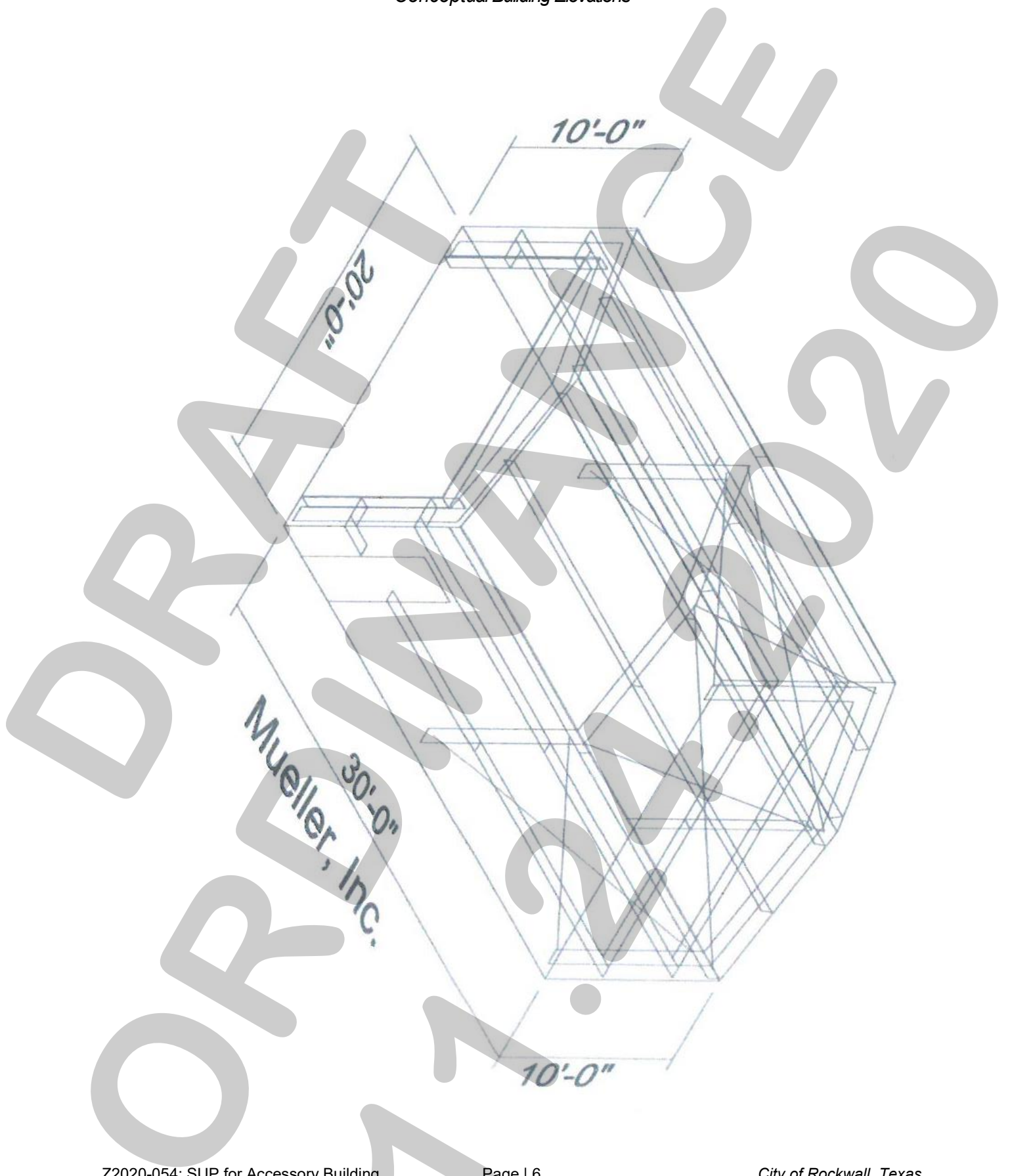


Exhibit 'B':
Site Plan



Scanned with CamScanner

Exhibit 'C':
Conceptual Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: P2020-047
PROJECT NAME: Preliminary Plat for Saddle Star South, Phase 3
SITE ADDRESS/LOCATIONS: 3076 HAYS LN, ROCKWALL

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	11/20/2020	Needs Review

11/20/2020: P2020-047; Preliminary Plat for the Saddle Star Estates, Phase 3 Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for Phase 3 of the Saddle Star Subdivision consisting of 33 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2020-047) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).

I.4 The preliminary plat shall conform to all standards and requirements of Planned Development District No. 79 (PD-79) for Single-Family 8.4 (SF-8.4) District, the Unified Development Code (UDC), staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

M.5 Please provide a Treescape Plan for development. (§04.01, Art. 11, UDC)

M.6 Label the right-of-way width and street centerline for each street both within and adjacent to the development. (§04.01, Art. 11, UDC)

I.7 Correct the Zoning District label to indicate "Zoning District: PD-79"

M.8 The following lots do not meet the minimum lot width requirement per PD-79; Lots 4, 5, & 6, Block H, & Lot 6, Block G. Verify and/or correct lots to meet a minimum of 80-ft lot width at the front yard building setback per PD-79 standards, and label on plat as appropriate. (Exhibit 'C', Development Standards, PD-79)

M.9 Adequate public facilities policy. "Adequate service for areas proposed for development. Land proposed for development in the city and in the city's extraterritorial jurisdiction must be served adequately by essential public facilities and services, including water facilities, wastewater facilities, roadway and pedestrian facilities, drainage facilities and park

facilities. Land shall not be approved for platting or development unless and until adequate public facilities necessary to serve the development exist or provision has been made for the facilities, whether the facilities are to be located within the property being developed or offsite.” (Section 38-5(d)(1), Policy, Municipal Code of Ordinances)

a) Provide a detailed statement of how the proposed subdivision will be served by water, wastewater, roadway and drainage facilities that have adequate capacity to serve the development.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff by December 1, 2020, and provide any additional information that is requested.

I.11 Please provide two (2) large copies and one PDF version for review by staff.

I.12 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on November 24, 2020
- 2) Parks and Recreations Board meeting will be held on December 1, 2020
- 3) Planning & Zoning Regular meeting will be held on December 8, 2020
- 4) City Council meeting will be held on December 21, 2020

I.13 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person and in the City’s Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Approved w/ Comments

11/18/2020: The following items are for your information for the engineering design process.

General Items:

- I - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- I - 10' Utility Easement required along all street ROW.
- I - Minimum 20' x20' Sidewalk and visibility easement clips at all intersecting residential to residential streets.
- I - Minimum 30' x30' ROW clip at intersections of Randas Way/John King Blvd.

Drainage Items:

- I - No walls allowed in detention.
- I - Can't increase flow leaving site. Detention may be required to prevent increase in flow leaving site. No detention allowed in floodplain.
- I - Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- I - Manning's C-value is per zoning type.
- I - Must get a WOTUS study for the ponds on site.
- I - The finish floor of all the houses must be 2' above the adjacent floodplain elevation. Any parking areas, including garages must be 1' minimum above the floodplain elevation.
- I - "Drainage/detention and floodplain on site to be maintained by the HOA" add note to preliminary plat.

Water and Wastewater Items:

- I - Must show existing and proposed utilities for the project.
- I - Must loop 8" water line on site.

I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)

I - Minimum public sewer is 8".

I - There is no capacity for this phase to sewer to the Stoney Hollow Lift Station. You will need to pay for an infrastructure study to determine the required improvements that the development will need to complete. (Review Fees Apply)

I - Mt. Zion has the water service rights. The development will need to opt out of Mt. Zion and install the water lines according to City Standards.

Roadway Paving Items:

I - All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.

I - Alleys to be 20' ROW, 12' wide paving.

I - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.

I - Cul-de-sacs or eyebrow paving must have 57.5' radius for the ROW and 47.5' radius for paving minimum.

Landscaping:

I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

I - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	11/16/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/17/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/17/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	11/20/2020	N/A

No Comments

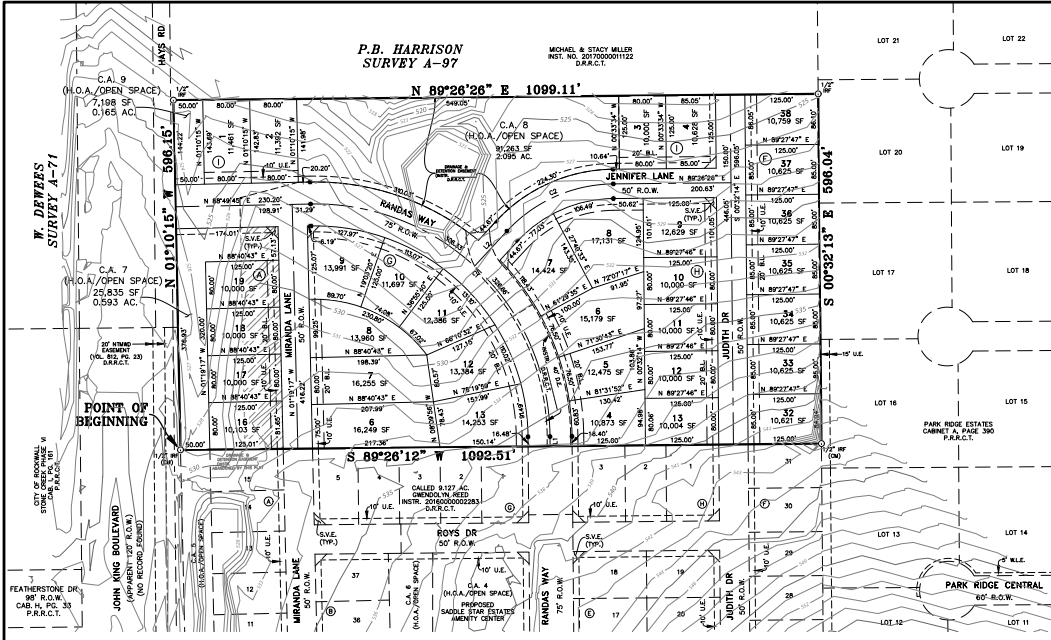
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/16/2020	Approved

11/16/2020: 2020 Park Land Dedication Fee (P2020-047)

Park District 6

Cash in Lieu of Land: \$984.00.00 x 33 lots = \$32,472.00

Pro Rata Equipment Fees: \$931.00 x 33 lots = \$30,723.00



NO.	DIRECTION	DISTANCE
L1	N 00°30'07" W	18.44'
L2	S 42°42'28" W	81.48'

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	90°40'08"	400.00'	404.70'	632.99'	N 45°50'11" W	568.98'
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- Notes:
- Bearings and Grid Coordinates shown herein are per NAD 83 based on City of Rockwall Monument No.
 - A 5/8" Iron rod with a yellow cap stamped RPLS 3963 will be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in cases impeded by retainer walls or other obstacles lying on the actual lot corner.
 - By graphical plotting, no part of the parcel described herein lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 4839/2000L, dated September 30, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source, on occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
 - All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
 - It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permitted, therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-04.
 - The Open Space Lots to be maintained by the Homeowners Association (HOA).
 - Drainage and Detention on site to be maintained by the HOA.

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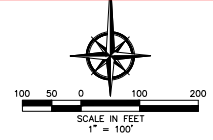
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OWNERS
CDP ROCKWALL 2017, LLC
 6925 FM 2915
 KAUFMAN, TX 75142

DEVELOPER
HINES
 2200 ROSS AVE. SUITE 4200W
 DALLAS, TX 75201
 (214) 716-2900

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
 488 ARROYO COURT
 SUNNYVALE, TX 75182
 (214) 532-0636
 FAX (972) 412-4876
 EMAIL: rcm@rcmyersllc.com
 FIRM NO. 10192300 JOB NO. 305

PHASE THREE
 33 SINGLE FAMILY LOTS
 3 COMMON AREA TRACT
 14.995 ACRES
 SITUATED IN THE
 P.B. HARRISON SURVEY A-97
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
ENGINEERING CONCEPTS & DESIGN, L.P.
 ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
 TEXAS FIRM REG. NO. 001145
 201 WINDCO CIRCLE, SUITE 200, WYLLIE, TX 75098
 (972) 941-8400 FAX (972) 941-8401

DATE: 11/18/2020 CASE # P9200 SHEET 1 OF 1
 0824\DWG\824 Preliminary Plat Ph. 3.dwg



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 3076 Hays Ln.

Subdivision Saddle Star South Phase 3

Lot

Block

General Location East of John Lewis & South of RM 552

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Planned Development 70

Current Use UNDEVELOPED

Proposed Zoning

Proposed Use

Acreage 14.995

Lots [Current]

33

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner CDT Rockwall 2017

Applicant KPA CONSULTING INC

Contact Person PAT ATKINS

Contact Person PAT ATKINS

Address 3076 Hays Ln.

Address 3076 Hays Ln.

City, State & Zip Rockwall, Texas 75087

City, State & Zip Rockwall TX 75087

Phone 972-388-6383

Phone KPATATKINS@GMAIL.COM

E-Mail KPATATKINS@GMAIL.COM

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared PAT ATKINS [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13th day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13th day of November, 20 20.

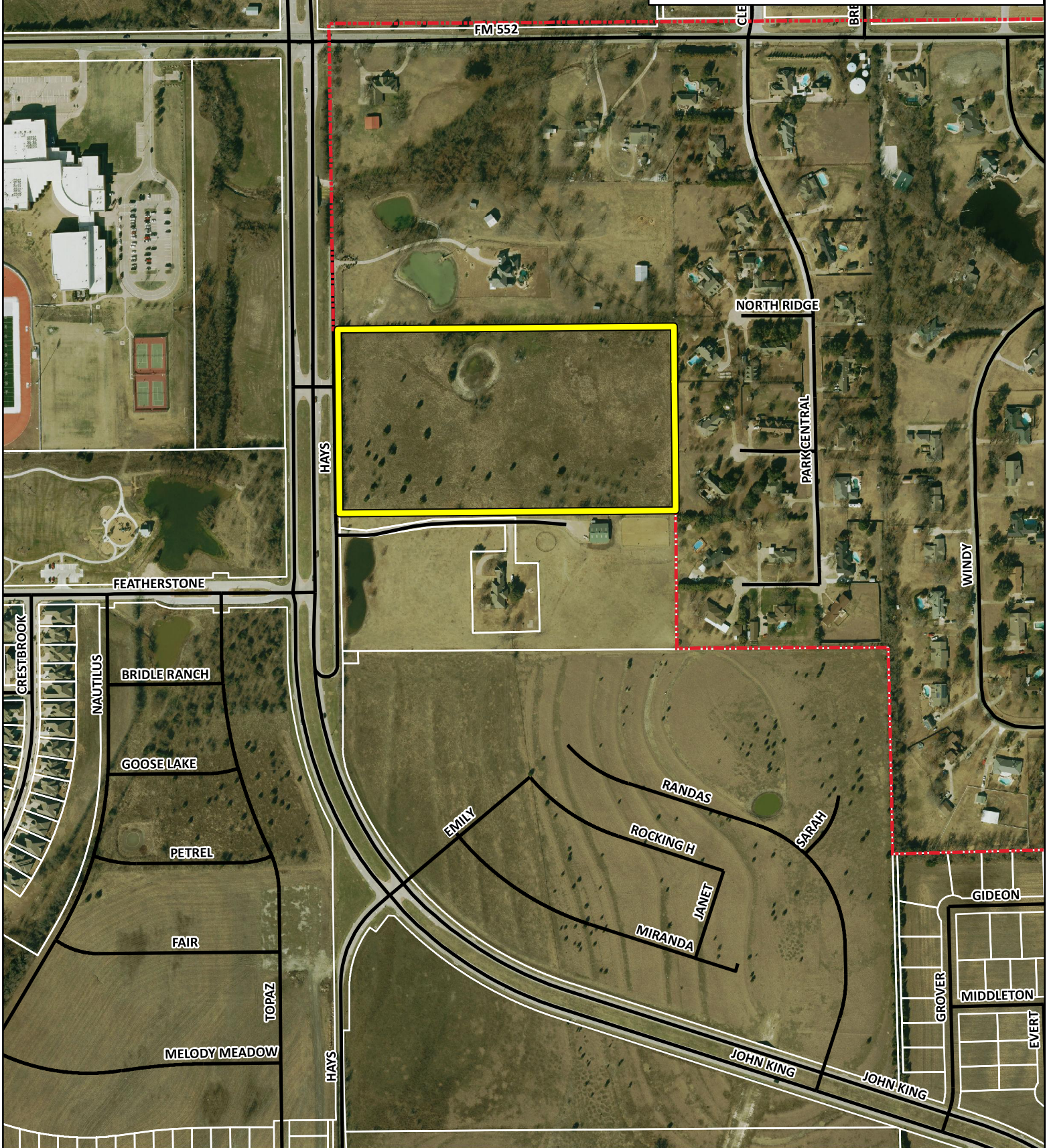
Owner's Signature

Notary Public in and for the State of Texas



0 130 260 520 780 1,040 Feet

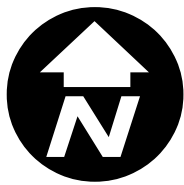
P2020-047- SADDLE STAR SOUTH, PHASE 3
PRELIMINARY PLAT - LOCATION MAP = 

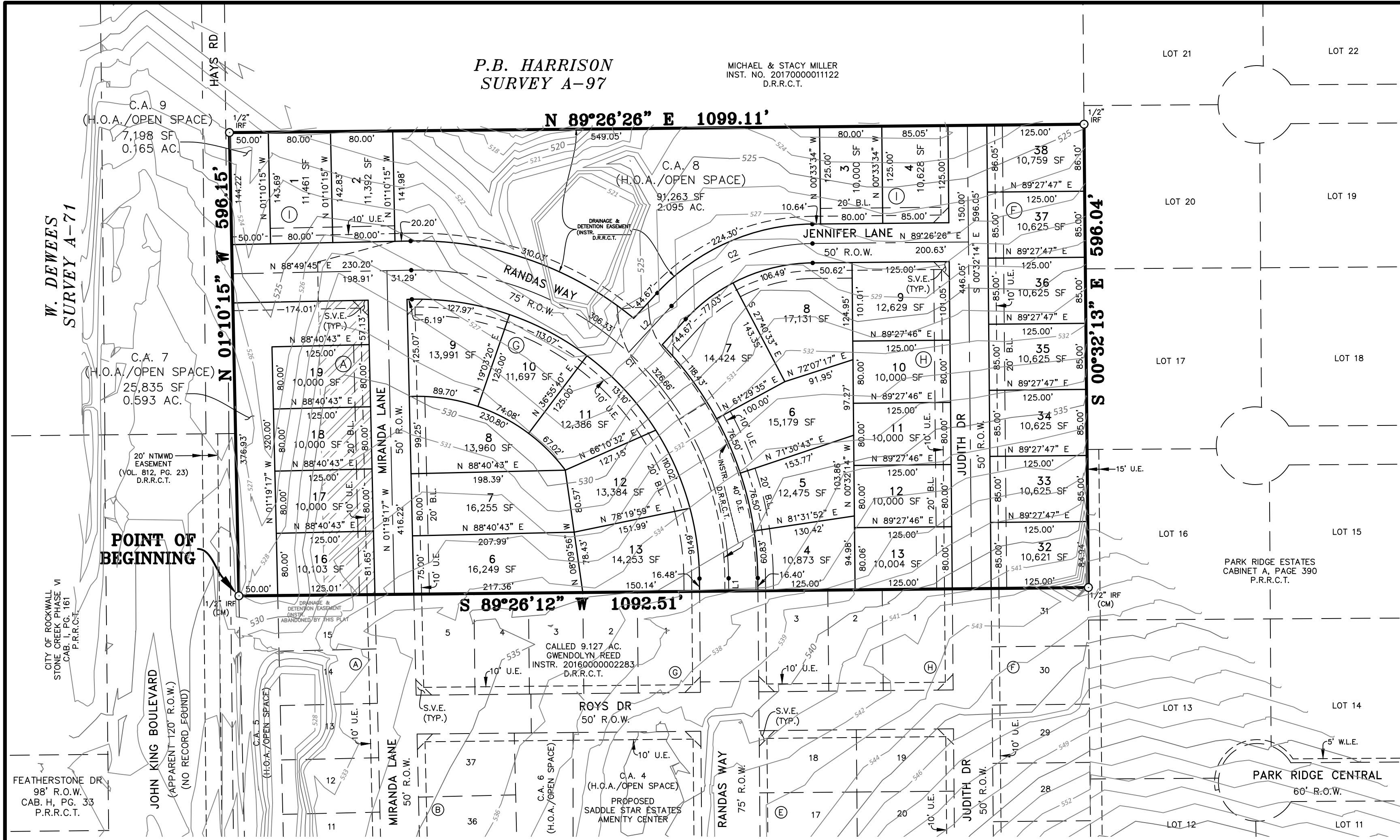


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





P.B. HARRISON
SURVEY A-97

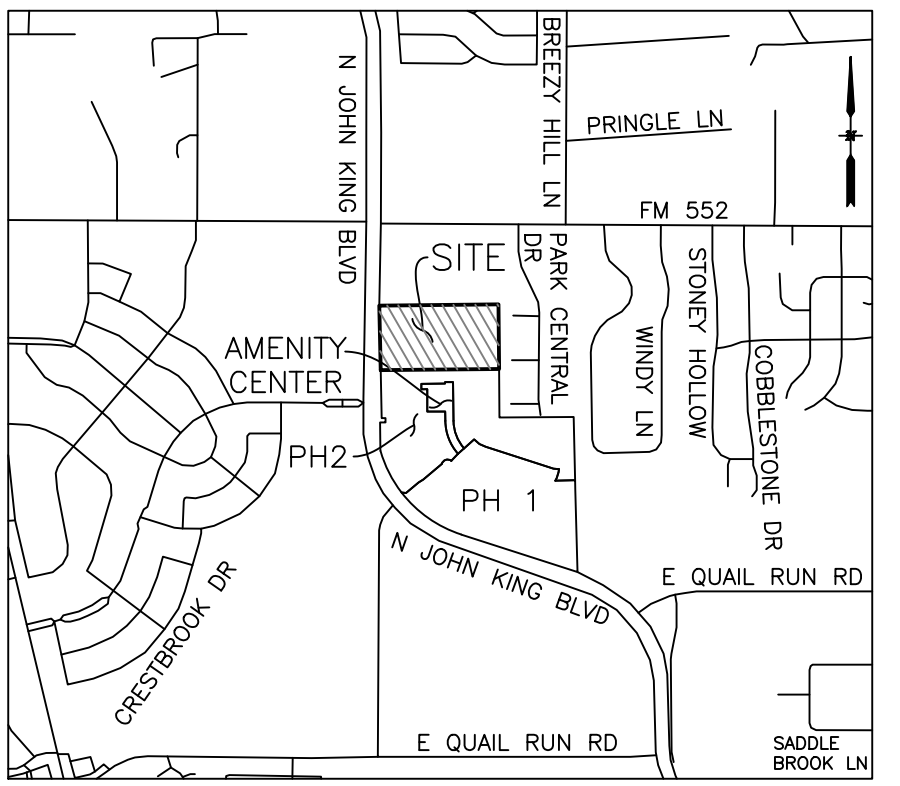
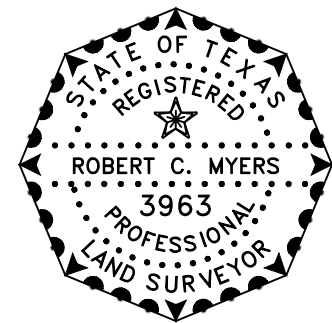
MICHAEL & STACY MILLER
INST. NO. 2017000011122
D.R.R.C.T.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.
GIVEN UNDER MY HAND AND SEAL THIS ___ DAY OF _____, 2020.

Preliminary, this document shall not be recorded for any purpose and shall not be used or relied upon as a final survey document. This preliminary plat is released on November 12, 2020 for review by the City and other parties for comments and progression to an approved Preliminary Plat.

ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963



VICINITY MAP
N.T.S.

REVIEWED FOR PRELIMINARY APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED FOR PREPARATION OF FINAL PLAT

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

LEGEND

IRF	IRON ROD FOUND
B.L.	BUILDING SETBACK LINE
CM	CONTROL MONUMENT
D.E.	DRAINAGE EASEMENT
HOA	HOMEOWNERS ASSOCIATION
S.V.E.	20'-20' SIDEWALK AND VISIBILITY EASEMENT
U.E.	UTILITY EASEMENT
P.R.R.C.T.	PLAT RECORDS ROCKWALL COUNTY, TEXAS
D.R.R.C.T.	DEED RECORDS ROCKWALL COUNTY, TEXAS

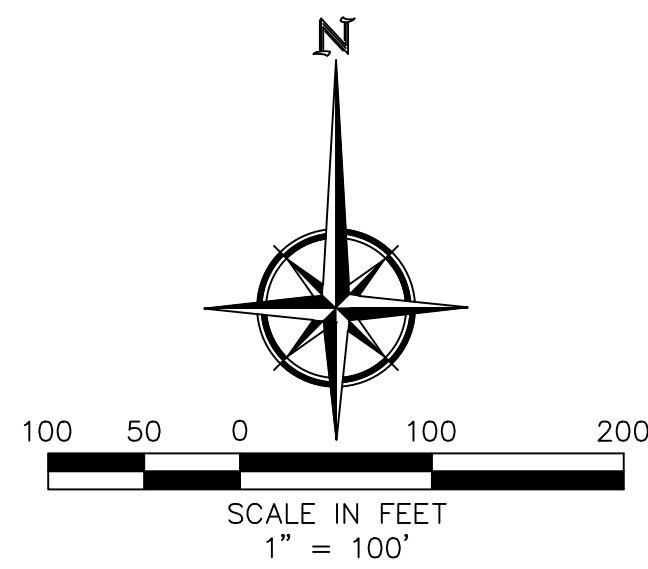
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LINE TABLE

NO.	DIRECTION	DISTANCE
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CURVE TABLE

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
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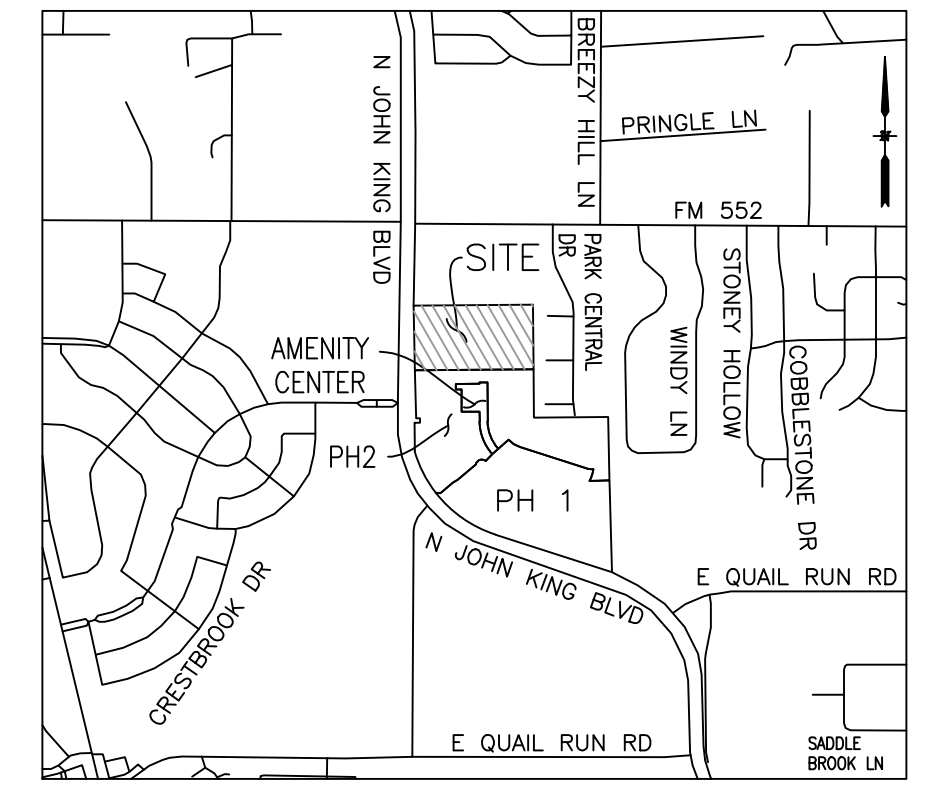
ZONING DISTRICT: PD
OPEN SPACE = 2.853 AC.
33 DWELLING UNITS
2.20 UNITS PER ACRE

OWNERS
CDT ROCKWALL/2017, LLC
6925 FM 2515
KAUFMAN, TX 75142

DEVELOPER
HINES
2200 ROSS AVE., SUITE 4200W
DALLAS, TX 75201
(214) 716-2900

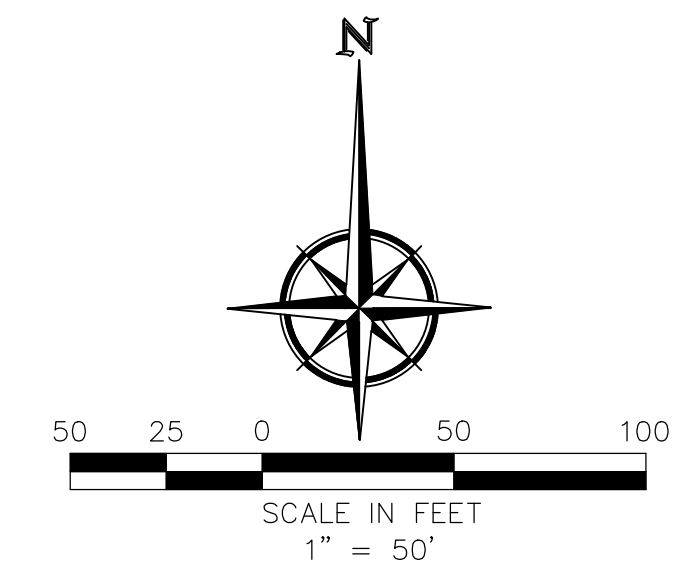
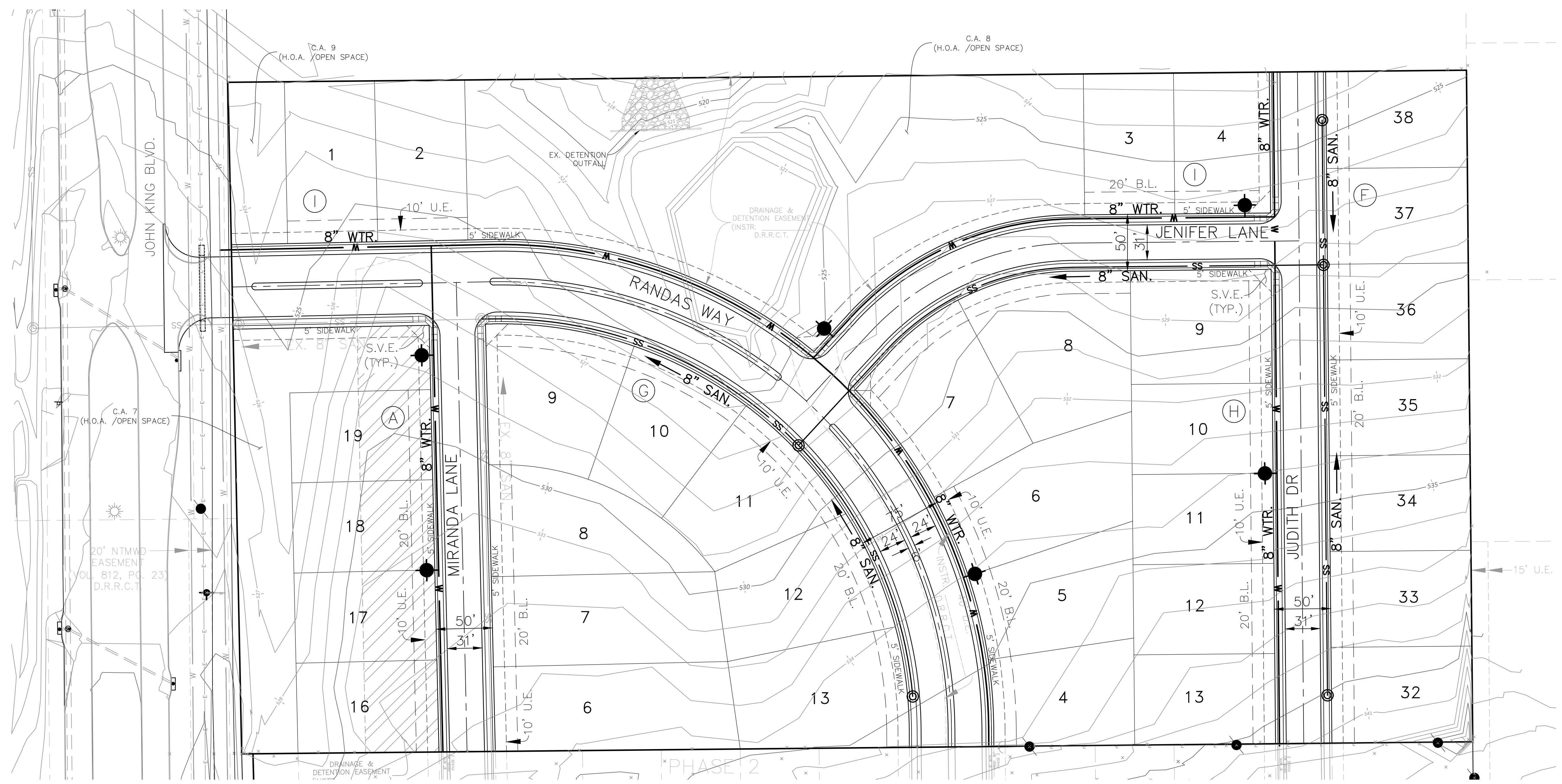
LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 355

PRELIMINARY PLAT
**SADDLE STAR
ESTATES SOUTH
PHASE THREE**
33 SINGLE FAMILY LOTS
3 COMMON AREA TRACT
14.995 ACRES
SITUATED IN THE
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TEXAS FIRM REG. NO. 001145
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(972) 941-8400 FAX (972) 941-8401



VICINITY MAP
N.T.S.

LEGEND	
	PROPOSED WATER LINE
	PROPOSED SANITARY LINE
	R.O.W. CENTER LINE
	R.O.W. LINE
	PROP. FIRE HYDRANT
	PROP. SANITARY MANHOLE



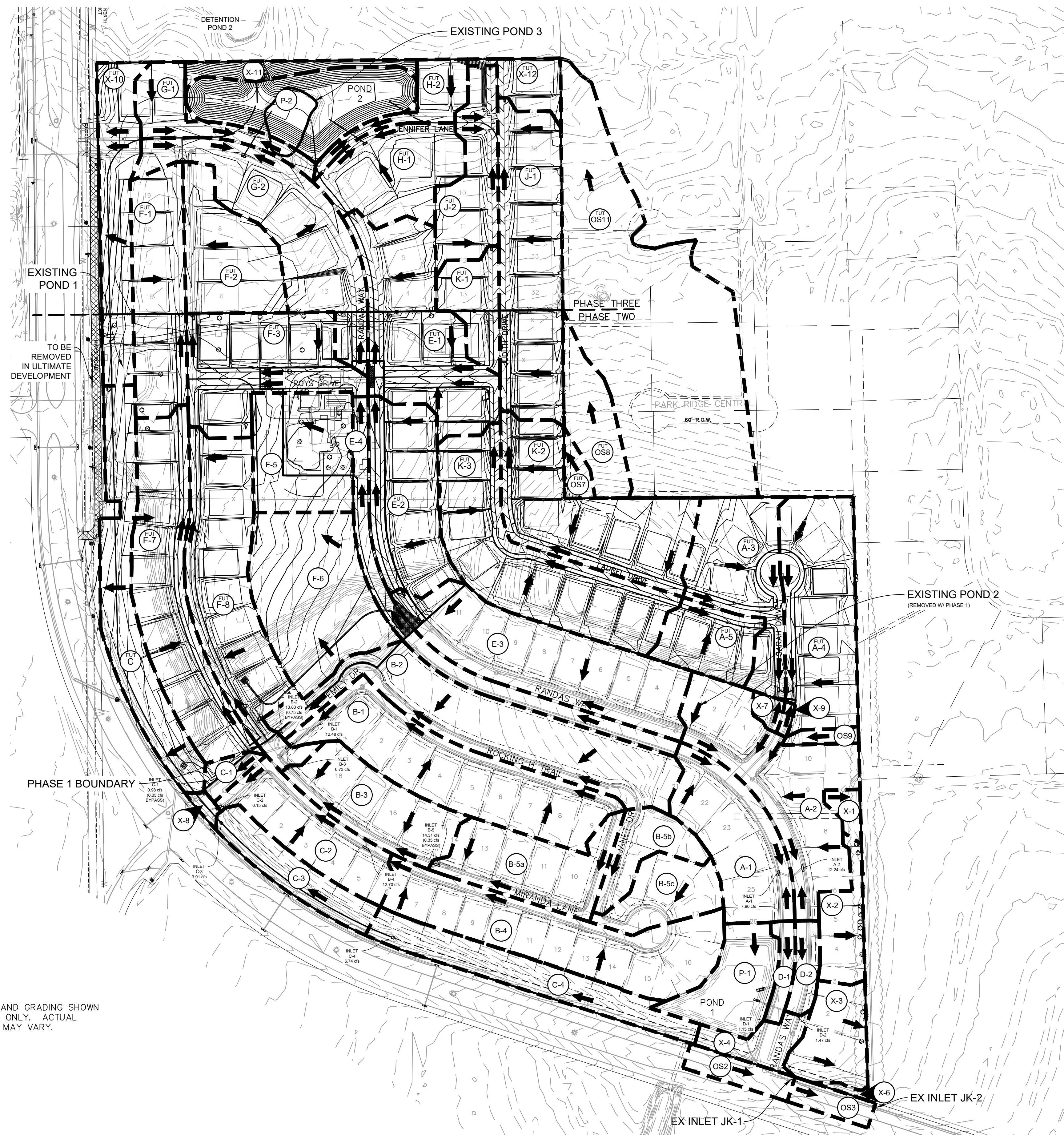
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EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 355

PRELIMINARY UTILITY PLAN
**SADDLE STAR
ESTATES SOUTH
PHASE THREE**
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3 COMMON AREA TRACT
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*FUTURE POND AND GRADING SHOWN FOR REFERENCE ONLY. ACTUAL FUTURE DESIGN MAY VARY.

140 70 0 140 280
SCALE IN FEET
1" = 140'

LEGEND

- DRAINAGE AREA BOUNDARY
- 560- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- (D) EXISTING DRAINAGE AREA

Ultimate Drainage Area Calculations							
Drainage Area	Area (AC)	Tc (min)	C	K	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Description
A-1	1.63	10.00	0.50	1.00	9.80	7.96	TO POND 1
A-2	2.36	10.00	0.50	1.00	9.80	11.57	TO POND 1
FUT A-3	1.64	10.00	0.50	1.00	9.80	8.04	TO POND 1
FUT A-4	2.16	10.00	0.50	1.00	9.80	10.56	TO POND 1
FUT A-5	0.83	10.00	0.50	1.00	9.80	4.06	TO POND 1
B-1	2.55	10.00	0.50	1.00	9.80	12.49	TO POND 2
B-2	2.73	10.00	0.50	1.00	9.80	13.36	TO POND 2
B-3	1.37	10.00	0.50	1.00	9.80	6.73	TO POND 2
B-4	2.57	10.00	0.50	1.00	9.80	12.61	TO POND 2
B-5a	1.41	10.00	0.50	1.00	9.80	6.91	TO POND 2
B-5b	0.66	10.00	0.50	1.00	9.80	3.22	TO POND 2
B-5c	0.82	10.00	0.50	1.00	9.80	4.01	TO POND 2
FUT C	1.80	10.00	0.50	1.00	9.80	8.82	TO POND 2
C-1	0.20	10.00	0.50	1.00	9.80	0.98	TO POND 2
C-2	1.26	10.00	0.50	1.00	9.80	6.15	TO POND 2
C-3	0.80	10.00	0.50	1.00	9.80	3.91	TO POND 2
C-4	1.33	10.00	0.50	1.00	9.80	6.50	TO POND 2
D-1	0.23	10.00	0.50	1.00	9.80	1.15	TO POND 1
D-2	0.30	10.00	0.50	1.00	9.80	1.47	TO POND 1
FUT E-1	2.44	10.00	0.50	1.00	9.80	11.96	TO POND 2
FUT E-2	1.70	10.00	0.50	1.00	9.80	8.33	TO POND 2
E-3	2.62	10.00	0.50	1.00	9.80	12.82	TO POND 2
E-4	1.11	10.00	0.50	1.00	9.80	5.46	TO POND 2
FUT F-1	1.66	10.00	0.50	1.00	9.80	8.12	TO POND 2
FUT F-2	1.40	10.00	0.50	1.00	9.80	6.85	TO POND 2
FUT F-3	1.99	10.00	0.50	1.00	9.80	9.74	TO POND 2
F-5	1.55	10.00	0.50	1.00	9.80	7.59	TO POND 2
F-6	2.14	10.00	0.50	1.00	9.80	10.49	TO POND 2
FUT F-7	2.46	10.00	0.50	1.00	9.80	12.04	TO POND 2
FUT F-8	2.59	10.00	0.50	1.00	9.80	12.67	TO POND 2
FUT G-1	0.55	10.00	0.50	1.00	9.80	2.70	TO POND 2
FUT G-2	2.36	10.00	0.50	1.00	9.80	11.56	TO POND 2
FUT H-1	1.42	10.00	0.50	1.00	9.80	6.93	TO POND 2
FUT H-2	0.55	10.00	0.50	1.00	9.80	2.70	TO POND 2
FUT J-1	2.52	10.00	0.50	1.00	9.80	12.35	TO NORTH BYPASS
FUT J-2	1.13	10.00	0.50	1.00	9.80	5.53	TO NORTH BYPASS
FUT K-1	0.68	10.00	0.50	1.00	9.80	3.33	TO POND 2
FUT K-2	2.37	10.00	0.50	1.00	9.80	11.59	TO POND 2
FUT K-3	2.70	10.00	0.50	1.00	9.80	13.23	TO POND 2
P-1	0.99	10.00	0.50	1.00	9.80	4.87	TO POND 1
P-2	1.68	10.00	0.50	1.00	9.80	8.22	TO POND 2
X-1	0.16	10.00	0.50	1.00	9.80	0.80	TO GIDEON
X-2	0.61	10.00	0.50	1.00	9.80	3.00	TO GIDEON
X-3	0.84	10.00	0.50	1.00	9.80	4.12	TO GIDEON
X-4	0.44	10.00	0.50	1.00	9.80	2.18	TO JOHN KING (POND 1 BYPASS)
X-6	0.05	10.00	0.50	1.00	9.80	0.23	TO JOHN KING (POND 1 BYPASS)
X-7	0.11	10.00	0.50	1.00	9.80	0.55	TO POND 1 (FUT A-3)
X-8	0.08	10.00	0.50	1.00	9.80	0.37	TO JOHN KING (POND 2 BYPASS)
X-9	0.05	10.00	0.50	1.00	9.80	0.22	TO POND 1 (FUT A-4)
FUT X-10	1.44	10.00	0.50	1.00	9.80	7.07	POND 2 BYPASS
X-11	0.39	10.00	0.50	1.00	9.80	1.91	POND 2 BYPASS
FUT X-12	0.44	10.00	0.50	1.00	9.80	2.16	TO OFFSITE NORTH
OS2	0.36	10.00	0.90	1.00	9.80	3.20	TO JOHN KING
OS3	0.28	10.00	0.90	1.00	9.80	2.49	TO JOHN KING
FUT OS7	0.18	10.00	0.50	1.00	9.80	0.86	TO PARK RIDGE, THEN AREA FUT K-2
FUT OS8	0.84	10.00	0.50	1.00	9.80	4.13	TO PARK RIDGE, THEN AREA FUT J-1
OS9	0.14	10.00	0.50	1.00	9.80	0.67	TO A-2
FUT OS11	5.93	10.00	0.50	1.00	9.80	29.06	TO PARK RIDGE, THEN AREA FUT X-12

* ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CAUTION! EXISTING UTILITIES
CONTRACTOR SHOULD CALL 1-800-086-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

BENCHMARK:
BM#1 (#102)
CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
ELEVATION = 531.58

BM#3 (#106)
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.
ELEVATION = 557.33'

ENGINEERINGCONCEPTS & DESIGN, L.P.

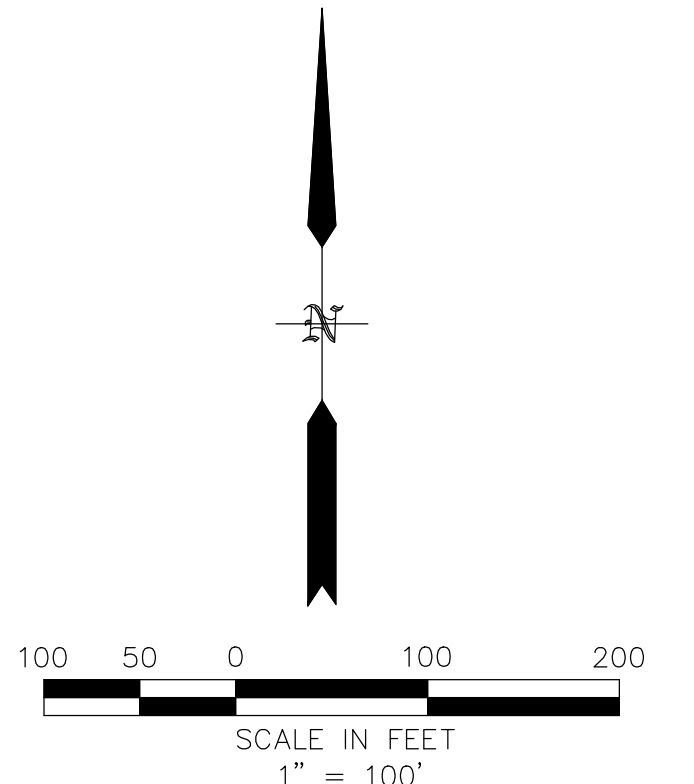
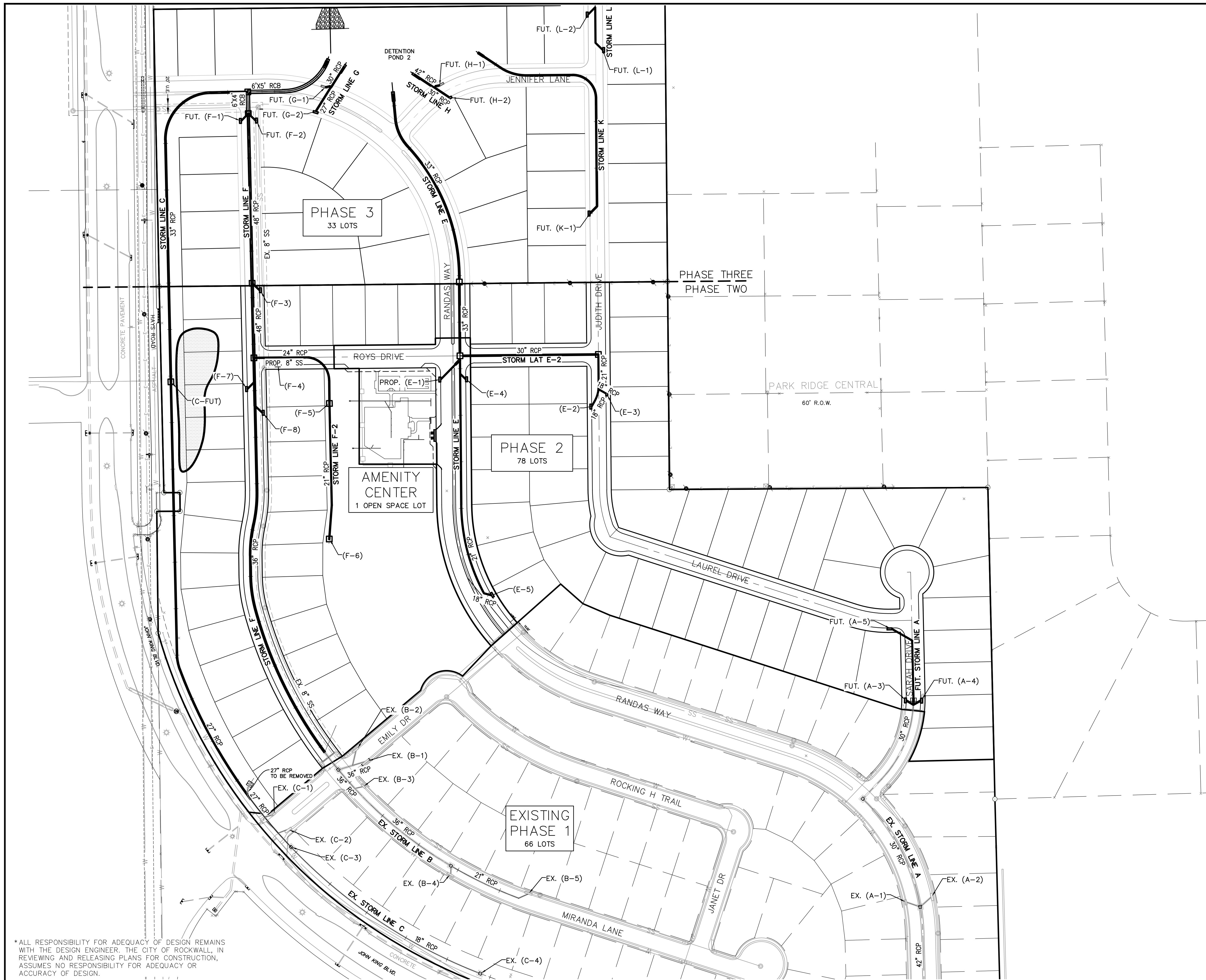
ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:

DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 11/12/2020
PROJECT NO.: 06824-3	
DWG FILE NAME: 06824-3 PRELIM DA.DWG	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF RYAN C. KING, P.E. (123635) ON 11/12/2020. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING.

ULTIMATE DRAINAGE PLAN
SADDLE STAR SOUTH
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



LEGEND	
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	RETAINING WALL
	FUTURE STORM LINE
	EXISTING STORM LINE

ALL STORM THIS SHEET EXISTING OR FUTURE AND IS FOR REFERENCE ONLY .

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 BM#1 (#102)
 CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
 ELEVATION = 531.58

BM#3 (#106)
 CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.
 ELEVATION = 557.33'

ENGINEERINGCONCEPTS & DESIGN, L.P.

ENGINEERING / PROJECT MANAGEMENT /
 CONSTRUCTION SERVICES - FIRM REG. #F-001145
 201 WINDCO CIR, STE 200, WYLIE, TX 75098
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:	
DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 11/12/2020
PROJECT NO.: 06824-3	
DWG FILE NAME: 06824-3 PRELIM ST.DWG	

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ULTIMATE DRAINAGE PLAN

SADDLE STAR SOUTH
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

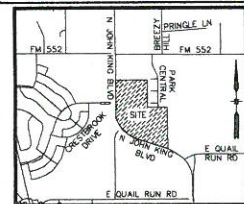
SHEET
 2
 OF
 2

NO.	DIRECTION	DISTANCE
L1	N 87°36'44" E	50.00'
L2	N 0°36'37" W	40.00'
L3	S 87°38'03" W	34.29'

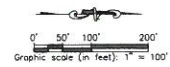
STONE CREEK SF, LTD
VOLUME 5011, PAGE 9

CITY OF ROCKWALL
STONE CREEK PHASE VI
CABINET L, PAGE 181

JOHN KING BOULEVARD
(APPARENT 120' RIGHT-OF-WAY)



VICINITY MAP
NOT TO SCALE



NOTE: DETENTION TO BE PROVIDED PER CITY OF ROCKWALL DRAINAGE SPECIFICATIONS AND STANDARDS.

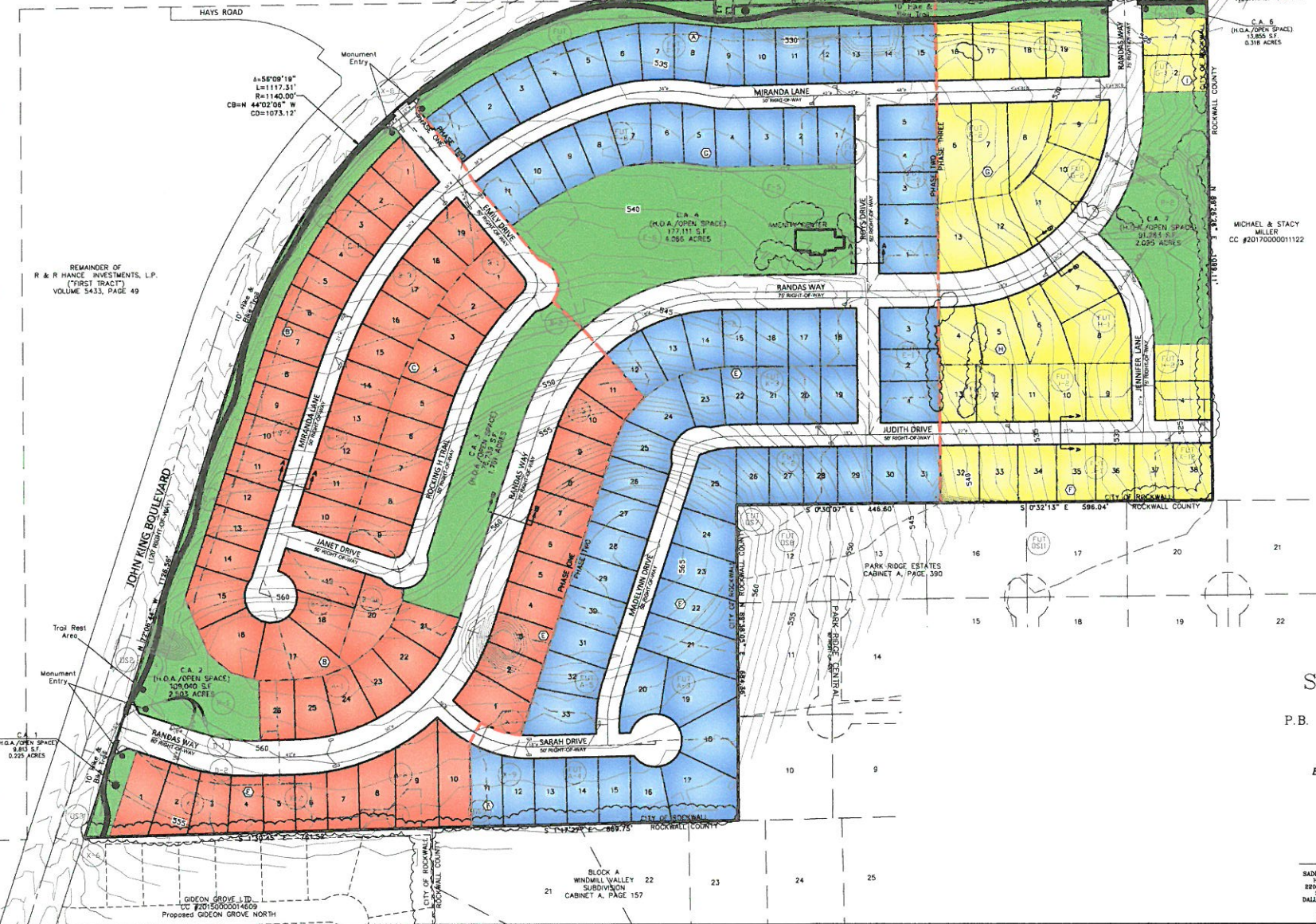
- PHASING DATA**
- PHASE ONE ~ 66 LOTS
 - PHASE TWO ~ 77 LOTS
 - PHASE THREE ~ 33 LOTS
 - COMMON AREA/H.O.A. ~ 7 LOTS

**SADDLE STAR SOUTH STATEMENT OF SERVICE
MASTER PLAN
03/27/2020**

-THE SITE CURRENTLY DRAINS OVERLAND TO THE THOMPSON BRANCH TO THE NORTH OF THE PROPOSED DEVELOPMENT NEAR WHERE IT CROSSES UNDER JOHN KING BOULEVARD. DETENTION AND/OR RETENTION WILL BE UTILIZED TO CONTROL THE FLOW.

LAND USE DATA

TOTAL AREA ~ 70.408 ACRES / 3,068,972 SQ. FT.
TOTAL OPEN SPACE ~ 14,220 ACRES / 619,436 SQ. FT.
LOT TYPE "A" ~ 70 x 120'
LOT TYPE "B" ~ 80 x 120'
TOTAL LOTS ~ 178
DENSITY ~ 2.48 DWELLING UNITS / ACRE
ZONED PLANNED DEVELOPMENT DISTRICT NO. 79



MASTER PLAT/OPEN SPACE PLAN
SADDLE STAR SOUTH
PLANNED DEVELOPMENT DISTRICT 79
70.408 ACRES SITUATED IN THE
P.B. HARRISON SURVEY, ABSTRACT No. 97
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

ENGINEERING CONCEPTS & DESIGN L.P.
ENGINEERING / SURVEYING / PROJECT MANAGEMENT
201 WINDCO CIRCLE, SUITE 200, WYLLIE, TX 75098
(972) 941-8400

DEVELOPER
K P A CONSULTING, INC.
3076 HAYS LAKE ROCKWALL, TEXAS 75087
PLAT ATTACHED: 023-288-0383

OWNERS

SADDLE STAR SOUTH HOLDINGS LLC 2910 BRUSH AVENUE SUITE 400W DALLAS, TEXAS 75201	COTY ROCKWALL/2017 LLC 8025 P.M. 2018 KAUFMAN, TEXAS 75142	GREENDOLYN REED 3076 HAYS LAKE ROCKWALL, TEXAS 75087
--	--	--

DATE: January 27, 2020 SHEET 1 OF 1

2020-047

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: P2020-049
PROJECT NAME: Preliminary Plat for Lots 1-6, Block A, Blackland Industrial Park
SITE ADDRESS/LOCATIONS: 3500 BLACKLAND RD, ROCKWALL COUNTY

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	11/20/2020	Needs Review

11/20/2020: P2020-049; Preliminary Plat for Lots 1-6, Block A, Blackland Industrial Park Addition - ETJ
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for Lots 1-6, Block A, Blackland Industrial Park Addition being a 10.27-acre tract of land identified as Tract 3-04 of the A. M. Wilson Survey, Abstract No. 223, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 3500 Blackland Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2020-049) in the lower right-hand corner of all pages of all revised plan submittals.

I.4 This project is subject to all requirements stipulated by Chapter 38, Subdivisions of the Code of Ordinances of The City of Rockwall and the Interim Interlocal Cooperation Agreement for Subdivision Regulation between Rockwall County and the City of Rockwall (ILA). (§04.01, Art. 11, UDC)

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.6 Correct Title Block to read as follows:

Preliminary Plat
Blackland Industrial Park Addition
Lots 1-5, Block A and Lot 1, Block X
Being 10.27-Acres of Land
Out of the A.M. Wilson Survey, Abstract No. 223
Situated within the Extraterritorial Jurisdiction (ETJ)
of the City of Rockwall, Rockwall County, Texas

[Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]

M.7 A Vicinity Map should show the boundaries of the proposed subdivision relative to the rest of the city. Provide a vicinity map on the preliminary plat. (§04.01, Art. 11, UDC)

M.8 Plats should be drawn to an Engineering Scale of 1"=50', 1"=100', etc. Correct scale/drawing, plat not scaled properly. (§04.01, Art. 11, UDC)

M.9 Identification of each lot and block by number or letter (e.g. Lot 1, Block A). Also, the detention pond (i.e. Lot 6) should be Lot 1, Block X to differentiate from the buildable lots. For each lot indicate the square footage and acreage (or provide a calculation sheet). Verify lot size meeting County standards for OSSF. (§04.01, Art. 11, UDC)

M.10 Label the building lines where adjacent to a street according to Rockwall County standards. (Exhibit 'A', ILA)

M.11 Label all proposed (and existing streets) with the proposed street names for approval by the GIS Department. (§04.01, Art. 11, UDC)

M.12 Label the right-of-way width and street centerline for each street both within and adjacent to the development. (Exhibit 'A', ILA)

M.13 Show all drainage areas and all proposed storm drainages areas with sizes if applicable. [Section 38-8, of Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]

M.14 Is the proposed 60-ft ROW shown on the exhibit a private road or a county road? If this is a private road, provide a label for the private road indicating Lot 2, Block X, as this would need to be tied down as a separate lot. (§04.01, Art. 11, UDC)

M. 15 Please refer to the Checklist for Plat Submittals as found in the Interim Interlocal Cooperative Agreement for Subdivision Regulation (ILA) document and make the following corrections and/or provide a statement for each of the following items: (Exhibit 'A', ILA)

a) Provide a detailed statement of how the proposed subdivision will be served by water, wastewater, roadway and drainage facilities that have adequate capacity to serve the development. (Exhibit 'C', ILA)

b) Indicate water sources inside the extraterritorial jurisdiction (ETJ). Provide a Will Serve Letter from Blackland Water Supply Company. (Section (4)(a)(1), Adequate Public Utilities (Water), Exhibit 'A', ILA)

c) Rockwall County to review and approve the sewage disposal method. Additionally, there are lots depicted that are less than the required 1 ½ acre size standard for OSSF within the County. (Section (4)(a)(2), Adequate Public Utilities (Wastewater), Exhibit 'A', ILA)

M.16 Adequate public facilities policy. "Adequate service for areas proposed for development. Land proposed for development in the city and in the city's extraterritorial jurisdiction must be served adequately by essential public facilities and services, including water facilities, wastewater facilities, roadway and pedestrian facilities, drainage facilities and park facilities. Land shall not be approved for platting or development unless and until adequate public facilities necessary to serve the development exist or provision has been made for the facilities, whether the facilities are to be located within the property being developed or offsite." (Section 38-5(d)(1), Policy, Municipal Code of Ordinances)

I.17 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff by December 1, 2020, and provide any additional information that is requested. Once all revisions have been completed, please provide two (2) large copies and one PDF version for a subsequent/final review by staff.

I.18 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on November 24, 2020
- 2) Planning & Zoning Regular meeting will be held on December 8, 2020
- 3) City Council meeting will be held on December 21, 2020

I.19 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Planning and Zoning Commission or the City Council may have regarding your request. All meetings will be held in person in the City's Council Chambers, and will begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Needs Review
11/18/2020: M - Detention must owned, maintained, and repaired by the HOA or lot owner.			

- M - Blackland Rd. is a future 60-ft ROW minor collector. Must dedicate half of 60-ft ROW.
- M - Residential Road shall have horizontal curve and meet minimum residential street centerline radius of 250-ft.

The following items are for your information for the engineering design process.

General Items:

- I - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- I - 10' Utility Easement required along all street ROW.
- I - Minimum 20' x20' Sidewalk and visibility easement clips at all intersecting residential to residential streets.

Drainage Items:

- I - No walls allowed in detention.
- I - Can't increase flow leaving site. Detention may be required to prevent increase in flow leaving site. No detention allowed in floodplain.
- I - Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- I - Manning's C-value is per zoning type.
- I - Must get a WOTUS study for the ponds on site.
- I - No lot to lot drainage allowed.
- I - For creek/draw on the south property line draining from east to west. Need to define the localized 100-year flood plain. To be dedicated in a drainage easement to be maintained by property owner. H&H study must be done along with associated review fees paid to the City.

Water and Wastewater Items:

- I - Must show existing and proposed utilities for the project.
- I - Must install 12" WL along Blackland Rd. per Water master plan.
- I - Must loop 8" water line on site.
- I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)
- I - Must have septic systems for each lot. Rockwall County requires lots to be 1.5 acres each.
- I - Blackland Water Supply does not have any additional meters to give. The City will not approve any permits until the water service is available.

Roadway Paving Items:

- I - All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- I - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- I - Cul-de-sacs or eyebrow paving must have 57.5' radius for the ROW and 47.5' radius for paving minimum.

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- I - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	David Gonzales	11/20/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/18/2020	Approved w/ Comments

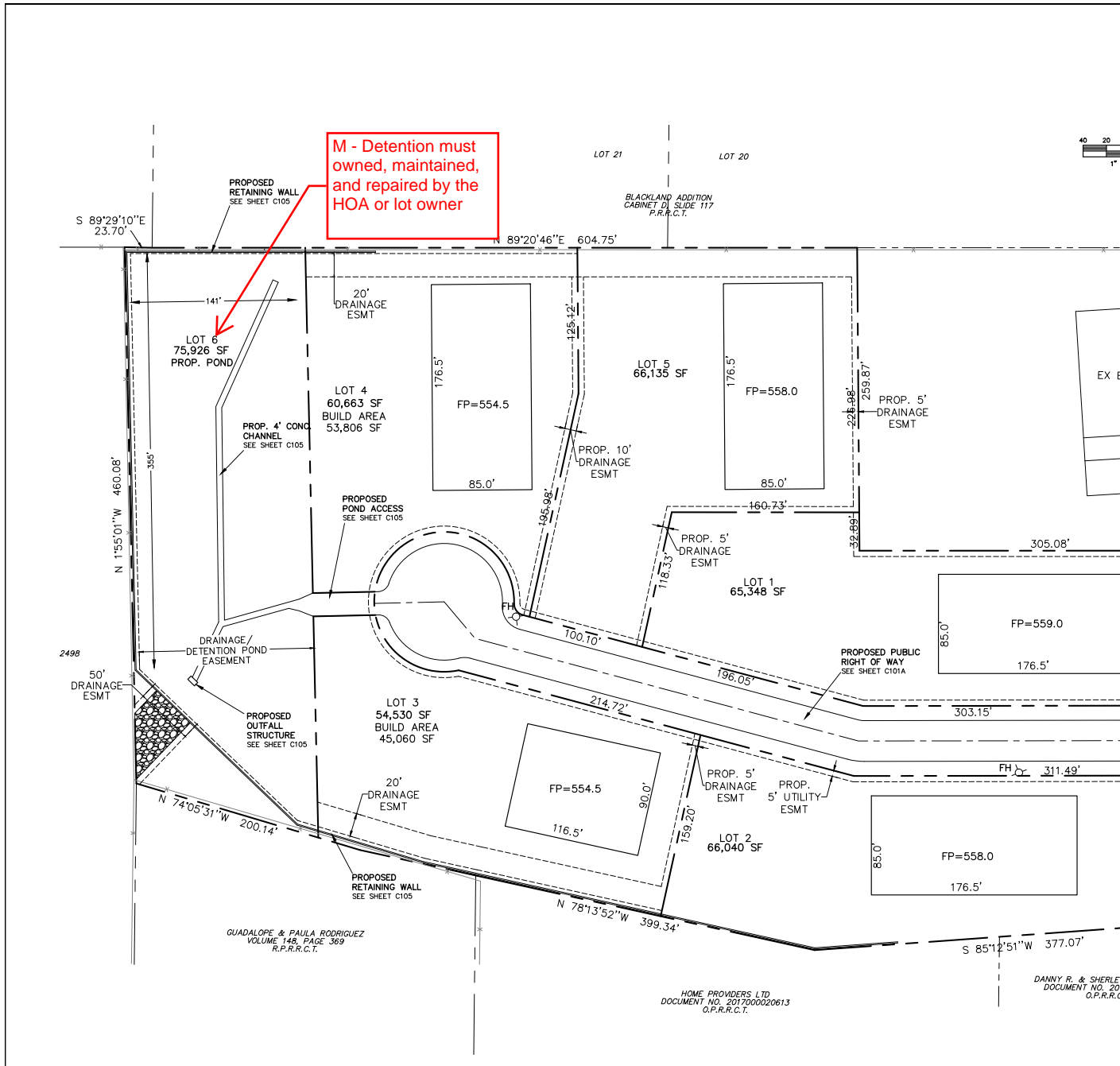
11/18/2020: Please send proposed street name for review and supply cad (.dwg) of lot lines and road centerline (State Plane Coordinates NCTX4202)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	11/20/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	David Gonzales	11/20/2020	N/A

11/16/2020: No comments



M - Detention must owned, maintained, and repaired by the HOA or lot owner

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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 3500 Blackland Rd. Royse City, TX 75189
 Subdivision _____ Lot _____ Block _____
 General Location Blackland + 276

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Commercial Current Use Raw land / Salvage
 Proposed Zoning _____ Proposed Use Industrial
 Acreage 10.27 Lots [Current] 1 Lots [Proposed] 5

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner REP Investments LLC Applicant _____
 Contact Person Danielle Porter Contact Person _____
 Address 260 Myers Rd Address _____
 City, State & Zip Heath, TX 75032 City, State & Zip _____
 Phone 214-293-2826 Phone _____
 E-Mail Danielle@rdwirelessllc.com E-Mail _____

NOTARY VERIFICATION [REQUIRED]

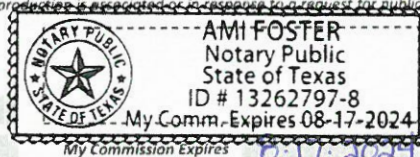
Before me, the undersigned authority, on this day personally appeared Danielle Porter [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct, and the application fee of \$ 354.09 to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of November, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is requested or is necessary to request for public information."

Given under my hand and seal of office on this the 12th day of November, 2020.

Owner's Signature Danielle Porter

Notary Public in and for the State of Texas Ami Foster





DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
 - MINOR/AMENDING PLAT.
 - MASTER PLAT.
 - PRELIMINARY PLAT.
 - FINAL PLAT.
 - REPLAT.
 - VACATION PLAT.

Staff requires four (4), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:

- ONE (1) PDF COPY OF THE PLAT
- ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items:

- SITE PLAN.
- LANDSCAPE PLAN.
- TREESCAPE PLAN.
- PHOTOMETRIC PLAN.
- BUILDING ELEVATIONS.

Staff requires the submittal of four (4) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.


- BUILDING MATERIAL SAMPLE BOARD. See the *Material Sample Board Design Guidelines* in this development packet.
- VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.
- APPLICATION AND APPLICATION FEE.

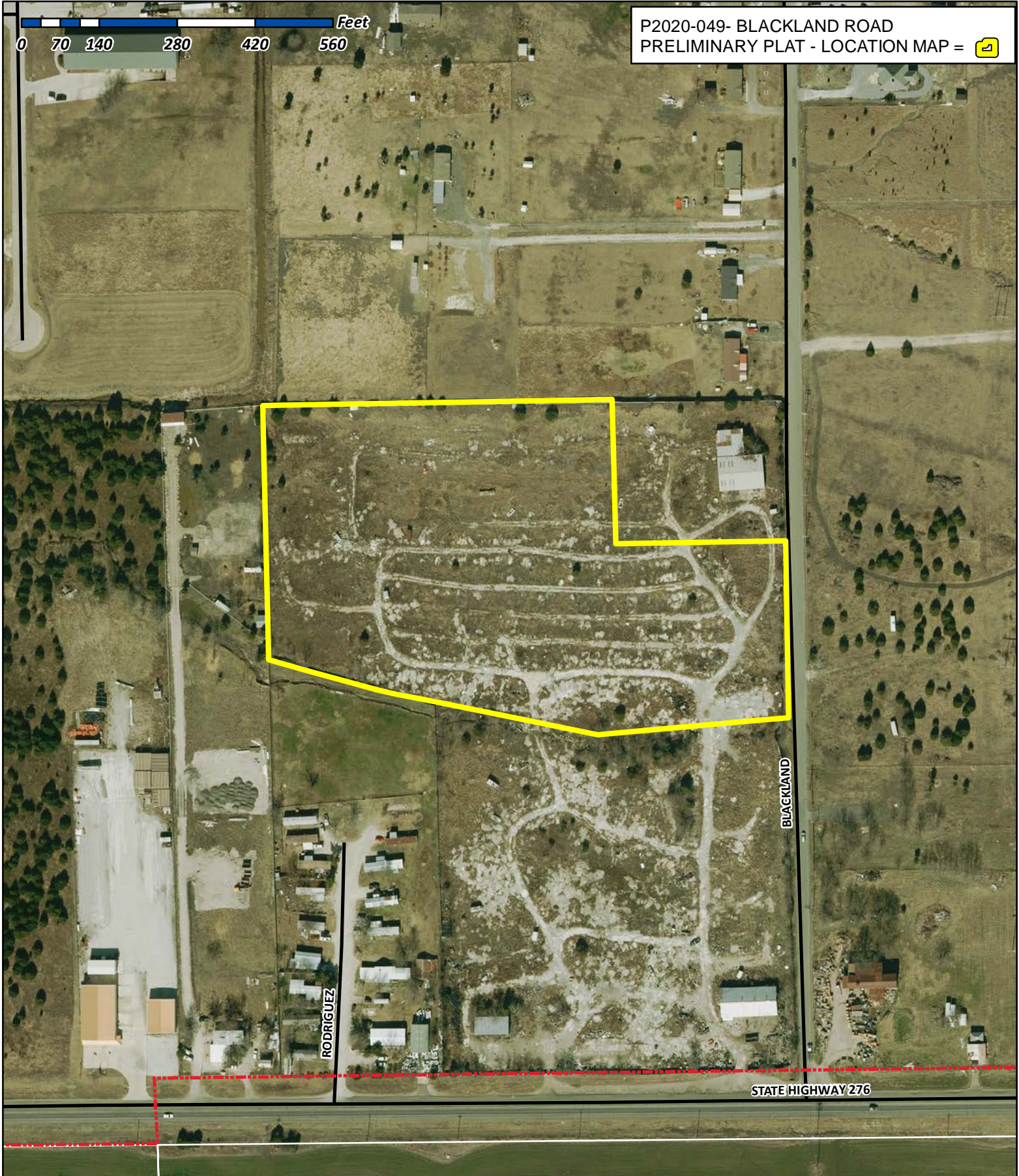
ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires four (4), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.

0 70 140 280 420 560 Feet

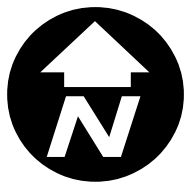
P2020-049- BLACKLAND ROAD
PRELIMINARY PLAT - LOCATION MAP = 

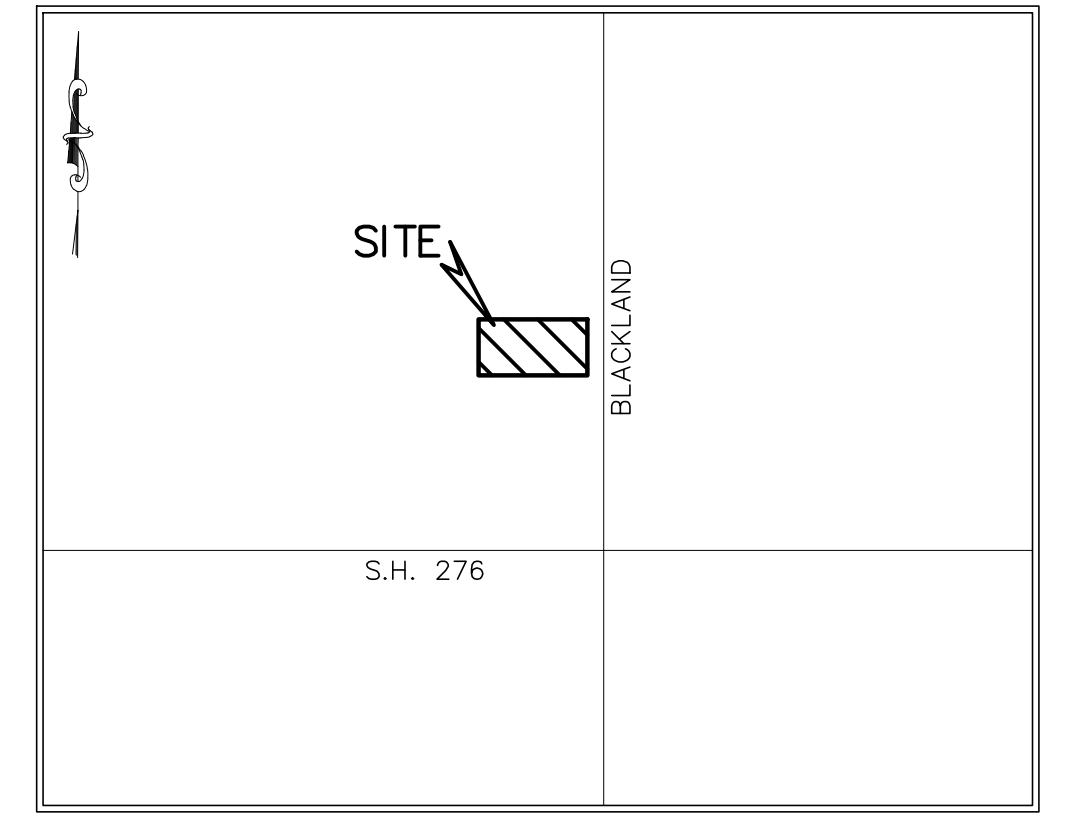
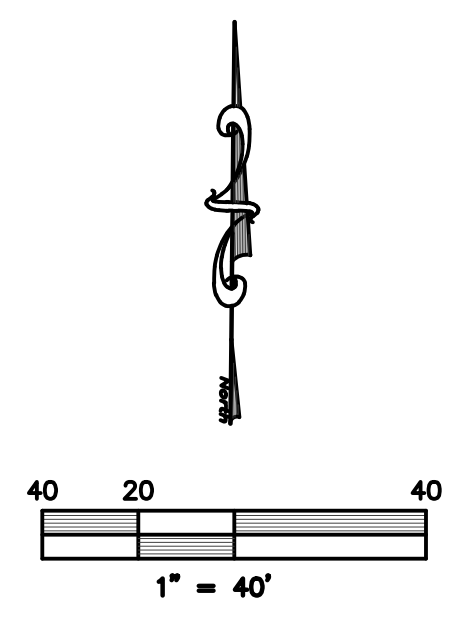


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





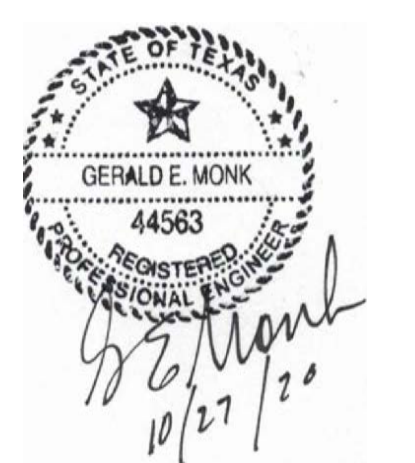
VICINITY MAP
NOT TO SCALE

LEGEND

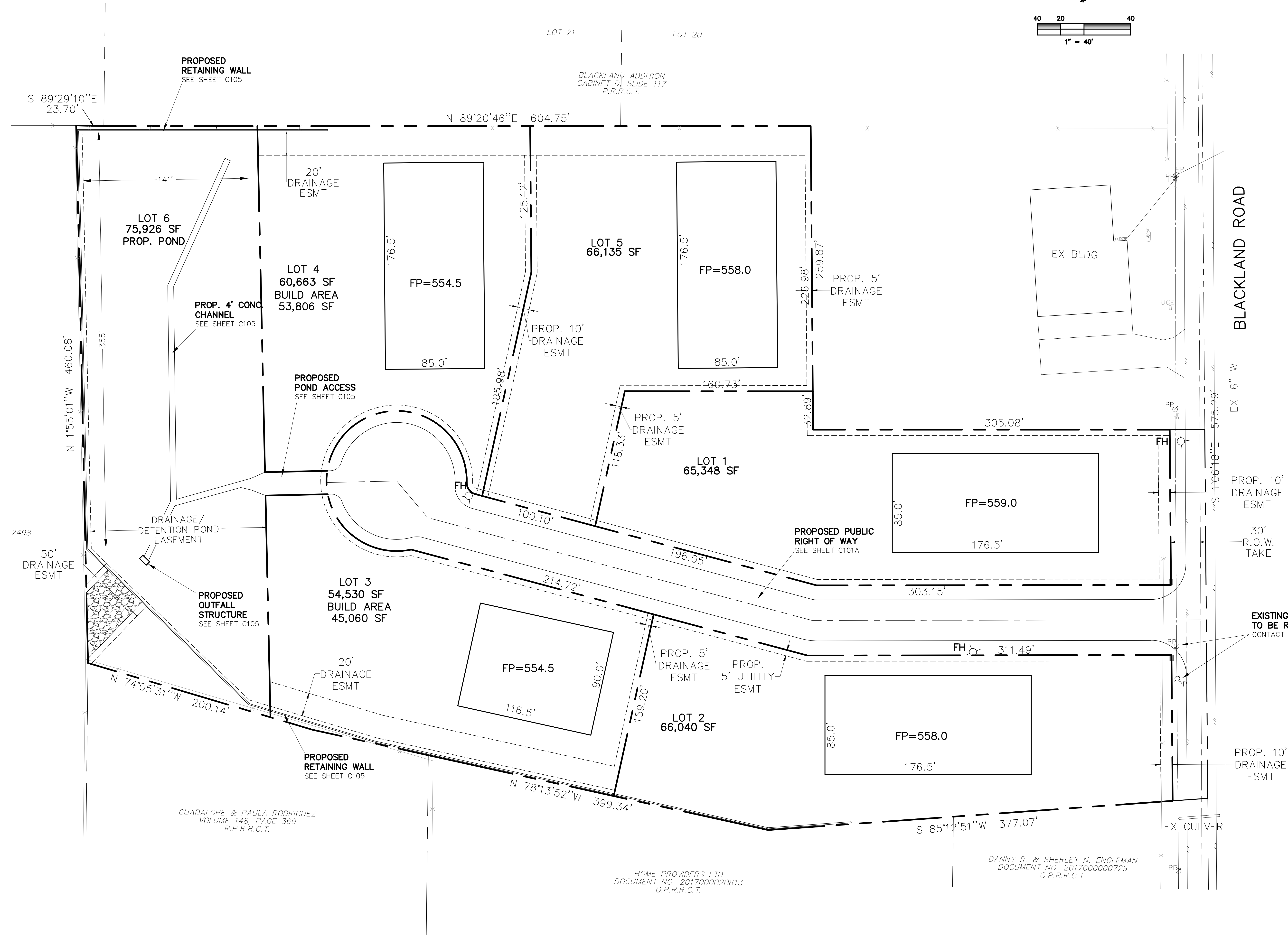
- = PROPERTY LINE
- = EX. WATER
- = EX. POWER POLE
- = EX. TELEPHONE BOX
- = PROP. FIRE HYDRANT
- EXIST. or EX. = EXISTING
- ESMT. = EASEMENT

- NOTES:
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL PRIVATE DETAILS ARE SUPERSEDED BY STD. CITY DETAILS
 - 5) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



LOT LAYOUT BLACKLAND ADDITION		
ADDITION Lots 1-5, Blk A, 10.27 ACRES City of Royse City, Rockwall County, Texas		
owner R&D WIRELESS, LLC 751 Turtle Cove Blvd, Rockwall, Texas 75087 Contact: Danielle Porten 214 293-2826		
prepared by MONK CONSULTING ENGINEERS 1200 W. State Street, Garland Texas 75040 972 272-1763 Fax 972 272-8761		
© 2020 Monk Consulting Engineers, Inc., All Rights Reserved		
PROJECT NO.:	REG. NO.: F-2567	
date:	scale:	sheet:
10/27/20	1"=60'	C101

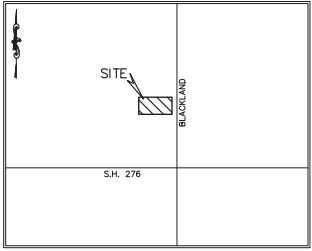
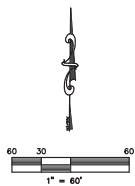


GUADALUPE & PAULA RODRIGUEZ
VOLUME 148, PAGE 369
R.P.R.R.C.T.

HOME PROVIDERS LTD
DOCUMENT NO. 2017000020613
O.P.R.R.C.T.

DANNY R. & SHERLEY N. ENGLEMAN
DOCUMENT NO. 2017000000729
O.P.R.R.C.T.

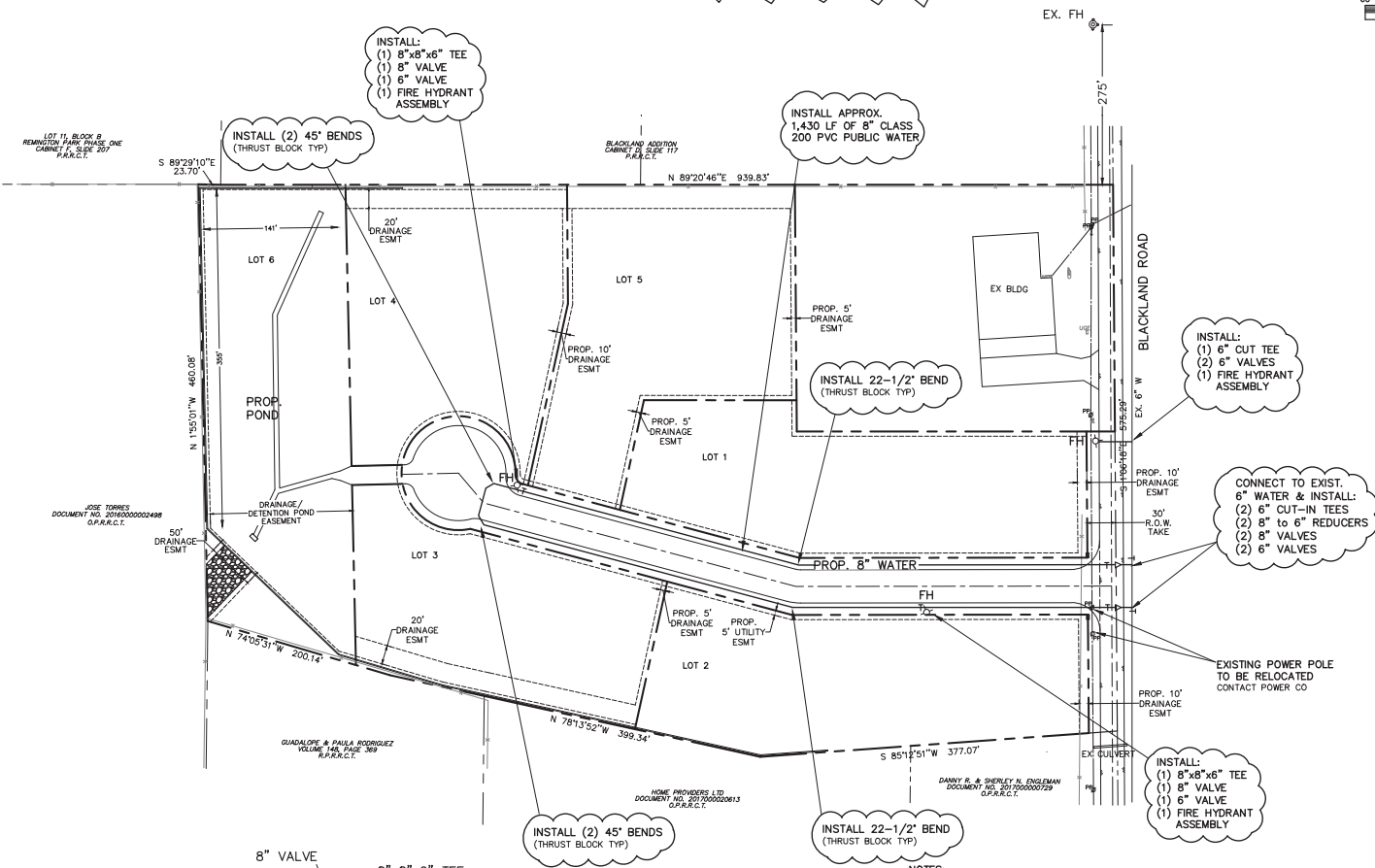
!!!! CAUTION !!!!
CALL 811 TO LOCATE
UNDERGROUND LINES
48 HRS PRIOR TO CONSTRUCTION



VICINITY MAP
NOT TO SCALE

LEGEND

- - - - - PROPERTY LINE
- - - - - EX. WATER
- EX. POWER POLE
- EX. TELEPHONE BOX
- ⊕ EX. FIRE HYDRANT
- ⊙ PROP. FIRE HYDRANT
- EXIST. or EX. = EXISTING
- ESMT. = EASEMENT



ONLY DRAWINGS STAMPED "RELEASED FOR
CONSTRUCTION" BY THE CITY OF ROCKWALL
TO BE USED FOR CONSTRUCTION.



SITE UTILITY PLAN

BLACKLAND ADDITION

ADDITION
Lots 1-5, Blk. A, 12.27 ACRES
City of Royse City, Rockwall County, Texas

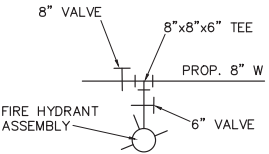
OWNER
R&D WIRELESS, LLC
751 Turtle Cove Blvd, Rockwall, Texas 75087
Contact: Danielle Forten 214 293-2826

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland, Texas 75040
972 272-1763 Fax 972 272-8761
© 2020 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.:	REG. NO. F-2567
DATE:	SCALE:
10/27/20	1"=60'
	SHEET:
	C102

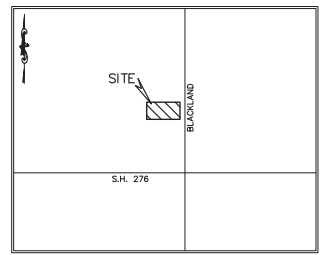
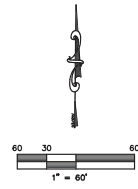
- NOTES:
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL WATER SERVICES MUST BE APPROVED & PERMITTED BY THE CITY OF ROCKWALL.
 - 5) CONTRACTOR TO INSTALL BLUE EMS DISKS ON THE WATER LINE AT EVERY CHANGE IN DIRECTION, VALVE, FIRE HYDRANT, AND SERVICE CONNECTION
 - 6) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT. BACKFLOW PREVENTION DEVICES MUST BE PLACED ON PRIVATE PROPERTY (NOT IN AN EASEMENT)
 - 7) PRIVATE UTILITIES TO BE MAINTAINED, REPAIRED, AND REPLACED BY PROPERTY OWNER.

NOTE:
ALL SANITARY SEWER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE IPC (INTERNATIONAL PLUMBING CODE), PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT BY A LICENSED PLUMBER.



FIRE HYDRANT CONNECTION
NOT TO SCALE

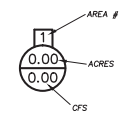
WATER LINE: DR14 C-900 CLASS 200



VICINITY MAP
NOT TO SCALE

LEGEND

- - - - - PROPERTY LINE
- 550 — EXISTING CONTOURS
- 550 — PROPOSED CONTOURS



ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



G. M. Monk
10/27/20

Present Conditions

DESIGN POINT NO.	RUNOFF COEFF.	AREA ACRES	TOTAL T.U.F.	Time of Concentration (Min)	Intensity (in/hr)	Discharge (cfs)	Intensity (in/hr)	Discharge (cfs)	Comments
11	0.05	1.55	0.24	20.00	0.80	0.20	4.00	unimproved/Other	
12	0.05	1.84	0.29	20.00	0.80	0.29	5.20	unimproved	
13	0.05	0.40	0.04	20.00	0.80	0.04	1.10	unimproved	
14	0.05	0.00	0.00	20.00	0.80	0.00	0.00	unimproved	
		10.000							

Developed

DESIGN POINT NO.	RUNOFF COEFF.	AREA ACRES	TOTAL T.U.F.	Time of Concentration (Min)	Intensity (in/hr)	Discharge (cfs)	Intensity (in/hr)	Discharge (cfs)	Comments
11	0.05	1.55	0.24	10.00	1.10	0.24	5.20	unimproved/Other	
12	0.05	1.84	0.29	10.00	1.10	0.29	6.50	unimproved	
13	0.05	0.40	0.04	10.00	1.10	0.04	1.00	unimproved	
14	0.05	0.00	0.00	10.00	1.10	0.00	0.00	unimproved	
		10.000							

DRAINAGE AREA MAP
BLACKLAND ADDITION

ADDITION
Lots 1-5, Blk. A, 12.27 ACRES
City of Royse City, Rockwall County, Texas

owner
R&D WIRELESS, LLC
751 Turtle Cove Blvd, Rockwall, Texas 75087
Contact: Danielle Forten 214 293-2826

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland, Texas 75040
972 272-1763 Fax 972 272-8761

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PROJECT NO.: _____ REG. NO.: F-2567
date: 10/27/20 scale: 1"=60' sheet: C103

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: SP2020-031
PROJECT NAME: Site Plan for a Medical Office & Daycare Facility
SITE ADDRESS/LOCATIONS: 710 E RALPH HALL PKWY

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	11/19/2020	Needs Review

11/19/2020: SP2020-031; Site Plan for Courtin Dental - Flagstone Corners Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a daycare facility and a medial office on a 1.743-acre tract of land identified as a portion of Lot 9, Block A, Flagstone Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 54 (PD-54) for Commercial (C) District land uses, situated at the southeast corner of the intersection of E. Ralph Hall Parkway and Mims Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (SP2020-031) in the lower right-hand corner of all pages of all revised plan submittals. (§03.04.A, Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), Planned Development District No. 54 (PD-54), and the Development Standards of Article 05, that are applicable to the subject property.

M.5 All pages of the site plan (i.e. photometric plan and building elevations, etc.) are required to have a signature block affixed to each plan for the Planning and Zoning Commission Chairman and the Director of Planning to sign once approved. (§03.04.A, Art. 11, UDC)

I.6 Please note that the property will require a replat prior to the issuance of a building permit. Additionally, the site plan must be approved, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

I.7 Signage Plan. Please note that all plans for signage must be submitted and approved through a separate permit with the Building Inspections Department. Contact Craig Foshee, Plans Examiner at cfoshee@rockwall.com for permitting requirements for your proposed sign(s).

M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

- 1) Provide a fence detail for all proposed fencing for the development. (§08.02.F, Art. 08, UDC)
 - 2) All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (Engineering Department).
 - 3) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure. Indicate location of these units and proposed screening (i.e. landscaping, etc.). (§01.05.C, Art. 05, UDC)
 - 4) Provide dumpster detail. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. (§01.05.B, Art. 05, UDC)
 - 5) Based on the building footprint for both structures, an exception to the horizontal articulation standards will be required. Please provided a letter of explanation for the associated exceptions and the compensatory measures justifying these exceptions/variances as required by the UDC for consideration. (§04.01.C.1, Art. 05, UDC)
- M.9 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

- 1) All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO). Indicate on plans compliance with this section. (§05.03.G, Art. 08, UDC)
- 2) Provide note on the plans indicating irrigation will meet the requirements of UDC on Sheet No. L1.1. (§05.04, Art. 08, UDC)

M.10 Photometric Plan. The submitted photometric plan was not reviewed by staff due to the plan not being updated with the site changes and re-orientation of the dental building. Provide an updated plan and keep in mind the following comments based on the previous plan when submitting:

- 1) No light pole, pole base or combination thereof shall exceed 20-feet. Provide detail. (PD-54)
- 2) The maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. Lighting levels on the old plan exceed this requirement for the north, east, and west property lines. Be sure to meet these standards when providing the new layout. (§03.03, Art. 07, UDC)

M.11 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

*All comments listed are required for both structures unless otherwise noted.

- 1) An exception to the horizontal articulation standards as listed below.
- 2) Provide each exterior material percentage calculation for each façade.
- 3) Verify and correct the directional labels for the Daycare for each building façade (i.e. South Elevation should be corrected to indicate North Elevation, etc.).
- 4) All signage requires a separate permit as indicated above.
- 5) Verify and label the architectural measurement/scale being used for both buildings.
- 6) Provide line measurements for each elevations that indicates the height, length, etc.
- 7) A minimum of 20% stone or cast stone shall be required for all buildings. The daycare facility does not include the stone on the exterior elevations. (Required per PD-54)

Based on the building elevation submittal, staff has identified the following that require approval of an exception(s) to the Unified Development Code (UDC) and Planned Development District 54 (PD-54):

- 1) Building Articulation. The proposed buildings do not meet the articulation standards established by the UDC and requires approval of an exception. Exception Required. (§04.01.C.1, Art. 05, UDC)
 - a. Dental Office – north and south elevations.
 - b. Daycare Facility – Primary entrance and both side elevations (i.e. north, east, and west elevations)

An applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. The applicant needs to provide a letter stating the justification for each exception requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested exceptions/variances requires approval of a supermajority vote for approval. Refer to Section 09, of Article 11, of the UDC for examples of compensatory measures.

- Please provided a letter of explanation for the associated variance and/or exceptions and the compensatory measures justifying these variances as required by the UDC for consideration.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on December 1, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 1, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 8, 2020 Planning & Zoning Meeting.

I.14 The Architectural Review Board (ARB) meeting will be held on November 24, 2020 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission.

I.15 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on November 24, 2020.
- 2) Architectural Review Board (ARB) meeting will be held on November 24, 2020.
- 3) Planning & Zoning meeting/public hearing meeting will be held on December 8, 2020.
- 4) Architectural Review Board (ARB) meeting will be held on December 8, 2020 (if required).

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 5:00 p.m. (ARB) and 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Needs Review

11/18/2020: M - 44'x15' "No Parking" area for dead end parking.

M - Sign must be 10' from right-of-way. There are 10' utility easements along each street.

M - Label driveway distances.

M - Need to show fire hydrants every 400' on proposed line and one at the corner of Mims and Ralph Hall.

The following items are for your information for the engineering design process.

General Items:

I - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

I - Minimum easement width is 20' for new easements. No structures allowed in easements.

I - Retaining walls 3' and over must be engineered.

I - All retaining walls must be rock or stone face. No smooth concrete walls. All walls must be approved by the City of Rockwall

I - 10' Utility Easement required along all street ROW.

Drainage Items:

I - Detention is provided. Must match existing drainage patterns.

Water and Wastewater Items:

- I - Must loop 8" water line on site. Only one use allowed off a dead end line. (if needed)
- I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)

Roadway Paving Items:

- I - Required 10' utility easement required along all street frontage.
- I - No driveway allowed off Ralph Hall due to spacing requirements.

Landscaping:

- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- I - "Open spaces to be maintained by the property owner" add note to preliminary plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	David Gonzales	11/20/2020	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/17/2020	Approved w/ Comments

11/17/2020: FDC shall be facing and visible from the fire lane.
FDC must be within 100-feet of a fire hydrant.
The FDC shall be clear and unobstructed with a minimum of a 5-feet clear all-weather path from fire lane access

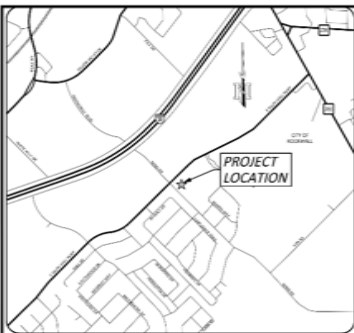
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/17/2020	Approved w/ Comments

11/17/2020: Dental Office: 702 E RALPH HALL PKWY, ROCKWALL, TX 75032
Day Care: 710 E RALPH HALL PKWY, ROCKWALL, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	David Gonzales	11/17/2020	Approved w/ Comments

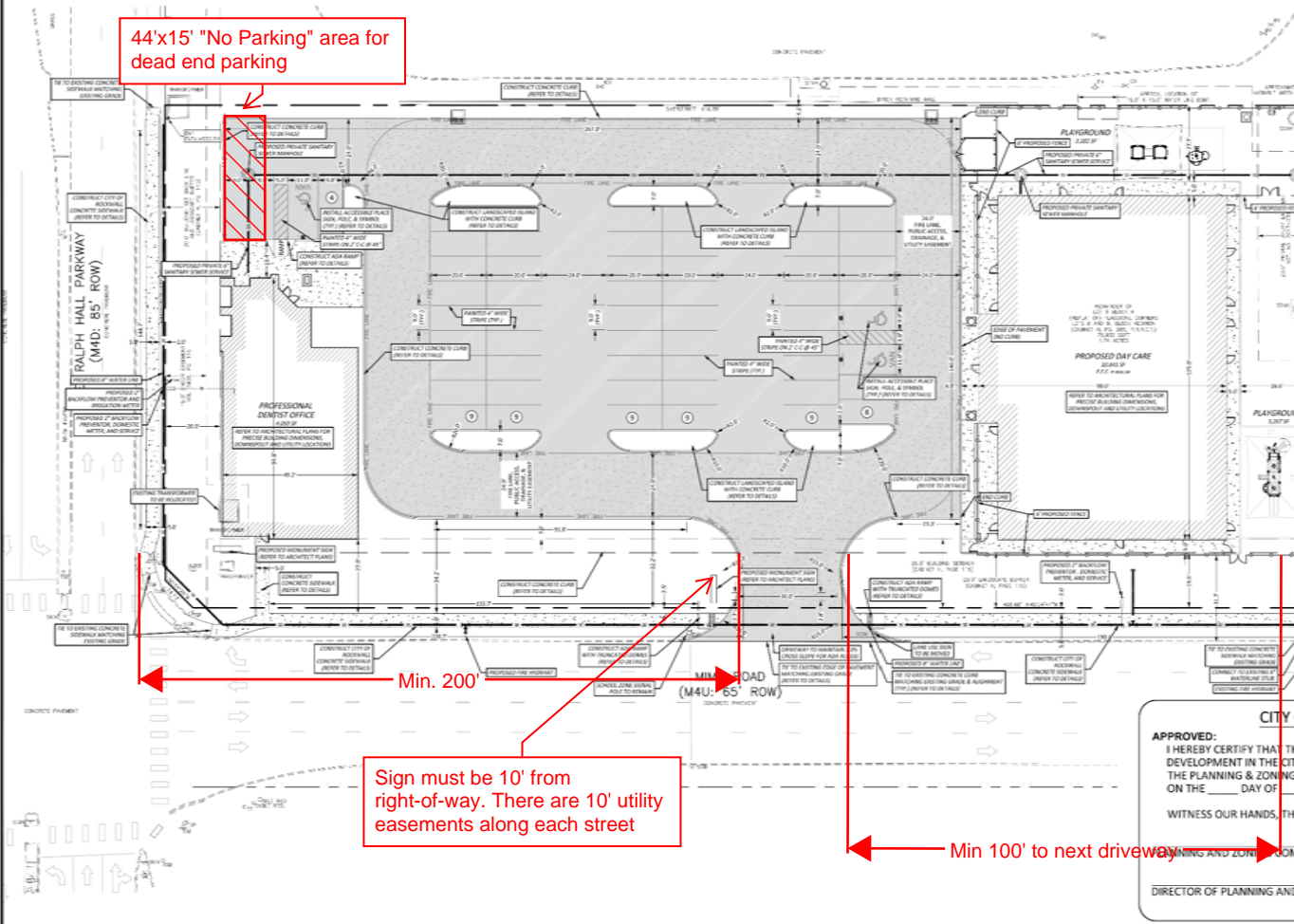
- 11/17/2020: 1. Mexican White Oak / Quercus polymorpha will need to be 4" caliper minimum versus 3" listed on plan
- 2. All trees need to be a minimum of 5' from water and sewer lines
- 3. Would recommend that your playground be IPEMA certified. International Playground Equipment Manufacturer Association

Travis E. Sales
Director of Parks Recreation and Animal Services
City of Rockwall
108 E. Washington Street
Rockwall, Texas, 75087
972-772-6467



VICINITY MAP
NOT TO SCALE

44'x15' "No Parking" area for dead end parking



Sign must be 10' from right-of-way. There are 10' utility easements along each street

Min 100' to next driveway

SITE PLAN INFORMATION		LEGEND	
DATE			
REVISION			
MARK			

- General Items:**
- I - Must meet City Standards of Design and Construction
 - I - 4% Engineering Inspection Fees
 - I - Impact Fees (Water, Wastewater & Roadway)
 - I - Minimum easement width is 20' for new easements. No structures allowed in easements.
 - I - Retaining walls 3' and over must be engineered.
 - I - All retaining walls must be rock or stone face. No smooth concrete walls. All walls must be approved by the City of Rockwall
 - I - 10' Utility Easement required along all street ROW.

- Drainage Items:**
- I - Detention is provided. Must match existing drainage patterns.

- Water and Wastewater Items:**
- I - Must loop 8" water line on site. Only one use allowed off a dead end line. (if needed)
 - M - Need to show fire hydrants every 400' on proposed line and one at the corner of Mims and Ralph Hall
 - I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)

- Roadway Paving Items:**
- I - Required 10' utility easement required along all street frontage.
 - I - No driveway allowed off Ralph Hall due to spacing requirements.

- Landscaping:**
- I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - I - "Open spaces to be maintained by the property owner" add note to preliminary plat.

APPROVED:
I HEREBY CERTIFY THAT THE DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____
WITNESS OUR HANDS, THIS ____ DAY OF ____

DIRECTOR OF PLANNING AND ZONING

OWNER
MARY COULTER
8811 INTERSTATE 40
SUITE 100
ROCKWALL, TX 75087

811
Know what's below.
Call before you dig.

CASE NUMBER: SP2020-028

COURTIN DENTAL FLAGSTONE CORNERS BLOCK A, LOT 9

DRAWN BY: TO: DESIGNED BY: DK: CHECKED BY: JLD/STJ: DATE: 02/23/20

KSA
1505 STATE ST. SUITE 100
ROCKWALL, TX 75087
www.kasainc.com

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF RECORD REVIEW, AGENCY APPROVAL, AND COMMENT UNDER THE AUTHORITY OF CHARLES RICHARDS, P.E., REGISTRATION NO. 62847. ON 02/23/20 THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION OR PERMIT PURPOSES.

SEAL: _____
DATE: _____
SHEET NO. _____

C1.0

DATE	
REVISION	
SCALE	
PROJECT	
CLIENT	

LANDSCAPE PLAN

COURTIN DENTAL FLAGSTONE CORNERS BLOCK A, LOT 9

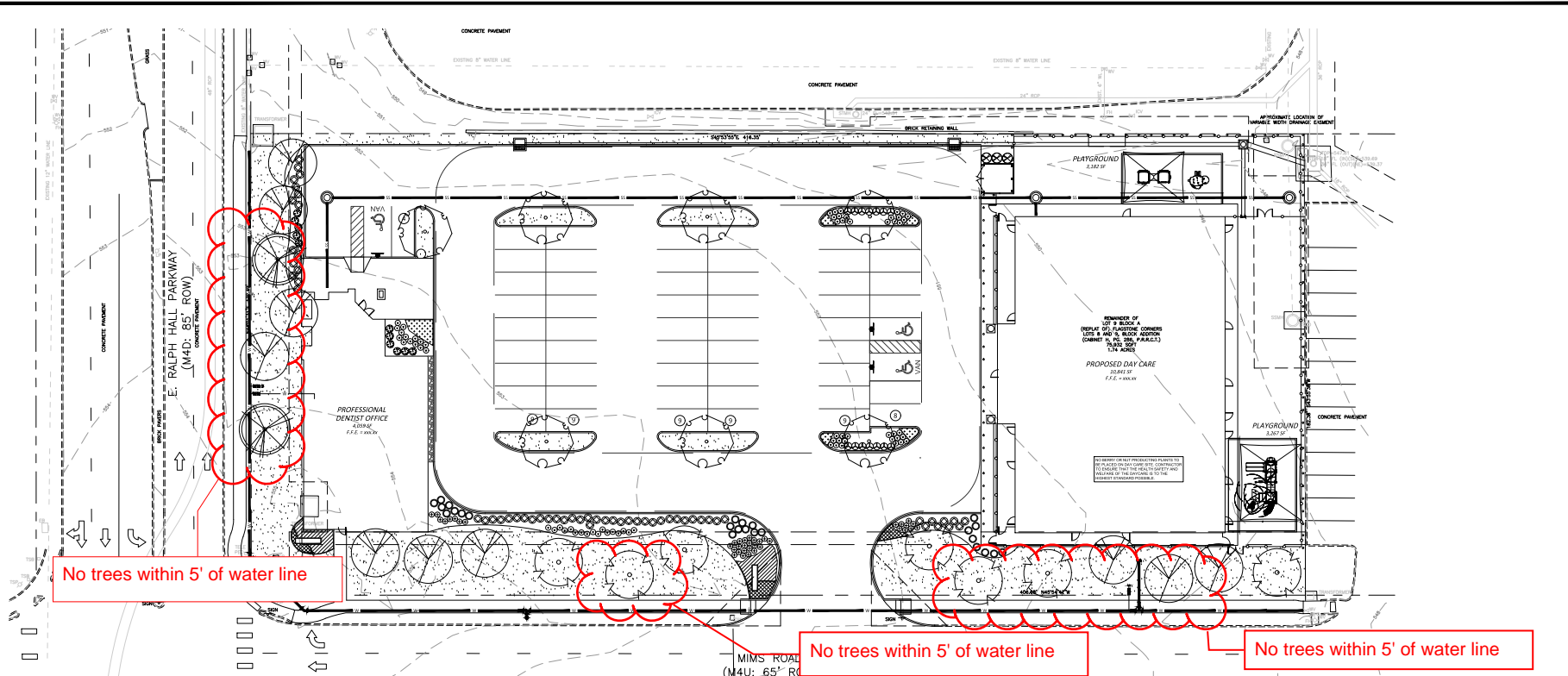
OWNER	
DESIGNER	
DATE	
SCALE	
PROJECT	
CLIENT	



6701 Oak Hill Blvd.
Suite 100
Rockwall, TX 75087
www.ksa.com



11/13/20



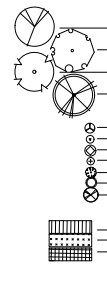
No trees within 5' of water line

No trees within 5' of water line

No trees within 5' of water line

- GENERAL LANDSCAPE NOTES**
- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION SCHEDULE.
 - LANDSCAPE AREAS SHALL BE LEFT 1' BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
 - CONTRACTOR TO FILL GRADE AREAS TO MATCH FINAL CONTIGUOUS EXISTING ADJACENT POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS, ROWING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN-LINE WITH EXISTING DRAINAGE.
 - ALL LANDSCAPE AREAS SHALL BE THE OWNERS' RESPONSIBILITY. THE CONTRACTOR SHALL PROVIDE ALL FINISHED GRADE APPROVED BY THE OWNERS' CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
 - CONTRACTOR SHALL REMOVE ALL ROCKS IN WALKWAYS AND AREAS TO BE MAINTAINED TO SHOW ALL DRIVE COURTS, STOPS, CONCRETE SPILLS, TRASH AREAS PRIOR TO PLACING TOPSOIL AND GRADE INSTALLATION.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.
- SOILS**
- SOILS SHALL BE PLACED ALONG ALL IMPROVED EDGES, AT A MINIMUM, THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOIL SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN. SOILS SHALL BE STRIPES PROCESSED THROUGH BEST PRACTICE, NOT LESS THAN 18" DEEP, FREE OF WEEDS AND TRASH.
 - SOILS BY HAND TO OTHER UNIMPROVED AREAS COMPLETELY. UNIMPROVED AREAS ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAP WITH STAGGERED JOINTS TO COVER JOINTS.
 - TOP DRESS SOILS IN ROWS BY HAND WITH TOPSOIL, TO FULL WORK IF NECESSARY.
 - SOIL SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOIL SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESSES.
 - ERODIBLE SOILS SHALL BE COVERED BETWEEN OCTOBER 1ST AND MARCH 1ST. COVERED BERMUDAGRASS SOILS WITH WINTER RHYZOGRASS AT A RATE OF 4 POUNDS PER 100 S.F.
- LANDSCAPE NOTES**
- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION OF EXISTING SURVEY OR EXISTING CONDITIONS THAT WOULD PROHIBIT THE COMMENCING WORK. LANDSCAPE ARCHITECT SHALL BE NOTICED BY AN EXISTING CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
 - A MINIMUM OF 2" SOIL SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
 - CONTRACTOR SHALL FILL GRADE AREAS, PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS. LANDSCAPE AREAS SHALL BE COVERED AND UNPROTECTED THROUGH THE SITE.
 - PLANTING AREAS AND SOILS TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS OR DRIVEWAYS. EDGING SHALL BE NO MORE THAN 2" ABOVE FINISHED GRADE.
 - MULCH SHALL BE INSTALLED AT 1" BELOW THE TOP OF SIDEWALKS AND CURBS.
 - CONTRACTOR SHALL PROVIDE MULCH TO THE SPECIFIC PLANTING AREAS. MULCH SHALL ALSO BE 10" DEEP AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
 - CONTRACTOR SHALL PROVIDE MULCH TO THE SPECIFIC PLANTING AREAS. MULCH SHALL ALSO BE 10" DEEP AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
 - IF OF SPECIFIED UNIFORM MULCH OF SPECIFIED THICKNESS SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SPREADED UNIFORM OVER THE ENTIRE SURFACE OF THE PLANTING AREAS.
 - WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AREAS AROUND ALL TREES AND SHALL BE MAINTAINED AS WEED BARRIER OF APPROVED EQUAL.
 - CONTRACTOR TO PROVIDE ALL PLACING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND PLANTING MATERIALS.
- IRRIGATION**
- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A PRESSURIZED BENCH. SYSTEM SHALL ALSO HAVE AN IRRIGATION CONTROL SYSTEM. CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR.
- MAINTENANCE REQUIREMENTS**
- WEEDING SHALL BE NEEDED TO BE NECESSARY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINING HEALTHY. WEEDING CONDITIONS APPROPRIATE FOR THE SEASON. IF RESPONSIBILITY OF WEEDING IS NOT TO BE PROVIDED BY THE CONTRACTOR, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE ADVISED AND ASSURE REGULAR MAINTENANCE. ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIALS.
- MISCELLANEOUS MATERIALS**
- STEEL EDGING SHALL BE 3/4" x 4" x 10" DARK GREEN DUREXED STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.

LANDSCAPE TABULATIONS	
ROCKWALL, TEXAS	
GENERAL	
1. A 20' street buffer shall be provided the length of the property abutting a ROW.	PROVIDED
2. One large canopy tree shall be provided for every 50 L.F. of frontage.	PROVIDED
3. Trash area shall be screened from public view.	PROVIDED
Mims Road = 417 L.F.	
20' wide buffer	20' wide buffer
13 canopy trees, 4" cal.	13 canopy trees, 4" cal.
REQUIRED	PROVIDED
East Ralph Hall Parkway = 183 L.F.	
20' wide buffer	20' wide buffer
6 canopy trees, 4" cal.	6 canopy trees, 4" cal.
REQUIRED	PROVIDED
Site area 75,932 s.f.	
REQUIRED	PROVIDED



PLANT SCHEDULE					
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
10	CE	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	14' ht., 4' spread, matching
7	LE	'Bosque' Lacebark Elm	<i>Ulmus parvifolia 'PAMT'</i>	4" cal.	14' ht., 4' spread, matching
7	MWO	Mexican White Oak	<i>Quercus polymorpha</i>	3" cal.	12' ht., 4' spread, matching
2	SO	Shumard Oak	<i>Quercus shumardii</i>	4" cal.	14' ht., 4' spread, matching
SHRUBS					
11	AB	Abelia 'Tand of Lime'	<i>Abelia grandiflora 'Hesley's'</i>	5 gal.	full, 24" spread, 38" o.c.
67	AS	Auburn Sage	<i>Salvia greggii</i>	3 gal.	full, 24" o.c.
57	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal.	full, 20" spread, 38" o.c.
39	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Doradeaux'</i>	5 gal.	full, 24" spread, 24" o.c.
11	YO	Yucca 'Knock Out Rose (Red)	<i>Yucca hyacinthoides 'Reddy'</i>	5 gal.	full, 24" spread, 38" o.c.
25	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	5 gal.	full, 20" spread, 38" o.c.
3	WM	War Myrtle	<i>Myrica pusilla</i>	7 gal.	full, 30" spread, 40" o.c.
GROUNDCOVER/VINES/GRASS					
110	BBL	Big Blue Liriope	<i>Liriope muscari 'Big Blue'</i>	1 gal.	full, 18" o.c.
60	MPG	Mexican Feather Grass	<i>Nassella tenuissima</i>	1 gal.	full, 18" o.c.
110	SC	Seasonal Color	<i>Bernardia Solid Sod</i>	4" pots	full, 12" o.c.
		24" River Rock	<i>Cynodon dactylon</i>		

Plant list is an aid for bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed requirements as indicated.

CITY OF ROCKWALL


APPROVED: _____

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____.


WITNESS OUR HANDS, THIS ____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



AWR Design, LLC
P.O. Box 7746
Allen, Texas 75009
www.awrdesign.com
c. 512.517.5589



Know what's below.
Call before you dig.

OWNER
MARY COURTIN
961 INTERSTATE 30
SUITE 100
ROCKWALL, TX 75087

CASE NUMBER: SP2020-028



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-031

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address N/A

Subdivision Flagstone Corners

Lot 9 Block A

General location Southeast corner of E. Ralph Hall Pkwy and Mims Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Planned Development District

Current Use Undeveloped

Proposed Zoning _____

Proposed Use Dental Office/Daycare

Acreage 1.74

Lots [Current] _____

1

Lots [Proposed] _____

1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Courtin Dental

Applicant KSA Engineers

Contact Person Mary Courtin

Contact Person Darrel Kotzur, P.E.

Address 991 East I-30
Suite 103

Address 6781 Oak Hill Blvd.

City, State & Zip Rockwall, TX 75032

City, State & Zip Tyler, TX 75703

Phone (214) 471-3810

Phone (903) 541-8141 ext. 1311

E-Mail marycourtin@yahoo.com

E-Mail dkotzur@ksaeng.com

NOTARY VERIFICATION [REQUIRED]

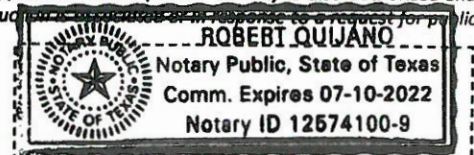
Before me, the undersigned authority, on this day personally appeared Darrel Kotzur [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 285, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of November, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is necessary in response to a request for public information."

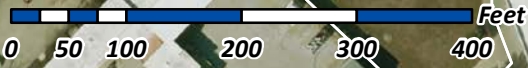
Given under my hand and seal of office on this the 12th day of November, 2020.

Owner's Signature

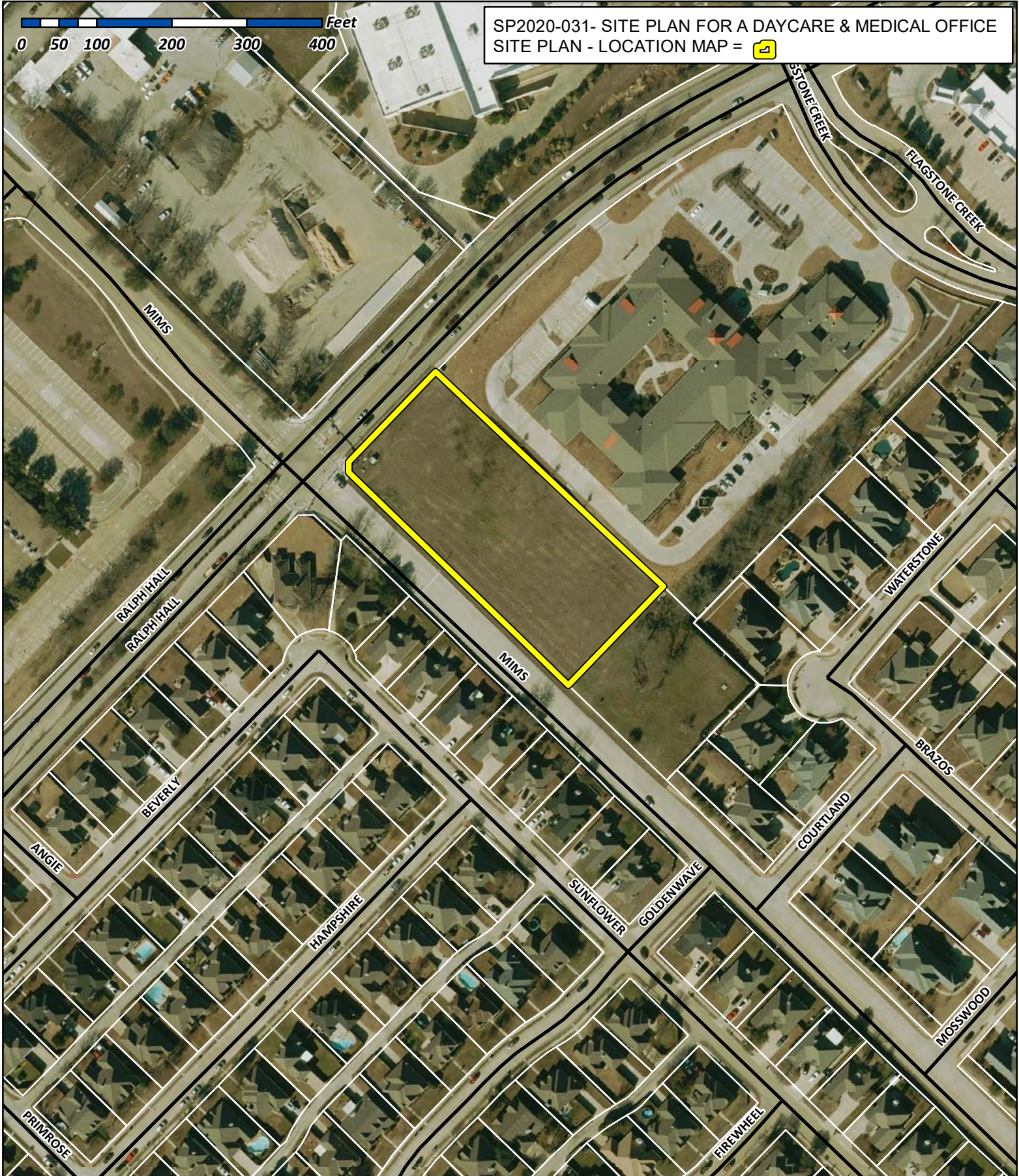
Notary Public in and for the State of Texas



My Commission Expires 7-10-22



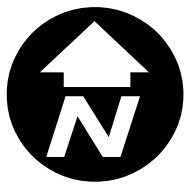
SP2020-031- SITE PLAN FOR A DAYCARE & MEDICAL OFFICE
SITE PLAN - LOCATION MAP =

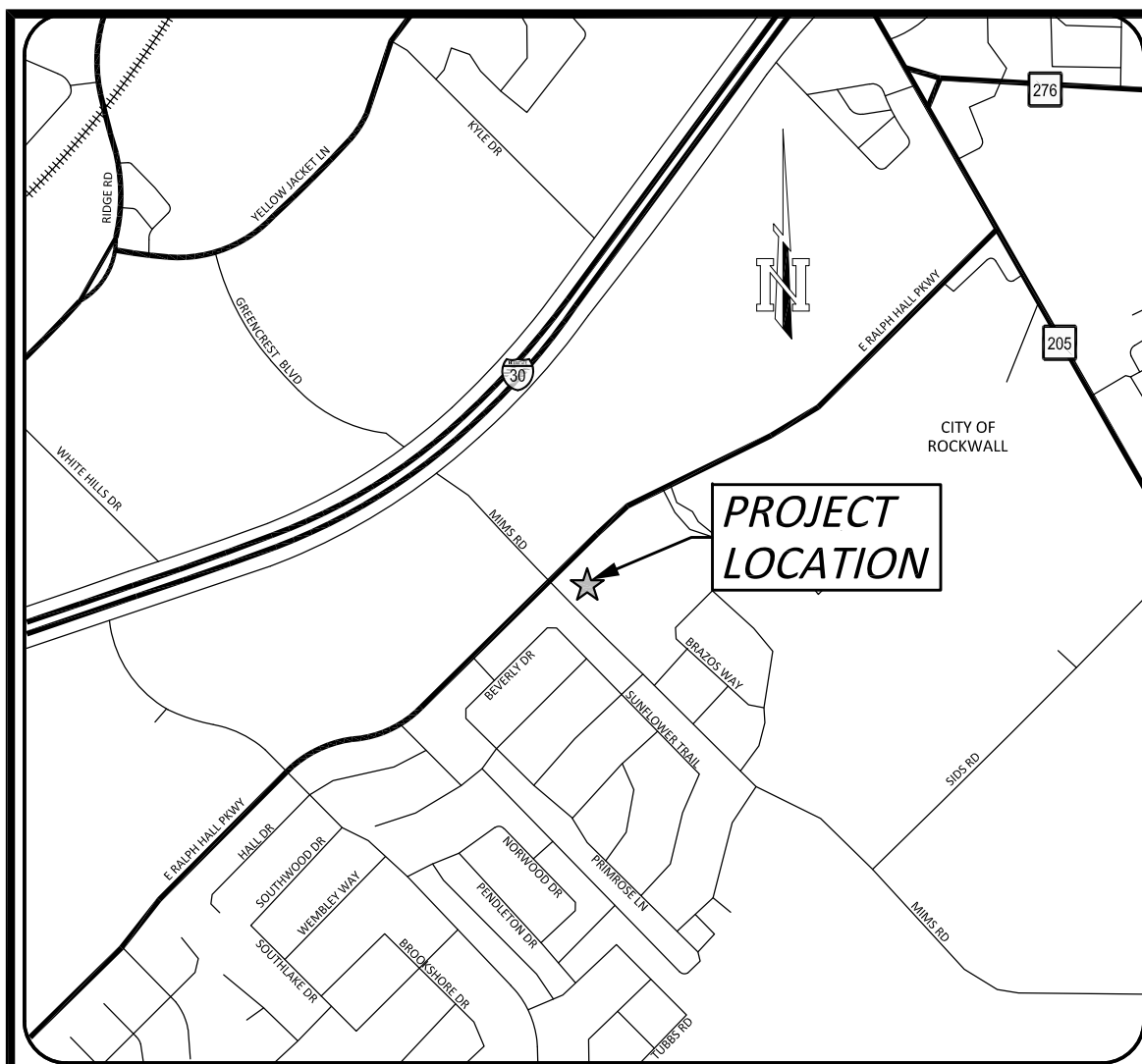


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
NOT TO SCALE

CONCRETE PAVEMENT

LOT 8 BLOCK A
251,484.3 SQ FT
5.77 ACRES

CONCRETE PAVEMENT

SITE PLAN INFORMATION

ZONE: PD-64

LAND USE: PROPOSED COMMERCIAL

TOTAL LOT AREA: 1,743 ACRES (75,932 S.F.)

TOTAL LOT PERIMETER: ±1,192 LF

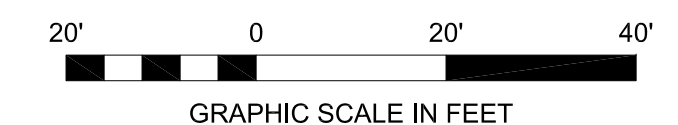
BUILDING AREA: DENTAL OFFICE: 4,059 S.F.
DAYCARE: 10,841 S.F.

BUILDING HEIGHT: DENTAL OFFICE: 20'-0" - 24'-0"
DAYCARE: 20'-0" - 24'-0"

	REQUIRED	PROVIDED
STANDARD PARKING	53	54
ACCESSIBLE PARKING	3	3
TOTAL	56	57

Time of Day	Retail		Office		Daycare		Dental		Total
	#	%	#	%	#	%	#	%	
6:00 a.m.—12:00 noon	0.97	1.00	36	20	2 ADA	1 ADA	3 ADA	56	
12:00 noon—1:00 p.m.	1.00	0.90	36	18				55	
1:00 p.m.—4:00 p.m.	0.97	0.97	36	20				55	
4:00 p.m.—6:00 p.m.	0.82	0.47	30	10				39	
6:00 p.m.—8:00 p.m.	0.89	0.07	32	1				34	
8:00 p.m.—12:00 midnight	0.61	0.03	22	1				23	
			Total #					56	

Daycare	Dental	Daycare	Dental
SF	SF	Req	Req
10,841	4,059	1/300	1/200



LEGEND

- | | | |
|----------|----------|--|
| EXISTING | PROPOSED | |
| WM | WM | WATER METER |
| WV | WV | WATER VALVE |
| FH | FH | FIRE HYDRANT |
| GM | GM | GAS METER |
| SSMH | SSMH | SANITARY SEWER MANHOLE |
| SSCO | SSCO | SANITARY SEWER CLEANOUT |
| UP | UP | UTILITY POLE |
| LP | LP | SITE LIGHTING POLE |
| TSP | TSP | TRAFFIC SIGNAL POLE |
| TSB | TSB | TRAFFIC SIGNAL BOX |
| STMH | STMH | STORM MANHOLE |
| JB | JB | STORM JUNCTION BOX |
| CI | CI | CURB INLET |
| GI | GI | GRATE INLET |
| + | + | SIGN |
| --- | --- | EXISTING OVERHEAD ELECTRIC LINE |
| --- | --- | EXISTING CONCRETE CURB |
| --- | --- | PROPOSED CONCRETE CURB |
| --- | --- | NUMBER OF PARKING SPACES |
| --- | --- | PROPOSED FIRE LANE |
| --- | --- | PROPOSED 3,500 PSI 4" SIDEWALK PAVEMENT WITH #3 BARS AT 18" O.C.E.W. |
| --- | --- | PROPOSED 3,500 PSI 5" CONCRETE STANDARD DUTY PAVEMENT WITH #4 BARS AT 24" O.C.E.W. |
| --- | --- | PROPOSED 3,500 PSI 6" CONCRETE HEAVY DUTY PAVEMENT WITH #4 BARS AT 18" O.C.E.W. |

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES, OSHA STANDARDS AND PROJECT SITE WORK SPECIFICATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VISIBLES, SLOPED PAVING, SIDEWALKS, EXISTING CURBS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING ENTRANCE LOCATIONS.
- CONTRACTOR SHALL REFER TO MEP PLANS FOR TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING EXISTING ITEMS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. DAMAGES SHALL BE REPORTED TO ENGINEER OF RECORD PRIOR TO REPAIR. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR IS REQUIRED TO REMOVE OR RELocate, IN A PROPER MANNER, EXISTING IMPROVEMENTS/NATURAL FEATURES TO ALLOW FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS INDICATED ON THE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITY SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS, PROPERTY CORNERS DAMAGED BY CONTRACTOR SHALL BE REPLACED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
- ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE LATEST EDITION OF THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, CENTER OR END OF STRIPE, FACE OF BUILDING OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- ALL CURB RADII SHALL BE 4" UNLESS OTHERWISE NOTED.
- FIRE LANES ARE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO LOCAL CITY REQUIREMENTS FOR EXACT LOCATION.

ACCESSIBILITY NOTES

- PROPOSED CONSTRUCTION ON THIS SITE SHALL COMPLY WITH THE LATEST REVISION OF THE ADA REGULATIONS AND THE TEXAS ACCESSIBILITY STANDARDS (TAS).
- ALL SLOPES ON SIDEWALKS ADJACENT TO BUILDINGS SHALL BE AT 1" PER FOOT MAX. DOWN TO THE TOP OF CONCRETE CURB.
- ALL SLOPES WITHIN ACCESSIBLE PARKING SPACES AND ADJACENT MANEUVERING AREAS SHALL BE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS. ADA COMPLIANT SIGNAGE SHALL BE PROVIDED FOR EACH ACCESSIBLE SPACE.
- ALL SLOPES ON SIDEWALKS SHALL BE A MAXIMUM OF 2% CROSS SLOPE AND 5% IN THE DIRECTION OF TRAVEL.
- ACCESSIBLE ROUTES WITH A RUNNING SLOPE GREATER THAN 5.0% (1:20) IS A RAMP AND SHALL BE CONSTRUCTED WITH HANDRAILS AND 5' X 5' LANDINGS. RAMP SLOPE SHALL NOT EXCEED 8.3% (1:12).
- RAMP RUNS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS.
- SURFACE OF CURB RAMPS SHALL BE CONSTRUCTED WITH ADA COMPLIANT SURFACE. SURFACE OF ACCESSIBLE ROUTES AND CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. CURB RAMPS SHALL NOT EXCEED 6" IN LENGTH.
- THE RISE OF ANY RAMP SHALL BE 30 INCHES MAXIMUM.

INSPECTIONS/CERTIFICATIONS NOTE

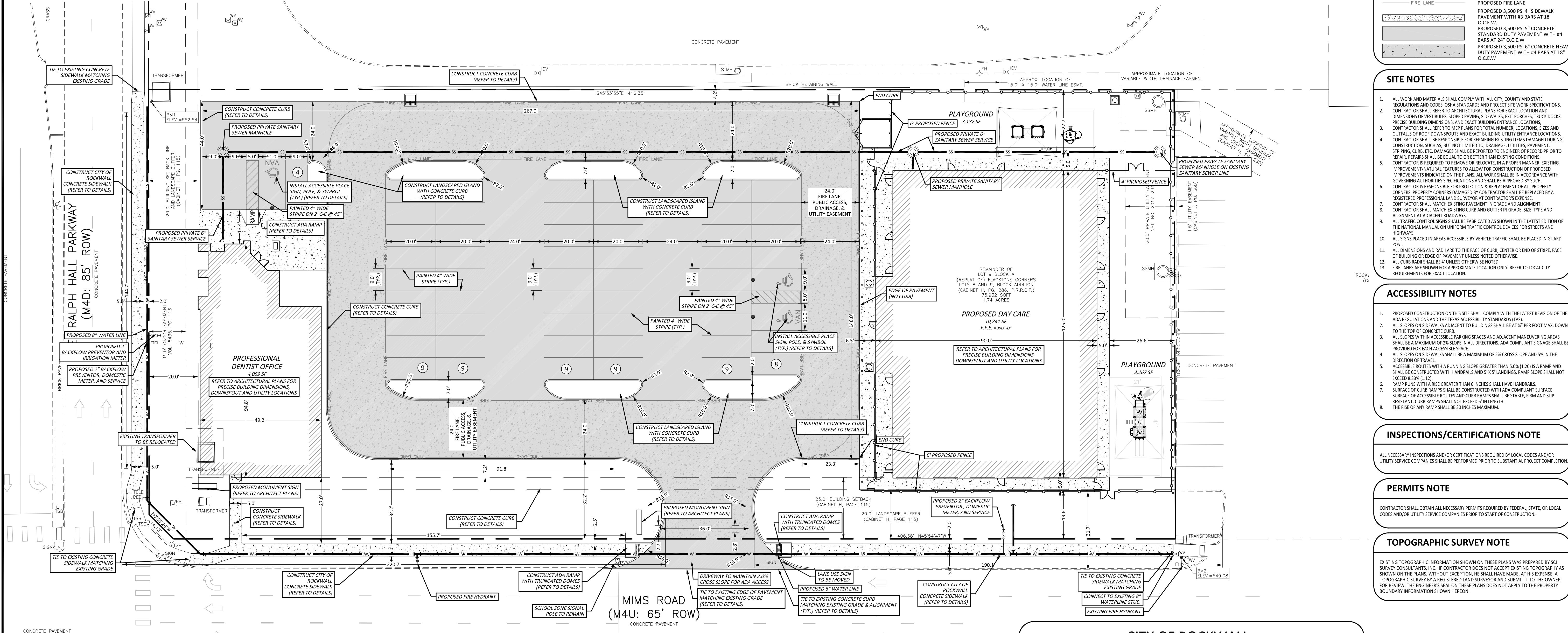
ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY LOCAL CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO SUBSTANTIAL PROJECT COMPLETION.

PERMITS NOTE

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES AND/OR UTILITY SERVICE COMPANIES PRIOR TO START OF CONSTRUCTION.

TOPOGRAPHIC SURVEY NOTE

EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WAS PREPARED BY SCI SURVEY CONSULTANTS, INC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. THE ENGINEER'S SEAL ON THESE PLANS DOES NOT APPLY TO THE PROPERTY BOUNDARY INFORMATION SHOWN HEREON.



DATE	REVISION

DRAWING PATHNAME: LAYOUT | PLOT DATE: TIME

SHEET NAME: SITE PLAN

PROJECT NAME: COURTIN DENTAL FLAGSTONE CORNERS BLOCK A, LOT 9

DRAWN BY: TG
DESIGNED BY: DK
LATEST REVISIONS: 10/16/20
KSA JOB NO.: MI-2129

PROJECT NAME: COURTIN DENTAL FLAGSTONE CORNERS BLOCK A, LOT 9

CITY OF ROCKWALL

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER

MARY COURTIN
991 INTERSTATE 30
SUITE 103
ROCKWALL, TX 75087



CASE NUMBER: SP2020-028

SEAL: MARY COURTIN
TBP Firm Registration No. F-1356
SHEET NO.

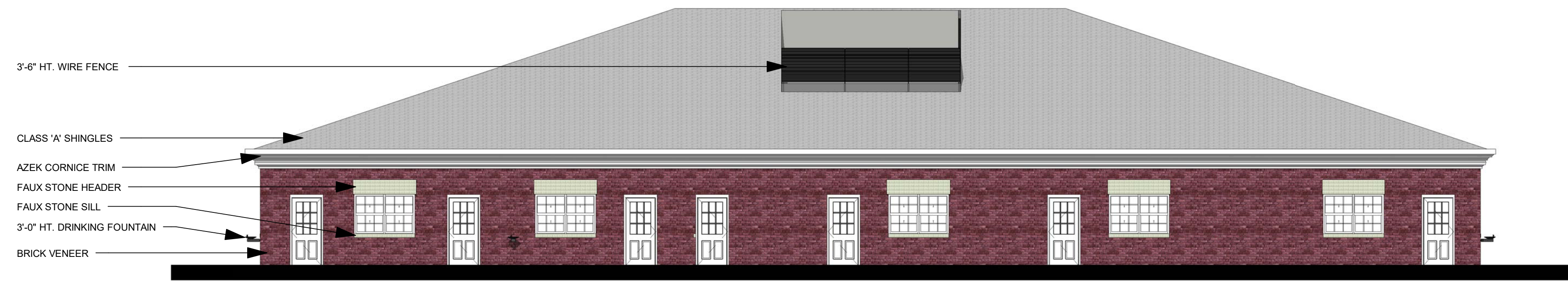
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SOUTH ELEVATION



EAST ELEVATION



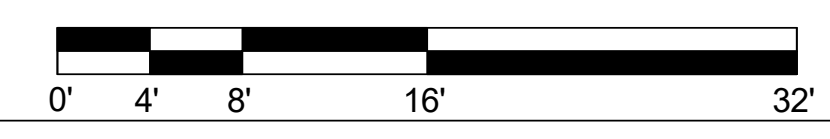
- 3'-6" HT. WIRE FENCE
- CLASS 'A' SHINGLES
- AZEK CORNICE TRIM
- FAUX STONE HEADER
- FAUX STONE SILL
- 3'-0" HT. DRINKING FOUNTAIN
- BRICK VENEER

NORTH ELEVATION



- 3'-6" HT. WIRE FENCE
- CLASS 'A' SHINGLES
- AZEK CORNICE TRIM
- FAUX STONE HEADER
- FAUX STONE SILL
- 3'-0" HT. DRINKING FOUNTAIN
- BRICK VENEER
- SHINGLE RIDGE VENT
- 6" AZEK TRIMBOARD
- FIBERCEMENT SIDING
- 4X6 DOWNSPOUT

WEST ELEVATION





EAST ELEVATION

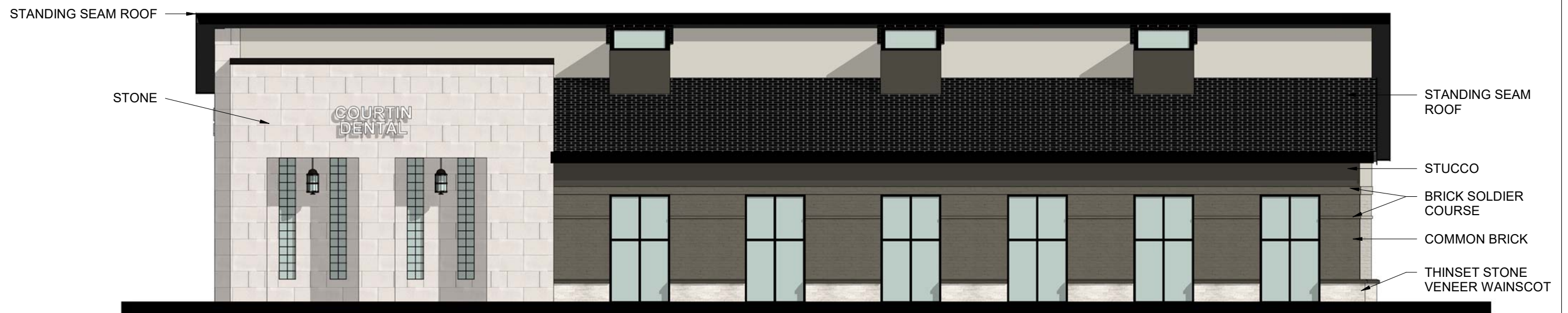


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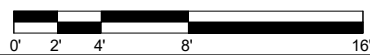


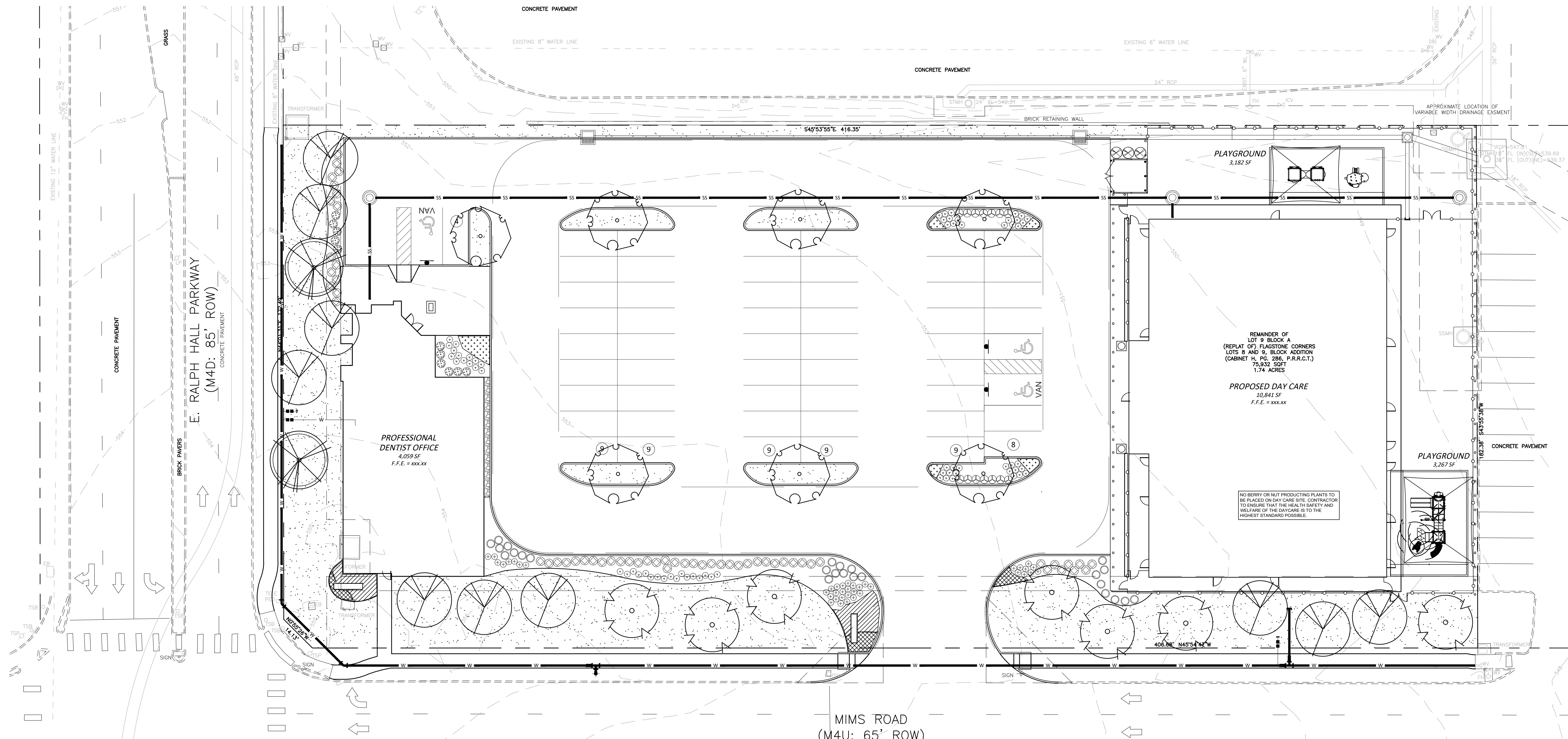


SOUTH ELEVATION



NORTH ELEVATION

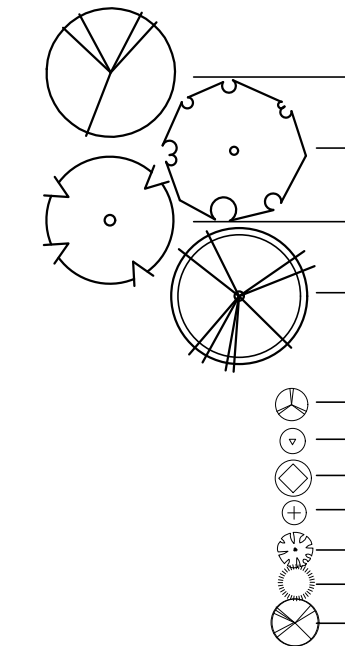




- GENERAL LAWN NOTES**
- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
 - LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
 - CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDRING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
 - ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNERS CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
 - CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLOUDS, STICKS, CONCRETE SPILLS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.
- SOLID SOD**
- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
 - SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 1 1/2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"), EXCLUDING TOP GROWTH AND THATCH.
 - LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
 - TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL JOIDS IF NECESSARY.
 - SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
 - SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.
- LANDSCAPE NOTES**
- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS, NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 - CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
 - A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
 - CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
 - LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
 - PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
 - EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
 - MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
 - QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
 - CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
 - TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
 - 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
 - WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAF1 1405 WEED BARRIER OR APPROVED EQUAL.
 - CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.
- IRRIGATION**
- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.
- MAINTENANCE REQUIREMENTS**
- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
 - MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER'S OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
 - ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.
- MISCELLANEOUS MATERIALS**
- STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURADEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.

LANDSCAPE TABULATIONS ROCKWALL, TEXAS	
GENERAL	
1. A 20' street buffer shall be provided the length of the property abutting a ROW.	
2. One large canopy tree shall be provided for every 30 l.f. of frontage.	
3. Trash areas shall be screened from public view.	
Mims Road = 417 l.f.	
REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
13 canopy trees, 4" cal.	13 canopy trees, 4" cal.
East Ralph Hall Parkway = 183 l.f.	
REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
6 canopy trees, 4" cal.	6 canopy trees, 4" cal.
trash area screened	trash area screened
Site area: 75,932 s.f.	
REQUIRED	PROVIDED
16,295 s.f. landscaped	
PARKING LOT LANDSCAPE	
1. Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.	
2. There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars.	
Parking Spaces - 57	
REQUIRED	PROVIDED
36" screen	36" screen
6 canopy trees, 4" cal.	7 canopy trees, 4" cal.

PLANT SCHEDULE						
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES	
SHADE TREES						
10	CE	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	14' ht., 4' spread, matching	
7	LE	'Bosque' Lacebark Elm	<i>Ulmus parvifolia 'UPMTF'</i>	4" cal.	14' ht., 4' spread, matching	
7	MWO	Mexican White Oak	<i>Quercus polymorpha</i>	3" cal.	12' ht., 4' spread, matching	
2	SO	Shumard Oak	<i>Quercus shumardii</i>	4" cal.	14' ht., 4' spread, matching	
SHRUBS						
14	AB	Abelia 'Twist of Lime'	<i>Abelia x grandiflora 'Hopley's'</i>	5 gal.	full, 24" spread, 36" o.c.	
67	AS	Autumn Sage	<i>Salvia greggii</i>	3 gal.	full, 24" o.c.	
57	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal.	full, 20" spread, 36" o.c.	
39	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Condeaux'</i>	5 gal.	full, 24" sprd, 24" o.c.	
11	KO	Double Knock Out Rose (Red)	<i>Rosa hybrida 'Radtko'</i>	5 gal.	full, 24" spread, 36" o.c.	
25	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	5 gal.	full, 20" spread, 36" o.c.	
3	WM	Wax Myrtle	<i>Myrica pusilla</i>	7 gal.	full, 30" sprd, 40" o.c.	
GROUNDCOVER/VINES/GRASS						
110	BBL	Big Blue Liriope	<i>Liriope muscari 'Big Blue'</i>	1 gal.	full, 18" o.c.	
60	MFG	Mexican Feather Grass	<i>Nassella tenuissima</i>	1 gal.	full, 18" o.c.	
110	SC	Seasonal Color Bermuda Solid Sod	<i>Cynodon dactylon</i>	4" pots	full, 12" o.c.	
		2-4" River Rock				



Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

CITY OF ROCKWALL

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

AWR
AWR Designs, LLC
P.O. Box 1746
Aledo, Texas 76008
amandagawr-designs.com
c. 512.517.5589

OWNER
MARY COURTN
991 INTERSTATE 30
SUITE 103
ROCKWALL, TX 78087

811
Know what's below.
Call before you dig.

CASE NUMBER: SP2020-028

DATE	REVISION	MARK

LANDSCAPE PLAN

**COURTN DENTAL
FLAGSTONE CORNERS
BLOCK A, LOT 9**

KSA
6781 Oak Hill Blvd.,
Rockwall, Texas 78087
T. 900.555.1441
www.ksaeng.com

RESERVED LANDSCAPE ARCHITECT
MAYRA W. RICHARDS
STATE OF TEXAS
2754

11/13/20

SHEET NO.
L1.1

DRAWING PATHNAME: LAYOUT.PLOT DATE: TIME

SECTION 32 9300 - LANDSCAPE
PART 1 - GENERAL

1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR

- A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING

1.2 REFERENCE DOCUMENTS

- A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS
- B. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISORS, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:
 1. PLANTING (TREES, SHRUBS, GRASSES)
 2. BED PREP AND FERTILIZATION
 3. NOTIFICATION OF SOURCES
 4. WATER AND MAINTENANCE UNTIL ACCEPTANCE
 5. GUARANTEE

- C. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
- D. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK

- 1.4 REFERENCES
 - A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN, 27 OCTOBER 1980, EDITION, BY AMERICAN NATIONAL STANDARDS INSTITUTE (Z60.1) - PLANT MATERIAL
 - B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE; 1942 EDITION ON STANDARDIZATION OF NAMES
 - C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS

- 1.5 SUBMITTALS
 - A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNERS REPRESENTATIVE BEFORE USE
 - B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA
 - C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED. FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION

- 1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING
 - A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE
 - B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOLID SOD SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK
 - C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE

- 1.7 SEQUENCING
 - A. INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWN/SOLID SOD
 - B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER

- 1.8 MAINTENANCE AND GUARANTEE

- MAINTENANCE
 - A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER
 - B. NO TREES, GRASS, GROUND COVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS
 - C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING, EDGING, PRUNING OF TREES, MOVING OF GRASS, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE
 - D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION. AN ON SITE INSPECTION BY THE OWNERS AUTHORIZED

- REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE
- E. NOTIFY OWNER OR OWNERS REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD
- F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD
- G. REMOVE GUYING AND STAKING MATERIALS AFTER ONE YEAR
- H. ALL LANDSCAPE SHALL BE MAINTAINED AND GRASS MOWED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY
- I. REMOVE TRASH, DEBRIS, AND LITTER, WATER, PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED
- J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM
- K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION
- L. REAPPLY MULCH TO BARE AND THIN AREAS
- M. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER
- N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDRATED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE HEAVILY MOWED

GUARANTEE

- A. TREES, SHRUBS, GROUND COVER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL NOTIFY ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER
- B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL
- C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED
- D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL, MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND NOT INSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER "WORK" OF THIS SECTION
- E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS
- F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY OWNER
- G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE, UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK

1.9 QUALITY ASSURANCE

- A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK
- B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN
- C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS
- D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS

- E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS, IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO DAMAGED OR REMOVED. PRUNE AND DAMAGED TWIGS AFTER PLANTING IN USE OF THE SPECIFIED PLANT
- F. AT THE TIME BIOS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED
- G. OWNERS REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNERS REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS WHICH FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED

1.10 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. PREPARATION
 1. BALLED AND BURLAPPED B&B PLANTS; DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT
 2. CONTAINER GROWN PLANTS; DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS
- B. DELIVERY
 1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETRIORATION DURING DELIVERY AND WHILE STORED ON SITE
 2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING ARRANGEMENTS ARE MADE AVAILABLE ON SITE
 3. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY
 4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DESICCATION OF LEAVES
 5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT
 6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE
 7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE
 8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS

PART 2 - PRODUCTS

2.1 PLANT MATERIALS

- A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK. LISTED PLANT HEIGHTS ARE FROM TOPS OF FOOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL
- B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON PLAN
- C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY, DISEASE, BROKEN BRANCHES, DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY
- D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND REPLACED WITH ACCEPTABLE SPECIMENS
- E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE, AND WITH SIMILAR CLIMATIC CONDITIONS
- F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE
- G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE CONTRACT PRICE
- H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE
- I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS; NON-POT-BOUND, FREE FROM ENCIROULING AND/OR GROUNDING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS)

- J. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE AND DAMAGED TWIGS AFTER PLANTING
- K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT ROT OR POT BOUND
- L. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD DISFIGURING KNOTS, OR INSECT DAMAGE WILL BE REJECTED
- M. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER. MEASUREMENTS FOR TREES EXCEEDING FOUR INCHES IN CALIPER: MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL
- N. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED
- O. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH Pallet of SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD

2.2 SOIL PREPARATION MATERIALS

- A. SANDY LOAM:
 1. FRIABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEOUS MATERIALS AND REARROBLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM CONTAINING DALLASGRASS OR NUTGRASS SHALL BE REJECTED
 2. PHYSICAL PROPERTIES AS FOLLOWS:
 - a. CLAY - BETWEEN 1-2%
 - b. SILT - BETWEEN 15-25%
 - c. SAND - LESS THAN 52%
 - 3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT
 4. IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS

- B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF COURSE AND FINE TEXTURED MATERIAL
- C. PREMIUM BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES, GLADEWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS OR ACID GRC MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL
- D. SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS
- E. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN
- F. ORGANIC FERTILIZER: FERTILIZED, SUSTANE, OR GREEN SENSE OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS
- G. COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS. NITROGEN SOURCE TO BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SCU OR UF) WITH A MINIMUM 8% SULFUR AND 4% IRON, PLUS MICRO-NUTRIENTS
- H. PEAT: COMMERCIAL SPHAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL

2.3 MISCELLANEOUS MATERIALS

- A. STEEL EDGING - SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING, DURABLED STEEL OR APPROVED EQUAL
- B. TREE STAKING - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE; REFER TO DETAILS
- C. FILTER FABRIC - MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTE. AVAILABLE AT LONE STAR PRODUCTS, INC. (469-523-9444)
- D. SAND - UNIFORMLY GRADED, WASHED, CLEAN, BANK RUN SAND
- E. GRAVEL: WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1.5"
- F. DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE
- G. RIVER ROCK - LOCALLY AVAILABLE NATIVE RIVER ROCK BETWEEN 2"-4" IN DIAMETER
- H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURERS LABELED RATES

PART 3 - EXECUTION

3.1 PREPARATION

- A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER
- B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:
 1. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND SOIL AS NECESSARY TO EXPOSE EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURERS RECOMMENDATION. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH (SETTLED THICKNESS)
 2. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALICHE, SHRUBS, ETC. PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.
- C. GRASS AREAS:
 1. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND
 2. FIRST, ROOTS OF SOD SHOULD BE COVERED WITH A THIN LAYER OF TOPSOIL. THEN WATERED THROUGHLY.

3.2 INSTALLATION

- A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORY ACCOMPLISHED
- B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSPORT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND AND BALLS OF EARTH OF B & B PLANTS SHALL BE KEPT COVERED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE
- C. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN
- D. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS
- E. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO SOIL SURFACE IN ORIGINAL PLACE OF GROWTH. THE SIDES OF THE HOLE SHOULD BE ROUGH AND JAGGED, NEVER SLICK OR GLAZED
- F. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN ITS VERTICAL DIMENSION. REMOVE AND HAUL FROM SITE ALL ROCKS AND STONES OVER THREE QUARTS (3/4") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING CONTAINERS
- G. PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED. INSTALL A PVC STAND PIPE PER TREE IF THE PERCOLATION TEST FAILS
- H. BACKFILL ONLY WITH 5" MAXIMUM SLOE OR SANDY LOAM AND 1" PART BED PREPARATION. WHEN THE HOLE IS DUG IN SOLID ROCK, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP FROM THE TOP 1/2 OF THE BALL AS WELL AS ALL NYLON, PLASTIC STRIP AND WIRE. CONTAINER TREES WILL USUALLY BE ROOT BOUND, IF SO FOLLOW STANDARD NURSERY PRACTICE OF "ROOT SCORING"
- I. DO NOT WRAP TREES
- J. DO NOT OVER PRUNE
- K. REMOVE NURSERY TAGS AND STAKES FROM ALL PLANTS
- L. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING
- M. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT
- N. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE
- O. DO NOT COVER THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH
- P. ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM

SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR PIT

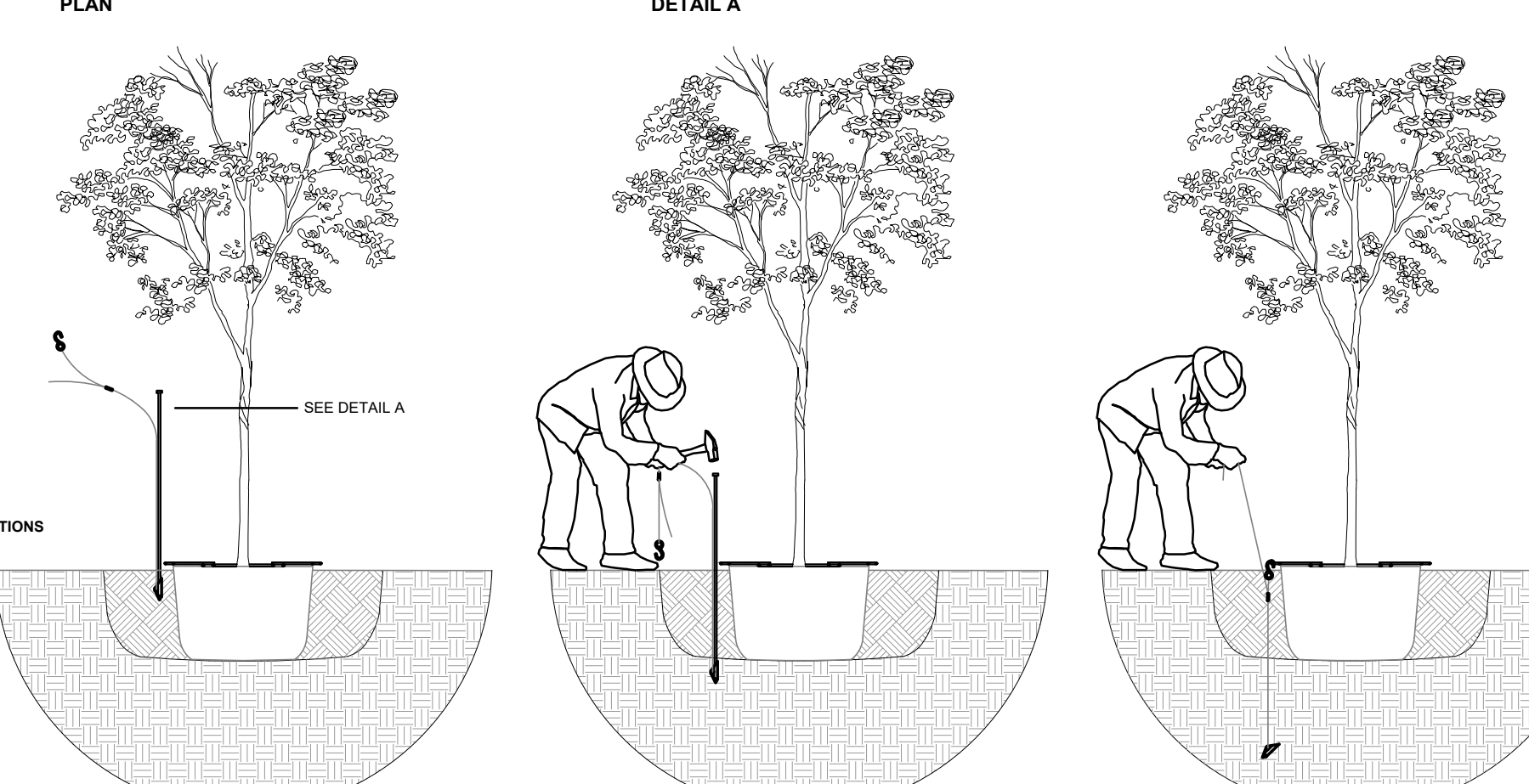
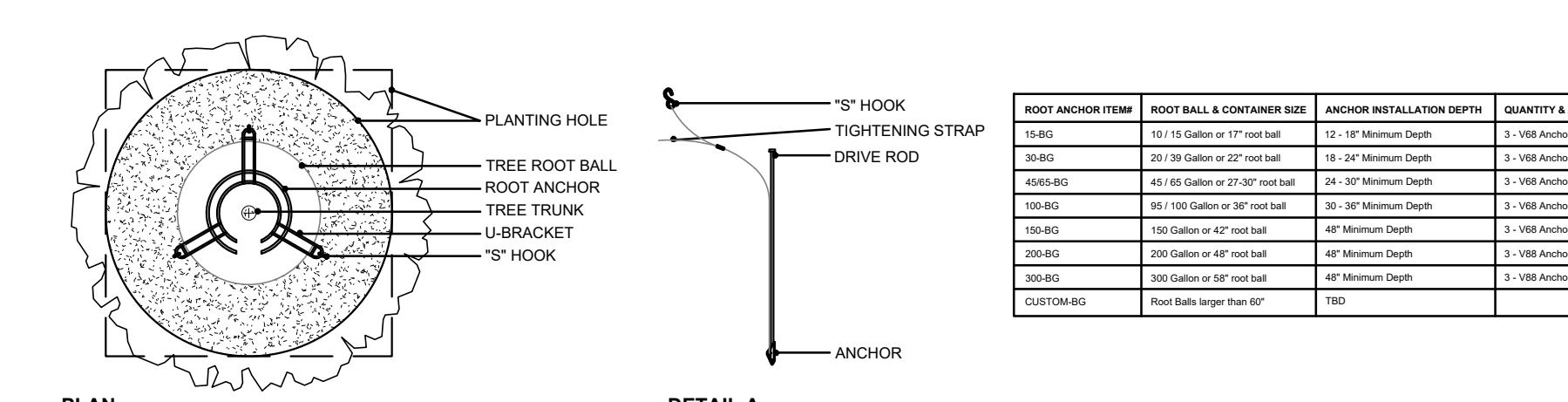
- Q. OBSTRUCTION BELOW GROUND: IN THE EVENT THAT ROCK, OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER. WHERE LOCATIONS CANNOT BE CHANGED, THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3) FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PLANT IS PROPERLY SET AT THE REQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE OF SUCH ROCK OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR
- R. TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS
- S. PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT AND SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE FOLLOWING FINE PRUNING CLASS I PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBORIST ASSOCIATION.
 1. DEAD WOOD, SUCKERS, BROKEN AND BADLY BRUISED BRANCHES SHALL BE REMOVED. GENERAL TIPPING OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES
 2. PRUNING SHALL BE DONE WITH CLEAN SHARP TOOLS
 3. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE PITS SHALL BE COVERED WITH A LAYER OF ORGANIC MATERIAL TWO (2") INCHES IN DEPTH. THIS LAYER OF ORGANIC MATERIAL FOR UNDERGROUND TREES SHALL BE THE DIAMETER OF THE PLANT PIT

- Q. STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGNED AS INDICATED ON PLANS. STAKE OUT LIMITS OF STEEL CURBING AND OBTAIN OWNERS APPROVAL PRIOR TO INSTALLATION.
 1. ALL STEEL CURBING SHALL BE FREE OF KINKS AND ABRUPT BENDS
 2. TOP OF EDGING SHALL BE 1/2" MAXIMUM HEIGHT ABOVE FINAL FINISHED GRADE
 3. STAKES ARE TO BE INSTALLED ON THE PLANTING BED SIDE OF THE CURBING, AS OPPOSED TO THE GRASS SIDE
 4. DO NOT INSTALL STEEL EDGING ALONG SIDEWALKS OR CURBS
 5. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE EDGING MEETS SIDEWALKS OR CURBS

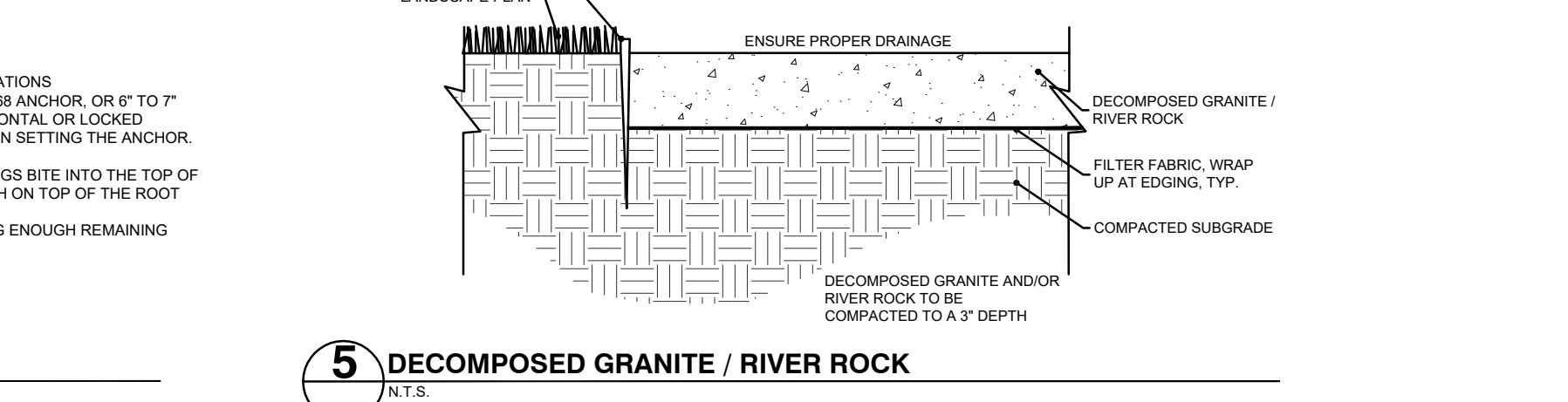
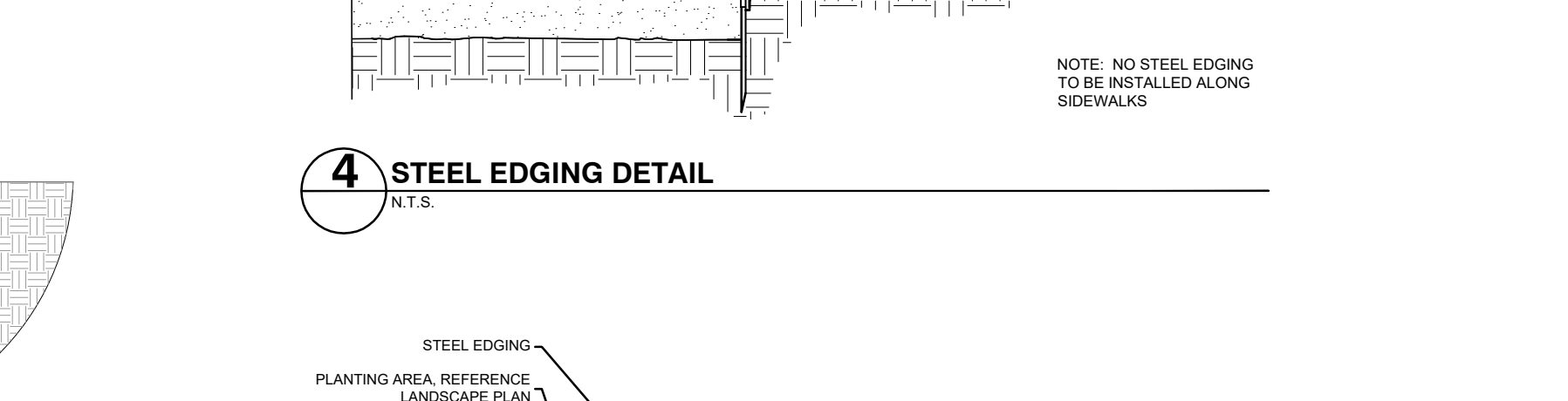
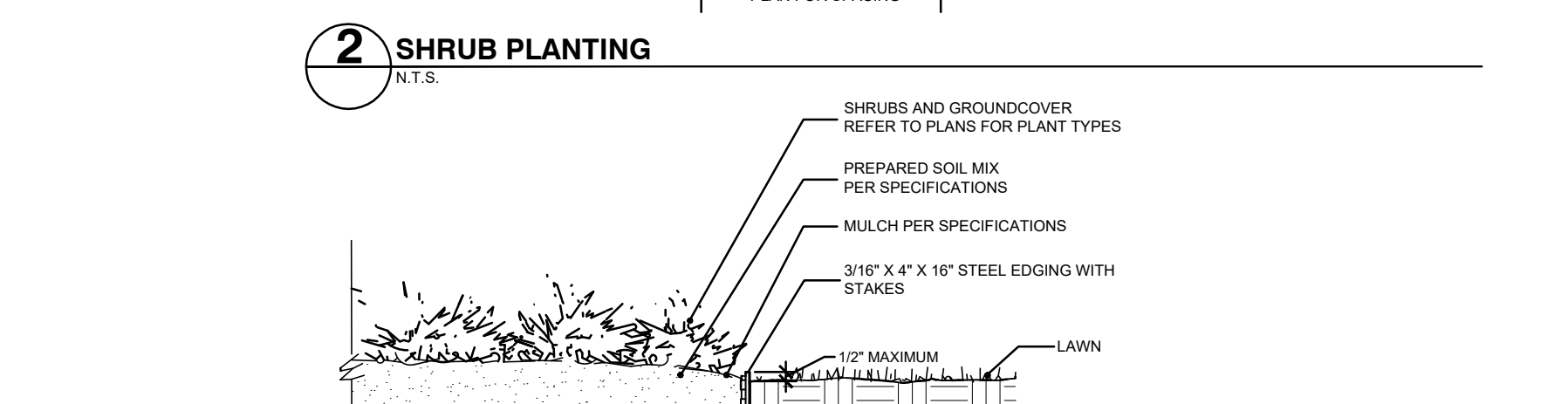
3.3 CLEANUP AND ACCEPTANCE

- A. CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREAS FOR ALL MATERIALS SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSEING THEM AT END OF EACH WORK DAY
- B. REPAIR RUTS, HOLES AND SCARES IN GROUND SURFACES
- C. ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN VIGOROUS AND HEALTHY GROWING CONDITION
- D. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY
- E. WHENEVER THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNERS SATISFACTION WITHIN 24 HOURS
- F. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN REINSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE

END OF SECTION



ROOT ANCHOR ITEM	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH	QUANTITY & ANCHOR SIZE
10-80	10" Galvan or 11" non gal	12" - 18" Minimum Depth	3 - 1/8" Anchor
30-80	20" Galvan or 21" non gal	18" - 24" Minimum Depth	3 - 1/8" Anchor
40-80	40" Galvan or 21" non gal	24" - 30" Minimum Depth	3 - 1/8" Anchor
100-80	60" Galvan or 21" non gal	30" - 36" Minimum Depth	3 - 1/8" Anchor
100-80	100 Galvan or 42" non gal	42" Minimum Depth	3 - 1/8" Anchor
200-80	200 Galvan or 42" non gal	42" Minimum Depth	3 - 1/8" Anchor
300-80	300 Galvan or 50" non gal	42" Minimum Depth	3 - 1/8" Anchor
300-80	300 Galvan or 50" non gal	42" Minimum Depth	3 - 1/8" Anchor



1 TREE PLANTING
N.T.S.

TREE STAKE SOLUTIONS, LLC.
9073 FM 521 Road
Rosharon, Texas 77583
www.treestakesolutions.com

Phone: 281-778-1400
Mobile: 903-676-6143
Fax: 281-778-1425

2 SHRUB PLANTING
N.T.S.

3 SHRUB SPACING AND PLANTING AT B.O.C.
N.T.S.

4 STEEL EDGING DETAIL
N.T.S.

5 DECOMPOSED GRANITE / RIVER ROCK
N.T.S.

DRAWING PATHNAME: LAYOUT1.PLOT DATE: TIME

SHEET NAME:

PROJECT NAME:

M/11/29

DRAWN BY: TG

DESIGNED BY: DK

LATEST REVISION: 10/16/20

KSA JOB NO.: 88324-9418

www.KsaEng.com

T. 903-514-1441

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c. 512.517.5889

AWR

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REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS
2754

11/13/20

SHEET NO.

L9.2

LANDSCAPE SPECIFICATIONS AND DETAILS

COURTIN DENTAL
FLAGSTONE CORNERS
BLOCK A, LOT 9

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, 20__.

WITNESS OUR HANDS, THIS ___ DAY OF ___, 20__.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER

MARY COURTIN
991 INTERSTATE 30
SUITE 103
ROCKWALL, TX 78087

Know what's below.
Call before you dig.

CASE NUMBER: SP2020-028

LUMINAIRE SCHEDULE										
SYMBOL	LABEL	QTY.	CATALOG #	DESCRIPTION	LAMP	FILE	LUMENS	LUMENS	LLF	WATTS
	WP-1	8	ISC-AF-450-LED-T2-VH	WALL PACK WALL MOUNTED	25 WATT					
	C-1	3	KR6-20L-35K-KR6T-SSGC-FF	EXIT RECESSED DOWNLIGHT	13 WATT LED					
	AL-1	2	GLNA-AF-02-LED-E1-T3	POLE MOUNTED AREA LIGHT	133 WATT LED					
	SP-1	2	LPF2-E-4K-FL-K-PCB-1-BZ	GROUND MOUNTED SPOT LIGHT	40 WATT LED					

UTILITY STATEMENT

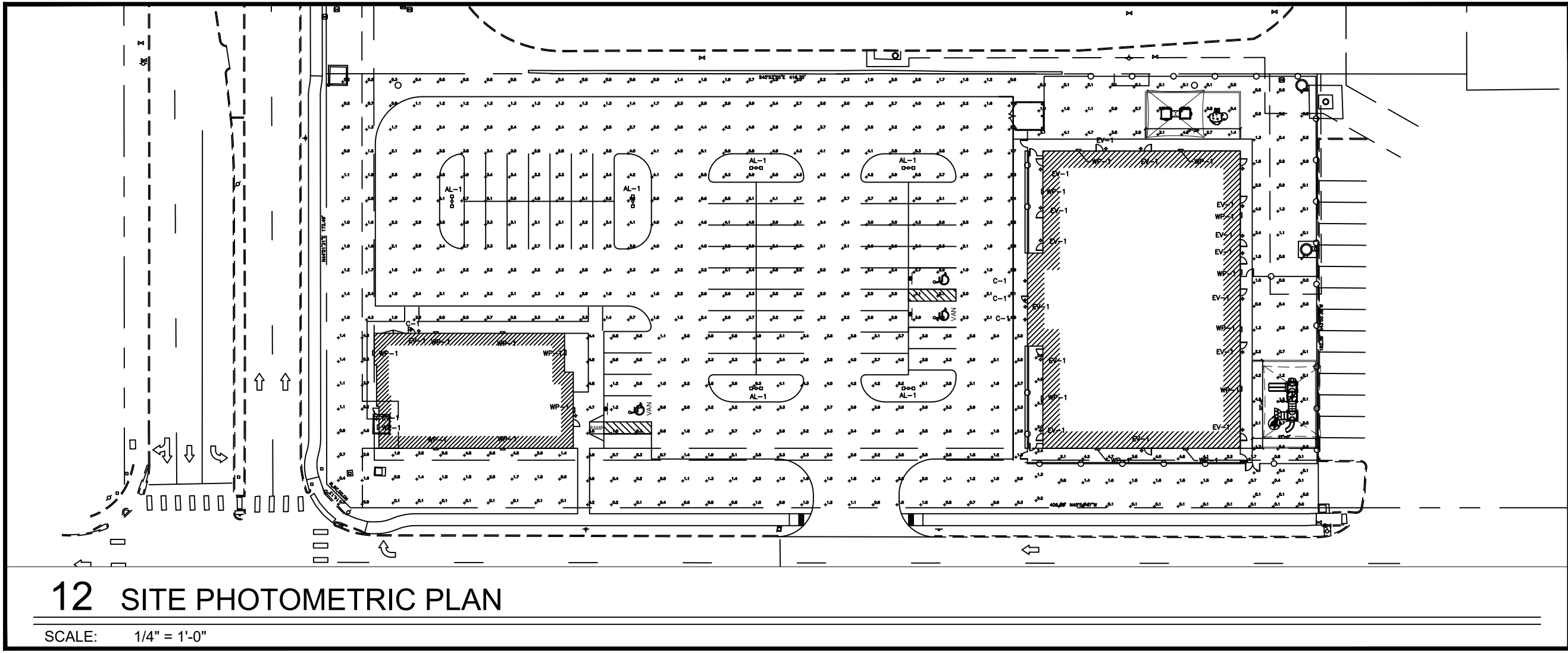
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

SITE PHOTOMETRICS

STATISTICS SCHEDULE					
DESCRIPTION	AVG.	MAX.	MIN.	MAX/MIN	AVG/MIN
CALC ZONE #1	2.4 fc	6.6 fc	0.0 fc	N / A	N / A

CAUTIONARY NOTE

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON ABOVE GROUND EVIDENCE OR INFORMATION GATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE ONLY AND SHOULD NOT BE CONSTRUED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.



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 Texas Registered Engineering
 Firm F-16851